

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	DEMOLITION PLAN
3	SITE PLAN
4	GRADING, DRAINAGE AND UTILITY PLAN
5	SOIL EROSION AND SEDIMENT CONTROL PLAN
6	SOIL EROSION AND SEDIMENT CONTROL DETAILS
7	LANDSCAPING AND LIGHTING PLAN
8	LANDSCAPING AND LIGHTING NOTES AND DETAILS
9	TRUCK TURNING PLAN
10	CONSTRUCTION DETAILS (1)
11	CONSTRUCTION DETAILS (2)

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR

BULK YARD 35

BLOCK 428 LOTS 1, 2 & 2.01

2069 HIGHWAY 35

BOROUGH OF SAYREVILLE

MIDDLESEX COUNTY, NEW JERSEY

PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY:
PROPERTY OWNERS WITHIN 200 FEET OF BLOCK 428, LOTS 1, 2 & 2.01

BLOCK 420 LOT 1	VM2 Realty, LLC Lynn McGowan - owner 2 Ely Court Highstown, NJ 08540
BLOCK 420 LOT 2	Robert Haas 121 Mountain Lake Road Belvidere, NJ 07823
BLOCK 420 LOT 3	2067 Route 35, LLC 1866 Highway 35 South Amboy, NJ 08879
BLOCK 421 LOT 1.07	Jill Marie Raspla 2074 Highway 35 South Amboy, NJ 08879
BLOCK 421 LOT 2	Estate of Donald Raspla 2070-72 Highway 35 South Amboy, NJ 08879
BLOCK 423 LOTS 3, 4 & 5	2036 Route 35, Inc. 54 Fern Road East Brunswick, NJ 08816
BLOCK 422 LOT 8.01	E.Y. Management LLC 2060 Highway 35 South Amboy, NJ 08879
BLOCK 422 LOT 8.02	G.C. Dynastech Construction LLC 45 North Main Street Marlboro, NJ 07746
BLOCK 427.01 LOT 1	Torsello Construction & Management Co. 2163 Oak Tree Road, #101 Edison, NJ 08820
BLOCK 431 LOT 1	QUAL QFARM Harry James Dieler 801 Bordewens Avenue South Amboy, NJ 08879
BLOCK 432 LOT 1	Borough of Sayreville 167 Main Street Sayreville, NJ 08872
BLOCK 432 LOT 2	Ramon E. Abras & Maria R. Basso-Vera 7 Highland Street South Amboy, NJ 08879
BLOCK 432.01 LOT 1	Alice Falco 1 Elynn Terrace South Amboy, NJ 08879
BLOCKS 432.05 LOTS 1 & 2	Carmen Asencio 2 Elynn Terrace South Amboy, NJ 08879
BLOCK 432.05 LOT 3	Roberts and Monique Corby 4 Elynn Terrace South Amboy, NJ 08879
BLOCK 435.01 LOT 30	Patris and Cassius Di Maggio 112 Merritt Avenue South Amboy, NJ 08879
BLOCK 435.01 LOT 31	Monica Semeniak 114 Merritt Avenue South Amboy, NJ 08879
BLOCK 435.01 LOT 32	Miriam T. Shauze 114 Merritt Avenue South Amboy, NJ 08879
BLOCK 435.02 LOT 13	Debra and Kevin Zakrzewski 5 Seaman Court South Amboy, NJ 08879
BLOCK 435.02 LOT 14	Robert and Paula K. Duffy 111 Merritt Avenue South Amboy, NJ 08879
BLOCK 435.02 LOT 15	Zbigniew and Barbara Lesniak 113 Merritt Avenue South Amboy, NJ 08879

SAYREVILLE UTILITIES LIST (2022):

NJDEP
36 West State Street
P.O. Box 42
Trenton, NJ 08625

Middlesex County Planning Board
75 Bayard Street—5th Floor
New Brunswick, NJ 08902
732-745-3812

NJDOT
David Goldberg Transportation Center
1035 Parkway Avenue
P.O. Box 600
Trenton, NJ 08625

NJ Natural Gas Company
John Wyckoff Road
P.O. Box 1464
Wall, NJ 07719

Cablevision
275 Centennial Avenue, CN9805
Placetasay, NJ 08855-6005
Attn: Construction Department
732-583-0056

Middlesex County Landfill
53 Edgemoor Road
East Brunswick, NJ 08816-1638
732-246-4313

Consolidated Rail Corporation
1717 Arch Street or 2001 Market Street
Philadelphia, PA 19103

Verizon New Jersey
7000 Hadley Road
South Plainfield, NJ 07080
908-753-0801
OR:
540 Broad Street—20th Floor
Newark, NJ 07102

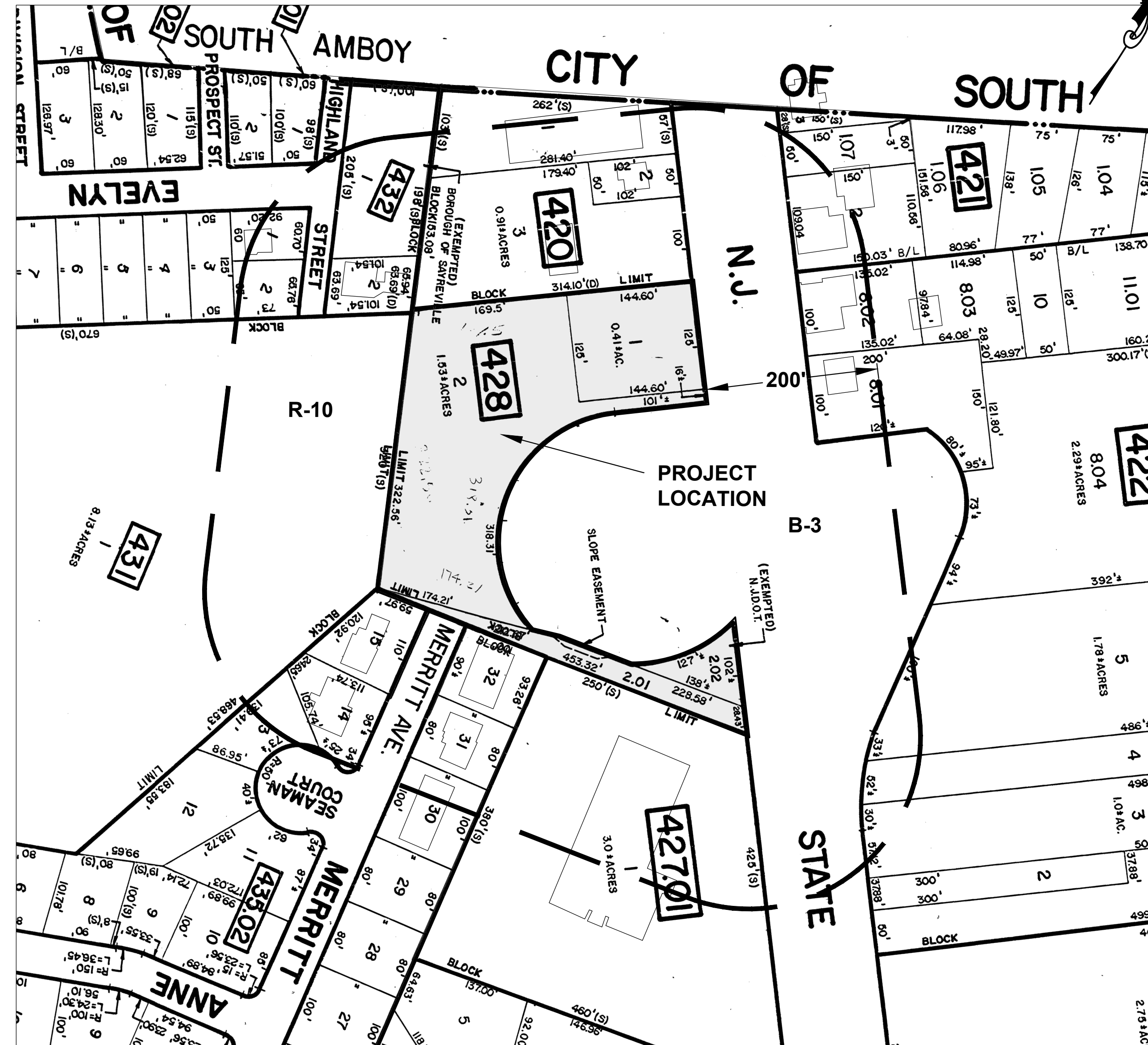
PSE&G
15 Hoos Lane
New Brunswick, NJ 08902
732-721-7000
OR:
80 Park Plaza
Newark, NJ 07102

JCP&L c/o 1stEnergy
300 Madison Avenue
P.O. Box 1911
Morristown, NJ 07962-1911
Attn: Corporate Properties
732-723-6609 or 1-800-662-3115

Borough of Sayreville Water & Sewer
167 Main Street
Sayreville, NJ
732-390-7000

Middlesex County Utilities Authority (MCAU)
P.O. Box 159
2571 Main Street
Sayreville, NJ 08872-0086

Transcontinental Gas Pipeline
315 Cold Soil Road
Lawrenceville, NJ 08540
Attn: Robert Ford
1-800-440-8475
OR:
P.O. Box 1396
Houston, TX 77251



KEY MAP

SCALE: ±1" = 100'



GENERAL NOTES:

- THE PROPERTY IS KNOWN AND DESIGNATED AS BLOCK 428, LOTS 1, 2 & 2.01 AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF BOROUGH OF SAYREVILLE, SHEET NO. 132 AND IS SITUATED IN THE "B-3" (HIGHWAY BUSINESS) ZONING DISTRICT. THE SUBJECT PROPERTY CONTAINS A TOTAL OF 86,123 SF, OR ±1.977 ACRES.
- OWNER/APPLICANT:**
BULK YARD 35 LANDSCAPE AND MASONRY SUPPLY
ATTN: BRIAN BURLEW
2069 HIGHWAY 35, SOUTH AMBOY, NJ 08879
- EXISTING USE:** LANDSCAPING YARD
PROPOSED USE: LANDSCAPING YARD
- BASE MAP INFORMATION WAS OBTAINED FROM THE FOLLOWING SOURCES:
4.1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR LOTS 1, 2 & 2.01 - BLOCK 428, SITUATED IN THE BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY" PREPARED BY FRENCH AND PARRELLO ASSOCIATES, DATED JUNE 23, 2022, LAST REVISED 8/9/2022.
- THE APPLICANT PROPOSES TO MAINTAIN THE EXISTING LANDSCAPE YARD AND CEASE THE RESIDENTIAL USE ON THE PROPERTY. THE DWELLING WILL BE DEMOLISHED AND A NEW 2,250 SF POLE BARN BUILDING IS PROPOSED ALONG WITH NEW PARKING, LANDSCAPING AND STORMWATER MANAGEMENT. THE APPLICANT WISHES TO APPROVE THE NUMBER AND LOCATION OF STORAGE BINS AS PER THE EXISTING CONDITIONS.
- BULK ZONE REQUIREMENTS**
B-3 ZONE (HIGHWAY BUSINESS)

REQUIREMENTS	PERMITTED:	EXISTING:	PROPOSED:
MINIMUM LOT AREA	20,000 S.F.	86,123 SF	NO CHANGE
MINIMUM LOT WIDTH	100 FT	141.7 FT	NO CHANGE
MINIMUM LOT DEPTH	100 FT	129.75 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	50 FT	21.6 FT	NO CHANGE FOR EX. 53.34 FT FOR PR.
MINIMUM ONE SIDE YARD SETBACK/TOTAL	10 FT/20 FT	31.6 FT	NO CHANGE FOR EX. 38.85 FT FOR PR.
MINIMUM REAR YARD SETBACK	25 FT	99.8 FT	NO CHANGE
MAXIMUM HEIGHT	35 FT	<35 FT	< 35 FT
MAXIMUM BUILDING COVERAGE (%)	25%	7.6%	11.1%
MAXIMUM BUILDING AND PAVEMENT COVERAGE (%)	85%	72.3% (INCLUDING GRAVEL SURFACES)	81.6% (INCLUDING GRAVEL SURFACES)
		36.5% (EXCLUDING GRAVEL SURFACES)	42.2% (EXCLUDING GRAVEL SURFACES)

- THE FOLLOWING VARIANCES AND/OR WAIVERS WERE PREVIOUSLY GRANTED:
SECTION 26-81.5 A VARIANCE FROM THE FRONT YARD SETBACK REQUIREMENT AS IT RELATES TO THE EXISTING GARAGE (25 FEET REQUIRED, 21.6 PROVIDED). A VARIANCE WAS GRANTED THROUGH A ZONING BOARD APPROVAL DATED 3/25/2001.
SECTION 26-82.10 A VARIANCE FROM PROVIDING A 50 FOOT BUFFER TO RESIDENTIAL ZONES WAS GRANTED THROUGH A ZONING BOARD APPROVAL DATED 3/25/2001. A BUFFER OF 25 WAS GRANTED.
- THE FOLLOWING VARIANCES AND/OR WAIVERS ARE REQUIRED:
SECTION 26-82.6.B.4 A VARIANCE FOR USING THE FRONT YARD AS AN OUTDOOR STORAGE AREA FOR EQUIPMENT AND MATERIALS.
SECTION 26-98.1 A WAIVER FROM PROVIDING A MINIMUM OF 10% OF ANY SURFACE PARKING FACILITY TO BE LANDSCAPED ABOUT THE INTERIOR AND TO INCLUDE 1 SHADE TREE FOR EVERY TWENTY PARKING SPACES.
SECTION 26-98.1 B-1 A WAIVER FROM PROVIDING HAIRPIN STRIPING FOR ALL PARKING SPACES.
SECTION 26-98.1 B-5 A WAIVER FROM PROVIDING ALL PARKING LOTS AND ALL LOADING AREAS WITH CONCRETE OR BELGIAN BLOCK CURBING.
SECTION 26-98.1 B-6 A WAIVER FROM PROVIDING SIDEWALK THROUGHOUT THE SITE AND ALONG FRONTAGE OF THE PROPERTY.
SECTION 26-98.1 B-7 A WAIVER FROM SURFACING ALL OFF-STREET PARKING AREAS, INTERIOR DRIVEWAYS AND LOADING/UNLOADING AREAS WITH BITUMINOUS CONCRETE PAVEMENT.
SECTION 26-98.2 A WAIVER FROM PROVIDING A DEDICATED OFF-STREET LOADING BERTH FOR THE NEW POLE BARN.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
- PARKING REQUIREMENTS:**
PREVIOUSLY REQUIRED FOR EXISTING OFFICE AND SHOP: 8 SPACES
REQUIRED FOR PROPOSED POLE BARN: 1 SPACE/5,000 SQUARE FEET OF BUILDING FLOOR AREA (WAREHOUSE/DISTRIBUTION CENTER) = 2,250 SF OF BUILDING AREA / 5,000 SQUARE FEET = 1 SPACE
TOTAL REQUIRED: 9 SPACES
TOTAL PROVIDED: 13 SPACES
- ALL SITE IMPROVEMENTS WILL BE IN ACCORDANCE WITH THE BOROUGH OF SAYREVILLE CONSTRUCTION STANDARDS, WHERE APPLICABLE.
- THE BUSINESS IS OPEN FROM 7:00 AM TO 6:00 PM, WITH SEVERAL EMPLOYEES AND AN OFFICE/BUSINESS MANAGER ON SITE.

APPROVED BY THE BOROUGH OF SAYREVILLE PLANNING BOARD ON: _____

CHAIRMAN _____
SECRETARY _____
ENGINEER _____

No.	Date	Revision	Revised By	Checked By
2	12/16/2023	REVISED PER BOROUGH OF SAYREVILLE COMMENTS	KN	LBB
1	5/23/2023	REVISED FOR COMPLETENESS	KN	LBB

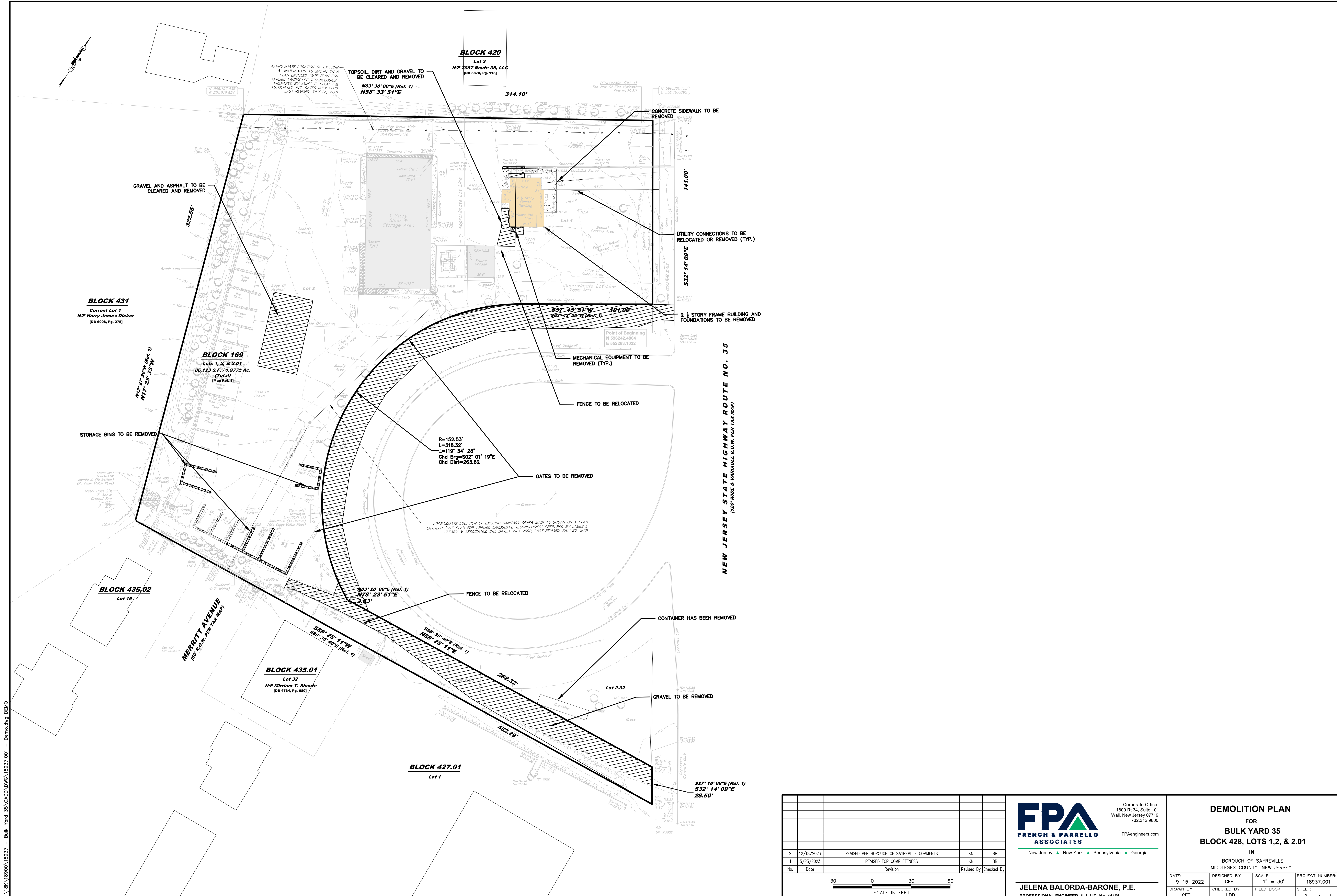


Corporate Office:
1800 Rte 34, Suite 101
Wall, New Jersey 07719
732.312.9800
FPAEngineers.com

JELENA BALORDA-BARONE, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 44465

COVER SHEET
FOR
BULK YARD 35
BLOCK 428, LOTS 1, 2, & 2.01
IN
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NEW JERSEY

DATE:	DESIGNED BY:	SCALE:	PROJECT NUMBER:
9-15-2022	CFE	AS SHOWN	18937.001
DRAWN BY:	CHECKED BY:	FIELD BOOK:	SHEET:
CFE	LBB		1 of 11



C:\Bk\18937\18937.dwg - Bulk Yard 35 CADDD\DWG\18937.001 - Demo.dwg DEMO
 COPYRIGHT © 2023, FRENCH & PARRELLO ASSOCIATES - THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, WITHOUT THE WRITTEN PERMISSION OF FRENCH & PARRELLO ASSOCIATES, PA IS PROHIBITED.
 DUE TO INHERENT ERRORS IN REPRODUCTION METHODS, ERRORS MAY OCCUR WHEN SCALING THIS DRAWING

No.	Date	Revision	Revised By	Checked By
2	12/18/2023	REVISED PER BOROUGH OF SAYREVILLE COMMENTS	KN	LBB
1	5/23/2023	REVISED FOR COMPLETENESS	KN	LBB



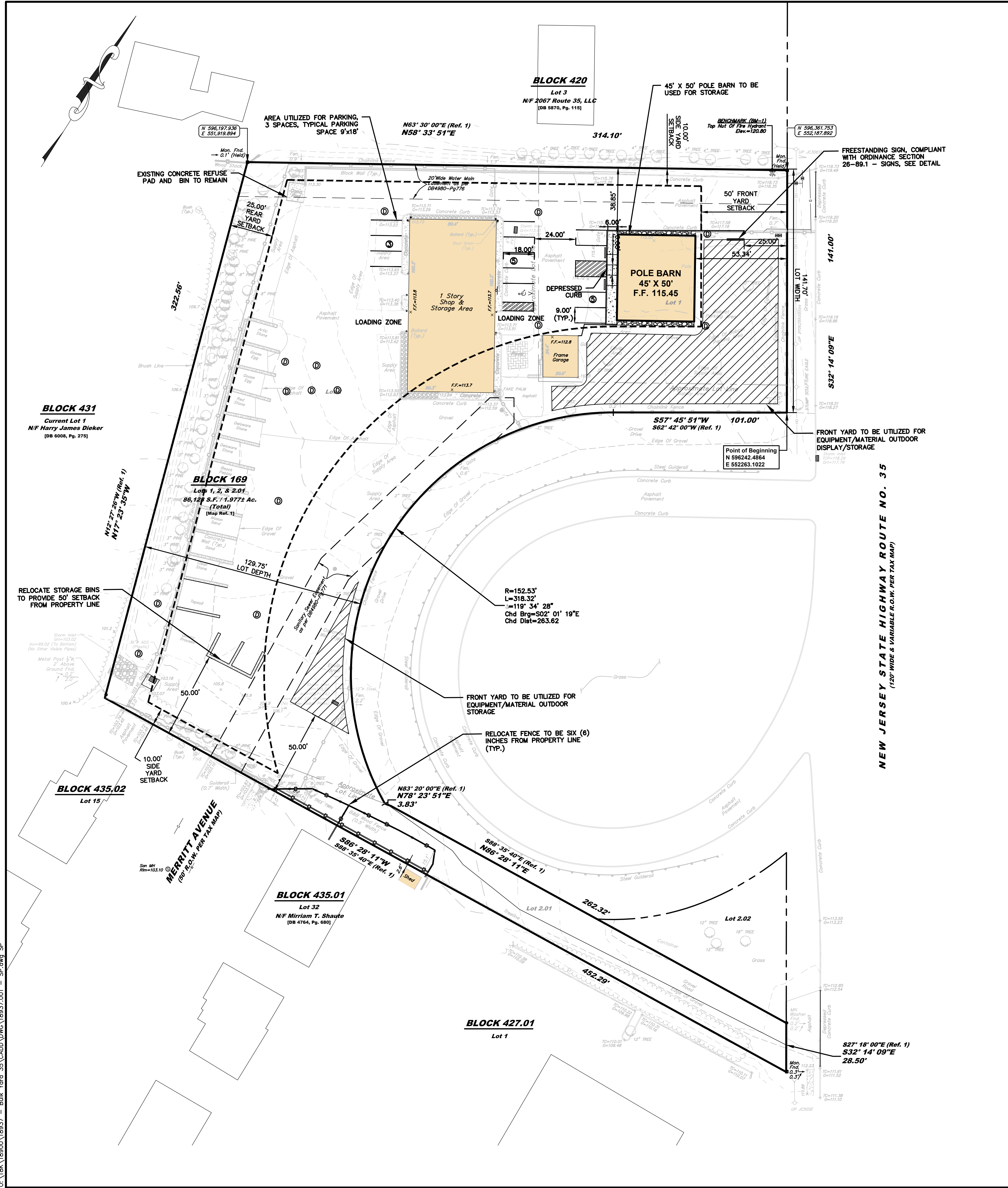
FPA
FRENCH & PARRELLO ASSOCIATES
 New Jersey ▲ New York ▲ Pennsylvania ▲ Georgia

Corporate Office:
 1800 Rt. 34, Suite 101
 Wall, New Jersey 07719
 732.312.9800
 FPAengineers.com

DEMOLITION PLAN
 FOR
BULK YARD 35
BLOCK 428, LOTS 1, 2, & 2.01
 IN
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY, NEW JERSEY

DATE: 9-15-2022	DESIGNED BY: CFE	SCALE: 1" = 30'	PROJECT NUMBER: 18937.001
DRAWN BY: CFE	CHECKED BY: LBB	FIELD BOOK	SHEET: 2 of 11

JELENA BALORDA-BARONE, P.E.
 PROFESSIONAL ENGINEER, N.J. LIC. No. 44465



No.	Date	Revision	Revised By	Checked By
2	12/18/2023	REVISED PER BOROUGH OF SAYREVILLE COMMENTS	KN	LBB
1	5/23/2023	REVISED FOR COMPLETENESS	KN	LBB



Corporate Office:
1800 Rt 34, Suite 101
Wall, New Jersey 07719
732-312-6800

FPAengineers.com

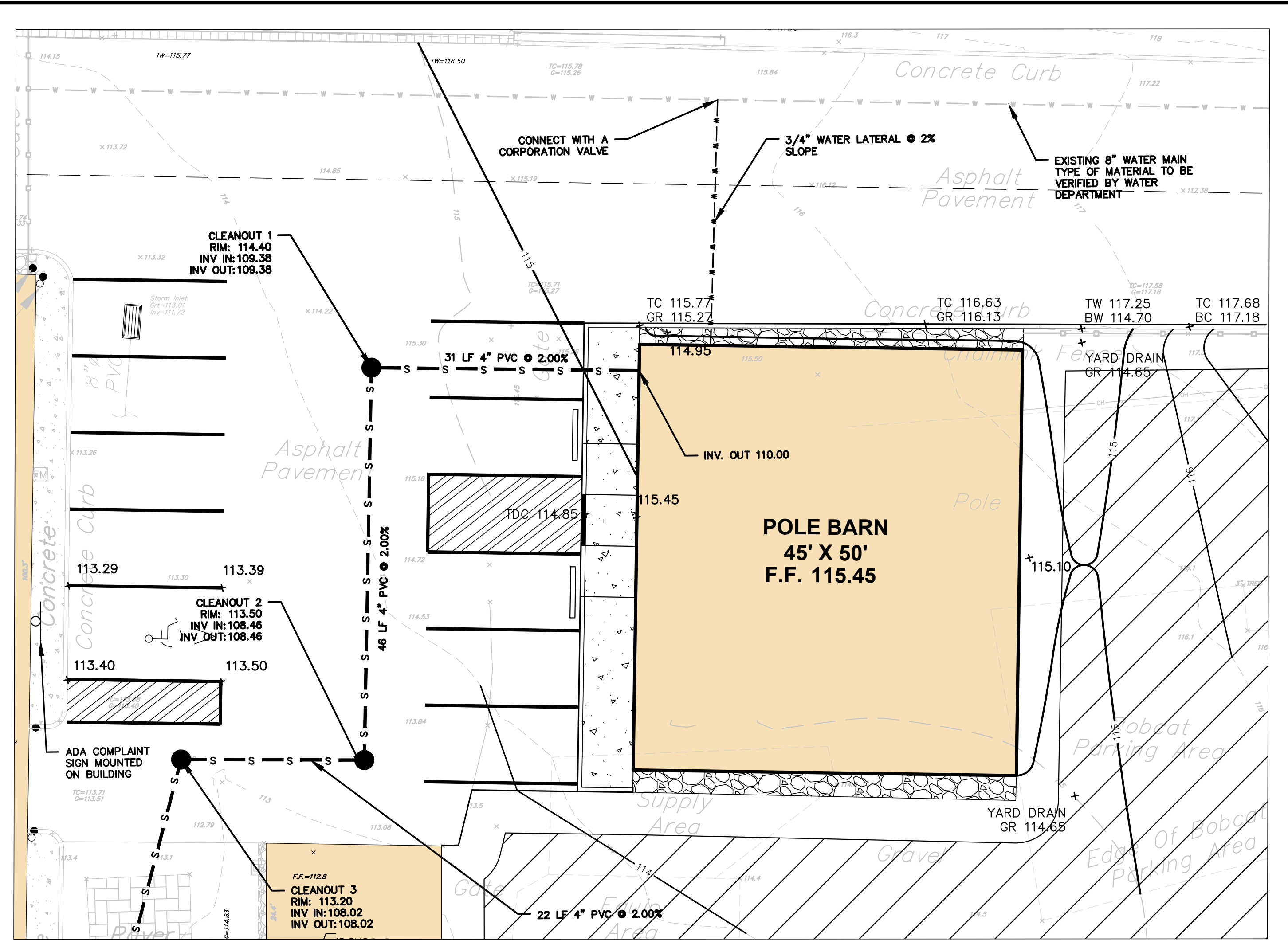
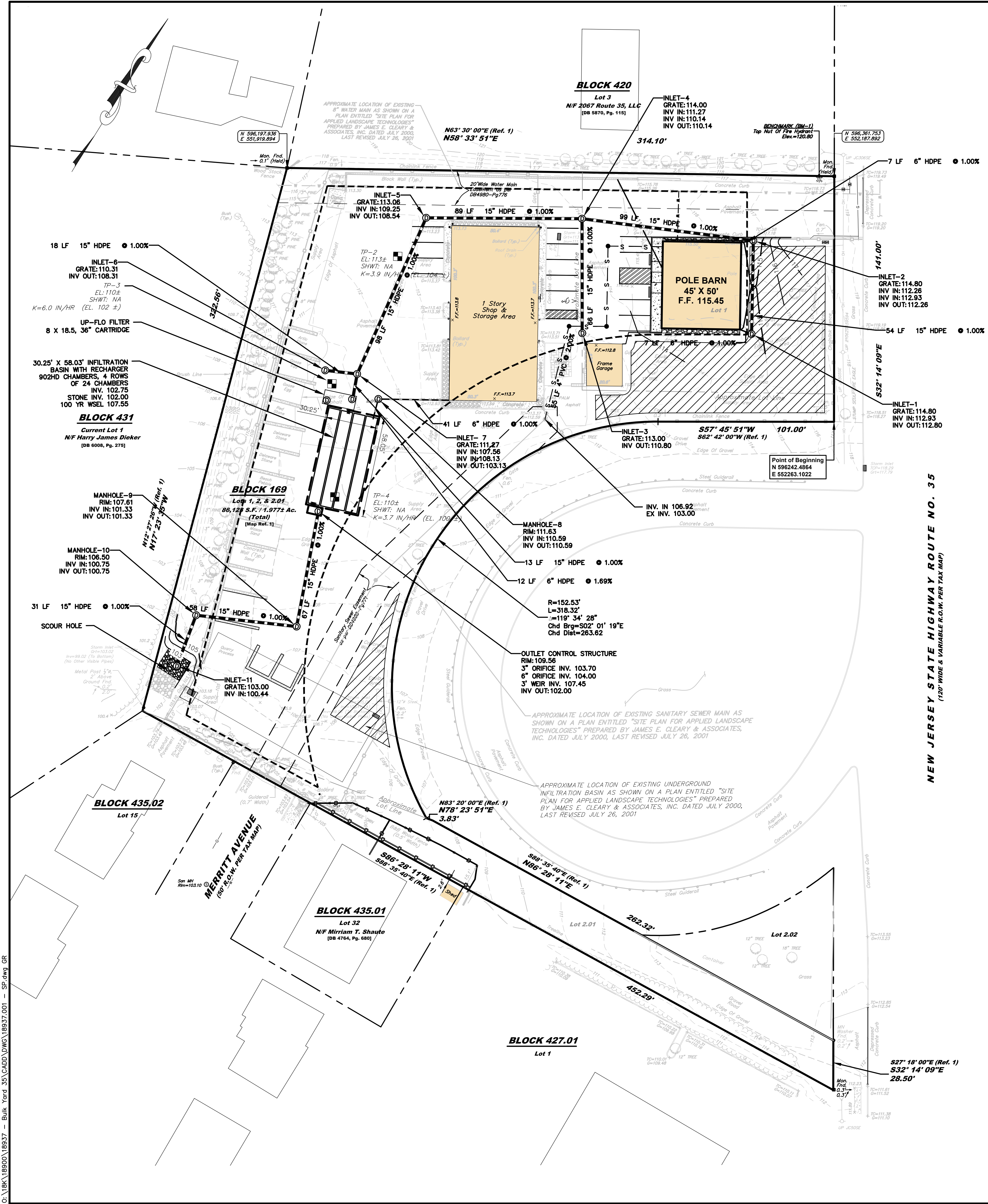
New Jersey ▲ New York ▲ Pennsylvania ▲ Georgia

JELENA BALORDA-BARONE, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 44465

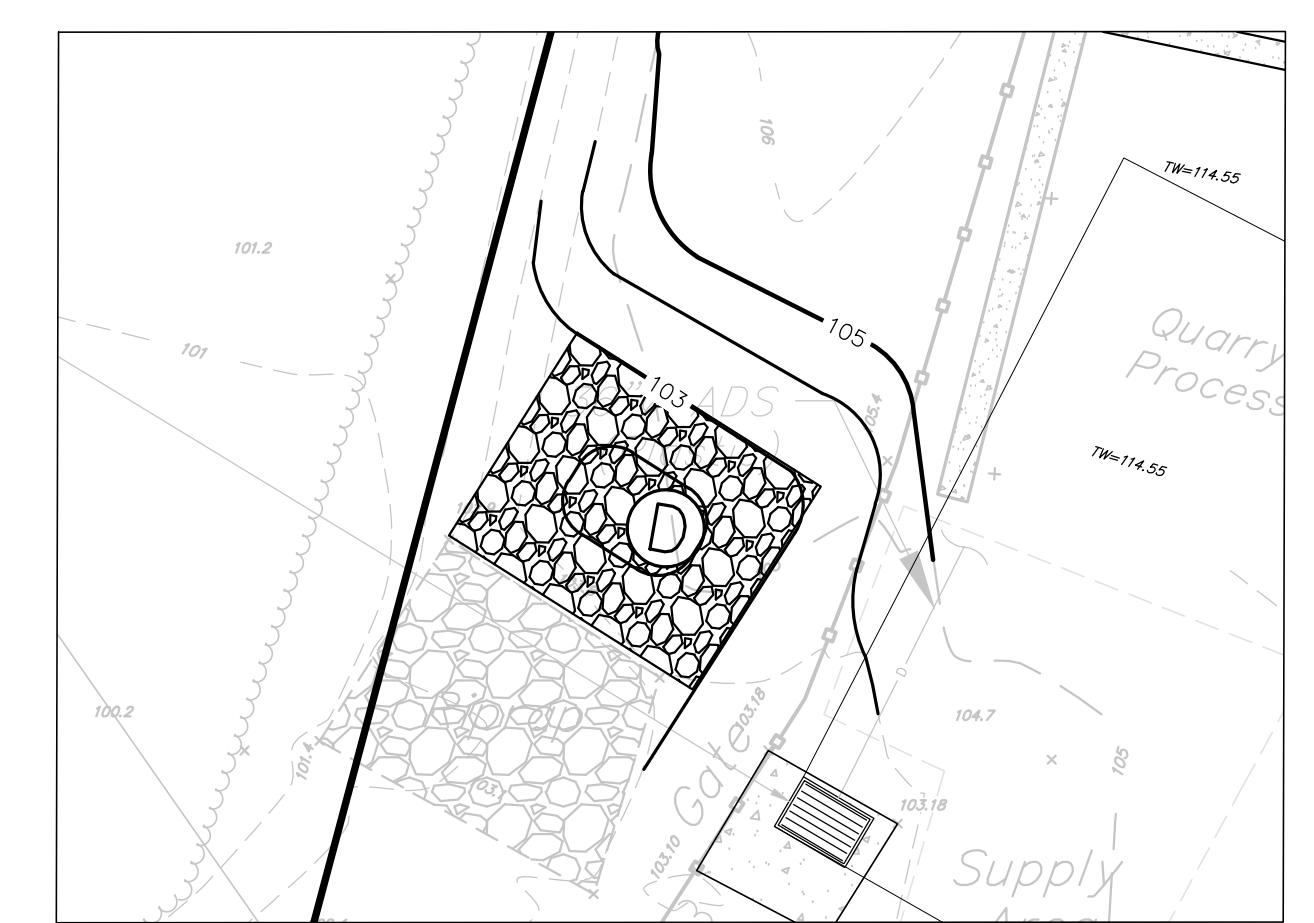
SITE PLAN
FOR
BULK YARD 35
BLOCK 428, LOTS 1, 2, & 2.01
IN
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NEW JERSEY

DATE: 9-15-2022	DESIGNED BY: CFE	SCALE: 1" = 30'	PROJECT NUMBER: 18937.001
DRAWN BY: CFE	CHECKED BY: LBB	FIELD BOOK	SHEET: 3 of 11

C:\BKA\18900\18937 - Bulk_Yard_35\CADD\DWG\18937.001 - SP.dwg SP
 COPYRIGHT © 2023, FRENCH & PARRELO ASSOCIATES - THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, WITHOUT THE WRITTEN PERMISSION OF FRENCH & PARRELO ASSOCIATES, PA IS PROHIBITED.
 DUE TO INHERENT ERRORS IN REPRODUCTION METHODS, ERRORS MAY OCCUR WHEN SCALING THIS DRAWING



ENLARGED GRADING AND UTILITY VIEW
SCALE: 1" = 10'



ENLARGED SCOUR HOLE VIEW
SCALE: 1" = 10'

- NOTES:**
1. ALL INLETS AND MANHOLES TO BE NYLOPLAST 30" DRAIN BASINS H-20 TRAFFIC RATED WITH CONCRETE COLLAR UNLESS OTHERWISE STATED.
 2. THE LOCATION OF THE SERVICE VALVES AND THE SIZE, TYPE, AND INSTALLATION METHOD OF PIPING AND FITTINGS SHALL BE APPROVED BY THE BOROUGH OF SAYREVILLE WATER DEPARTMENT.
 3. THE PROPOSED METHOD OF CONNECTION TO THE EXISTING WATER MAIN SHOULD BE APPROVED BY THE SUPERVISOR OF THE BOROUGH OF SAYREVILLE WATER DEPARTMENT.
 4. THE SIZE OF THE PROPOSED SANITARY SEWER LATERAL TO SERVICE THE PROPOSED BUILDING SHOULD BE AS APPROVED BY THE SUPERVISOR OF THE BOROUGH OF SAYREVILLE'S SEWER DEPARTMENT.
 5. ALL LAWN SLOPES SHALL HAVE A MINIMUM SLOPE OF 2% FOR ALL AREAS PROPOSED TO BE DISTURBED.
 6. LOCATION OF THE SERVICE VALVES, SIZE, TYPE AND INSTALLATION METHOD OF PIPING AND FITTINGS SHALL BE APPROVED BY THE BOROUGH WATER DEPARTMENT.

NEW JERSEY STATE HIGHWAY ROUTE NO. 35
(120' WIDE & VARIABLE R.O.W. PER TAX MAP)

No.	Date	Revision	Revised By	Checked By
2	12/18/2023	REVISED PER BOROUGH OF SAYREVILLE COMMENTS	KN	LBB
1	5/23/2023	REVISED FOR COMPLETENESS	KN	LBB



FPA
FRENCH & PARRELLO
ASSOCIATES

Corporate Office:
1800 Rt 34, Suite 101
Wall, New Jersey 07719
732-312-6800
FPAengineers.com

New Jersey ▲ New York ▲ Pennsylvania ▲ Georgia

JELENA BALORDA-BARONE, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. No. 44465

GRADING, DRAINAGE AND UTILITY PLAN

FOR
BULK YARD 35
BLOCK 428, LOTS 1, 2, & 2.01

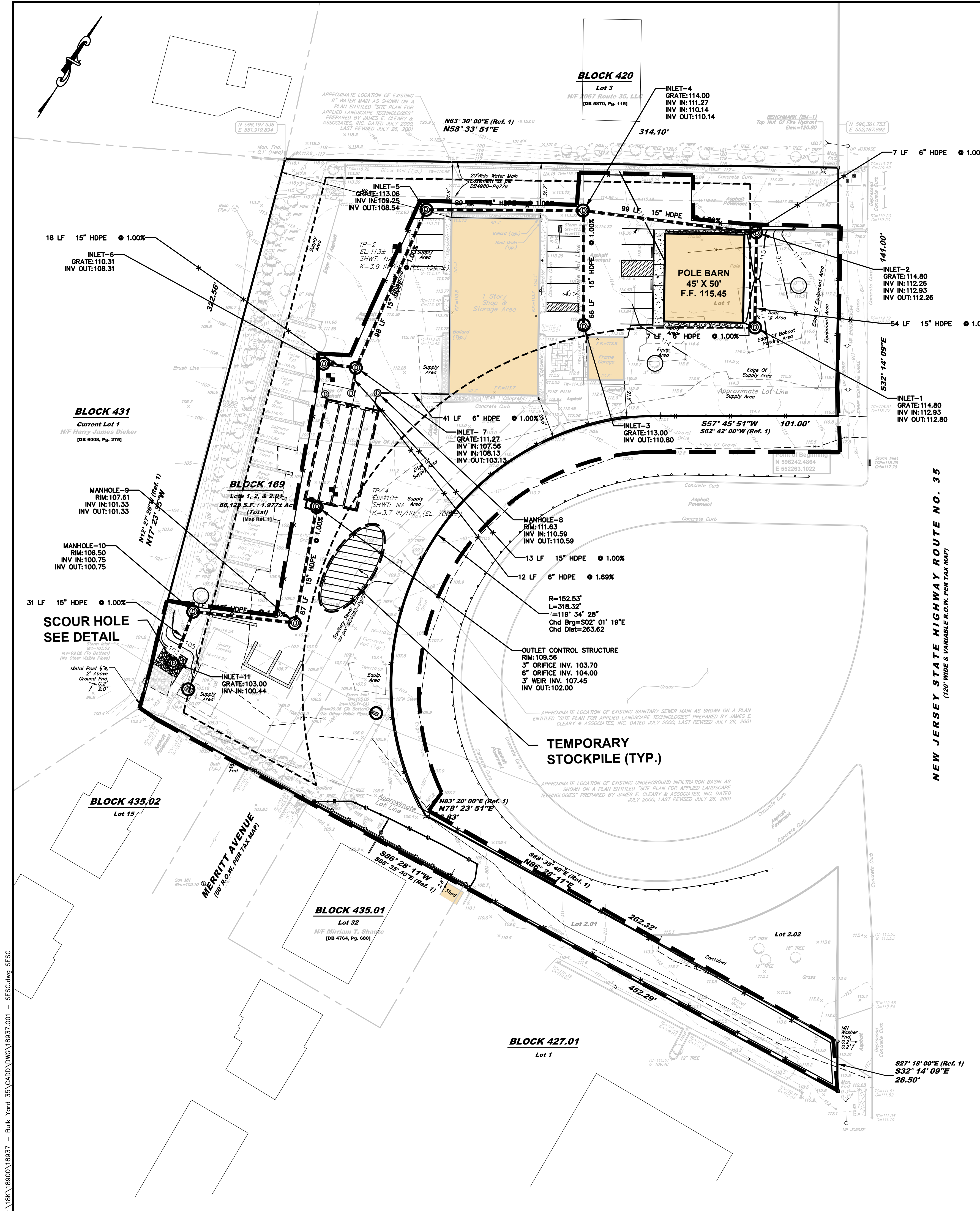
IN
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NEW JERSEY

DATE: 9-15-2022
DESIGNED BY: CFE
DRAWN BY: CFE

SCALE: 1" = 30'
FIELD BOOK

PROJECT NUMBER: 18937.001
SHEET: 4 of 11

C:\BKA\18900\18937 - Bulk Yard 35\CADD\DWG\18937.001 - SP.dwg GR

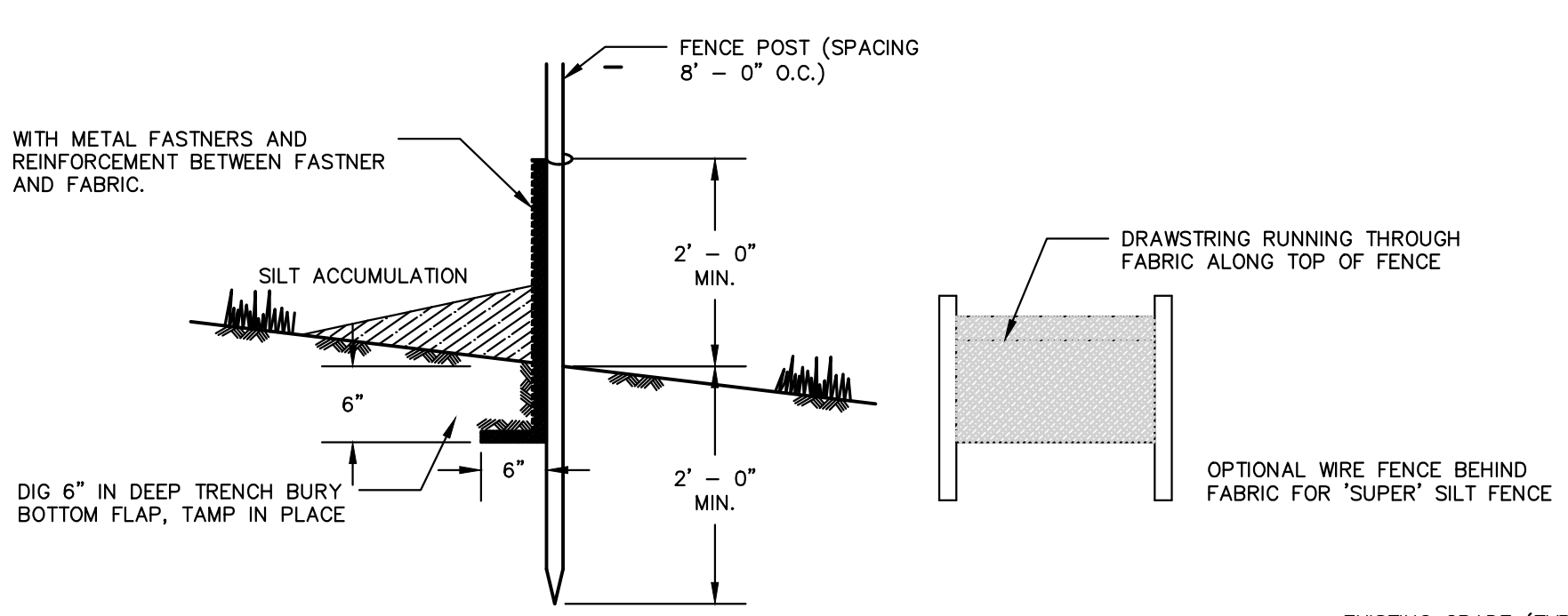


AREA OF DISTURBANCE:
 72,356 S.F. = 1.66 AC

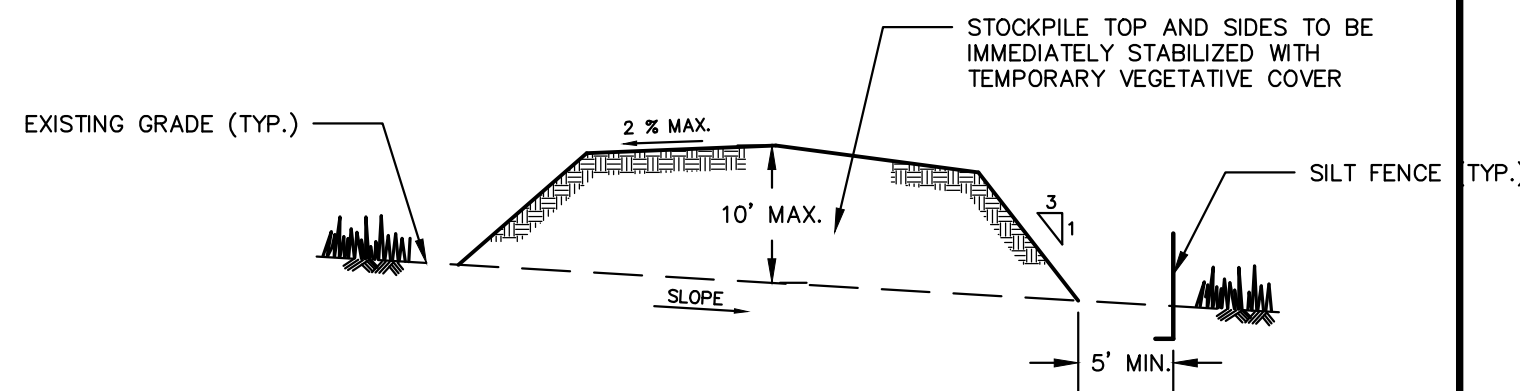
EXISTING PAVED DRIVEWAY TO BE USED AS A CONSTRUCTION ENTRANCE. CONTRACTOR TO SWEEP AND REMOVE SILT AND SEDIMENT ON A DAILY BASIS TO CONTROL THE TRACKING OF SILT ANDS EDIMENT FROM GOING OFF-SITE.

LEGEND

- LIMIT OF DISTURBANCE
- SILT FENCE
- INLET PROTECTION
- TREE PROTECTION
- ▨ STOCKPILE

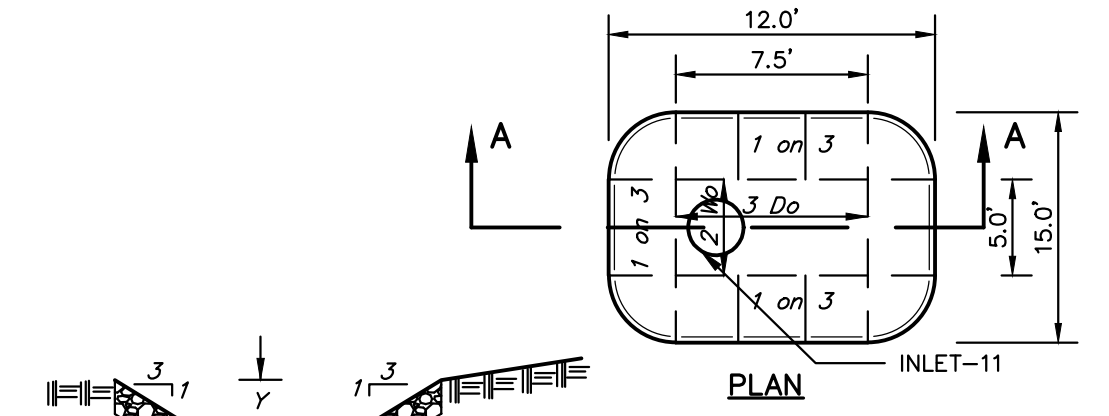


SILT FENCE
 NOT TO SCALE



- NOTES:**
- TOPSOIL STOCKPILES TO BE PLACED AS DETERMINED IN THE FIELD.
 - STOCKPILE NOT TO BE PLACED IN AREA WITH CONCENTRATED FLOW, WETLANDS, EXTREME SLOPE OR WITHIN 100' OF A NATURAL STREAM.

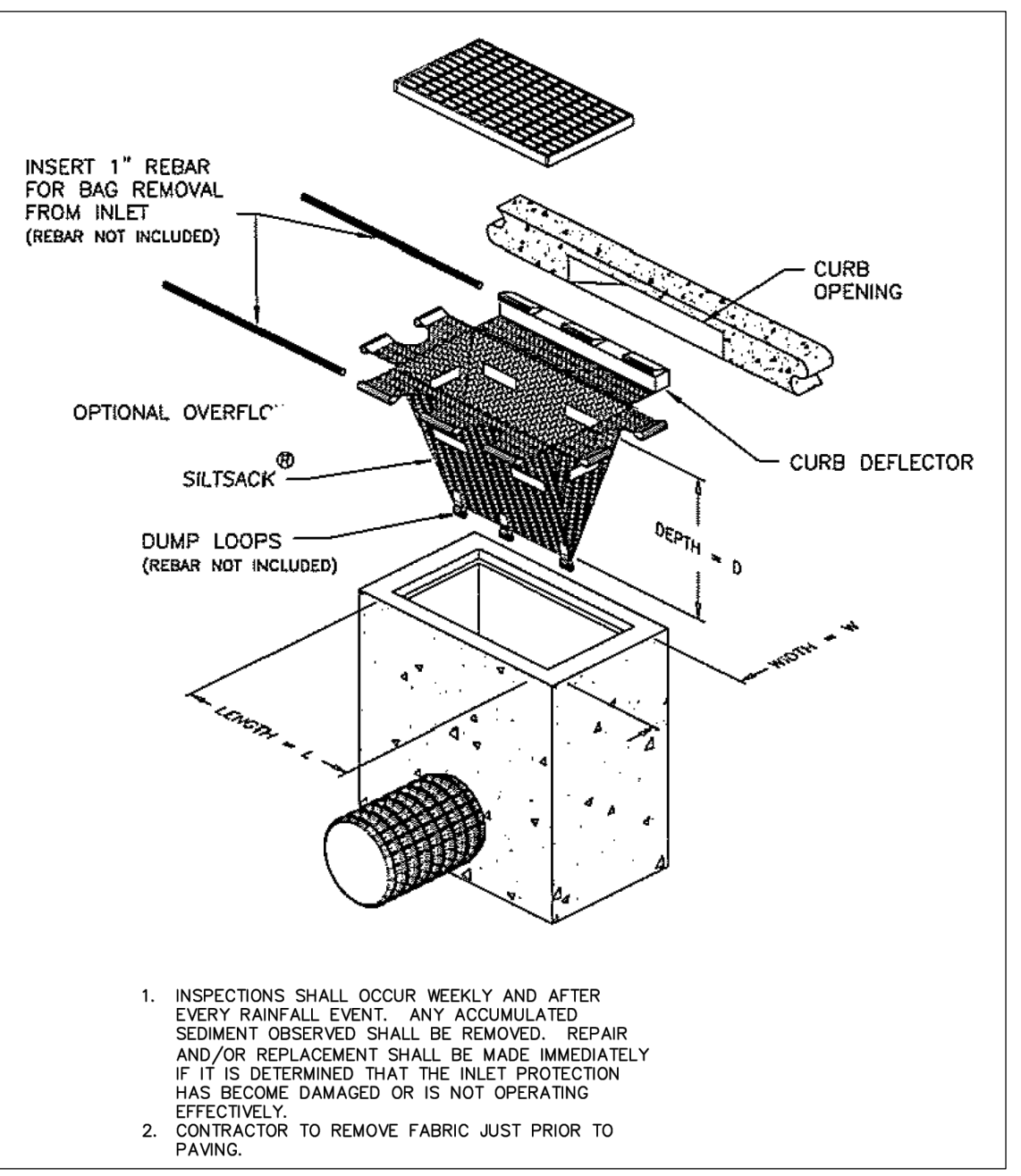
TEMPORARY STOCKPILE
 NOT TO SCALE



SECTION A-A
 SCOUR HOLE #A3

FES # 1
 Q₂₅ = 2.49 CFS; D₅₀ = 30"

L = 12'
 W = 15'
 Y = 15'
 D₅₀ = 4"
 6" THICK W/ FILTER FABRIC



INLET PROTECTION DETAIL
 NOT TO SCALE

SOIL COMPACTION MITIGATION NOTE

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".

No.	Date	Revision	Revised By	Checked By
2	12/18/2023	REVISED PER BOROUGH OF SAYREVILLE COMMENTS	KN	LBB
1	5/23/2023	REVISED FOR COMPLETENESS	KN	LBB



FPA
FRENCH & PARRELLO ASSOCIATES

Corporate Office:
 1800 Rte 34, Suite 101
 Wall, New Jersey 07719
 732.312.9800

FPAEngineers.com

New Jersey ▲ New York ▲ Pennsylvania ▲ Georgia

JELENA BALORDA-BARONE, P.E.
 PROFESSIONAL ENGINEER, N.J. LIC. No. 44465

SOIL EROSION AND SEDIMENT CONTROL PLAN
 FOR
BULK YARD 35
BLOCK 428, LOTS 1, 2, & 2.01
 IN
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY, NEW JERSEY

DATE: 9-15-2022
 DESIGNED BY: KN
 DRAWN BY: KN
 CHECKED BY: LBB

SCALE: 1" = 30'
 FIELD BOOK

PROJECT NUMBER: 18937.001
 SHEET: 5 of 11

C:\BIB\18900\18937 - Bulk Yard 35\CADD\DWG\18937.dwg - SESG.dwg, SESS

SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. THE BOROUGH OF SAYREVILLE SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BEYOND STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

BOROUGH OF SAYREVILLE
167 MAIN STREET
SAYREVILLE, NEW JERSEY 08872
(732) 390-7000

ACID SOILS NOTES

- IN ORDER TO PROVIDE SUITABLE CONDITIONS FOR GROWTH AND VEGETATION AND TO PREVENT THE ACIDIFYING OF DRAINAGE WATER IN THOSE AREAS UNDERLAIN WITH ACID FORMATIONS WITH A PH BELOW 4.0 THE FOLLOWING REQUIREMENT SHALL BE MET:
1. LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH ACID PRODUCING SOILS ARE ENCOUNTERED.
2. TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS.
3. STOCKPILES OF HIGH ACID PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT.
4. TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH ACID PRODUCING SOIL.
5. HIGH ACID PRODUCING SOILS WITH A PH OF 4 OR LESS, OR CONTAINING IRON SULFIDE, (INCLUDING BORROW FROM CUTS OR DREDGED SEDIMENT) SHALL BE ULTIMATELY PLACE OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A PH OF 5 OR MORE EXCEPT AS FOLLOWS:
A. AREAS WHERE TREES OR SHRUBS ARE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A PH OF 5 OR MORE.
B. DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24" OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS BERMS, STREAM BANKS, DITCHES AND OTHERS TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.
6. EQUIPMENT USED FOR MOVEMENT OF HIGH ACID-PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID-PRODUCING SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING.
7. NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SEDIMENT BARRIER, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM, AROUND, OR OFF THE SITE.
8. FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION AND SEDIMENT CONTROL PLAN FOR SOIL STABILIZATION, AND TOPSOILING), MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO ENSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID-PRODUCING SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

- 1. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
B. IMMEDIATELY PRIOR TO SEEDING APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
C. TOPSOIL SHOULD BE HANDLED ONLY WHEN ITS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE.
D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
2. SEEDBED PREPARATION
A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED.
B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.
C. HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION.
3. SEEDING
A. PERMANENT SEEDING SHALL CONSISTING OF THE FOLLOWING MIXES OR APPROVED EQUAL - ACCEPTABLE SEEDING DATES ARE BETWEEN MARCH 1 THRU APRIL 30 AND OPTIMAL SEEDING DATES ARE AUGUST 15 THRU OCTOBER 15:
HARD FESCUE @ 4.0#/1,000 S.F.
PERENNIAL RYEGRASS @ 1.0#/1,000 S.F.
KENTUCKY BLUEGRASS @ 1.0#/1,000 S.F.
PLEASE NOTE THAT OTHER SEED MIXTURES CAN BE USED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTRIPACKER SEEDER.
C. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT.
D. LIQUID MULCH BINDER-MAY BE USED TO ANCHOR SALT HAY OR STRAW MULCH.
A. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS.
B. USE ONE OF THE FOLLOWING:
1. ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS.
2. SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER.
3. WOOD-FIBER OR PAPER-FIBER MULCH.
4. PELLETIZED MULCH.
5. IRRIGATION (WHERE FEASIBLE)
IF SOIL MOISTURE IS DEFICIENT, AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED).

STABILIZATION WITH MULCH

METHODS AND MATERIALS

- 1. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
2. PROTECTIVE MATERIALS
A. UN-ROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL.
B. ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 600 TO 1,200 GALLONS PER ACRE.
C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
E. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.
F. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED.
G. FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW TO MINIMIZE LOSS BY WIND OR WATER.
4. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS.
5. MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH.
6. CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SURFACE.
7. LIQUID MULCH - BINDERS
1. APPLICATION SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS.
2. USE ONE OF THE FOLLOWING:
A. ORGANIC AND VEGETABLE BASED BINDER - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS.
B. SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER.
8. MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH.
9. CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SURFACE.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

- 1. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION.
2. SEEDBED PREPARATION
A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION OFFICES.
B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.
C. INSPECT SEEDBED JUST BEFORE SEEDING.
D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS, SEE ACID SOIL NOTES.
3. SEEDING
A. TEMPORARY SEEDING SHALL CONSISTING OF THE FOLLOWING SEED SELECTIONS OR APPROVED EQUAL:
COOL SEASON GRASSES
SPRING OATS @ 2.0#/1,000 S.F., WITH OPTIMUM SEED DEPTH OF 1.0 INCH
WINTER CEREAL RYE @ 2.8#/1,000 S.F., WITH OPTIMUM SEED DEPTH OF 1.0 INCH
WARM SEASON GRASSES
PEARL MILLET @ 0.5#/1,000 S.F. WITH OPTIMUM SEED DEPTH OF 1.0 INCH
PLEASE NOTE THAT OTHER SEED SELECTIONS CAN BE USED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTRIPACKER SEEDER.
C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER, AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED.
D. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT.
4. MULCHING
REFER TO THE MULCH NOTES, NOTE 4 UNDER THE PERMANENT VEGETATIVE COVER SECTION.

CONSTRUCTION SCHEDULE AND PROCEDURE FOR IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES

- 1. PROVIDE TEMPORARY STABILIZATION OF ALL DISTURBED AREAS AND INSTALL SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND ALL OTHER NECESSARY SOIL EROSION MEASURES. (1 WEEK)
2. REMOVE FULL DEPTH PAVEMENT SECTION AND OTHER ITEMS NOTED WITHIN DEMOLITION LIMITS. (1 WEEK)
3. CLEAR AND ESTABLISH ROUGH GRADES AS NECESSARY TO CONSTRUCT SITE IMPROVEMENTS. (1 WEEK)
4. CONSTRUCT STORMWATER MANAGEMENT SYSTEM. (4 WEEKS)
5. CONSTRUCT SITE IMPROVEMENTS (4 WEEKS)
6. PROVIDE PERMANENT VEGETATIVE COVER. (2 DAYS)
7. REMOVE ACCESS PROTECTION, AND SILT FENCE AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED. (1 WEEK)

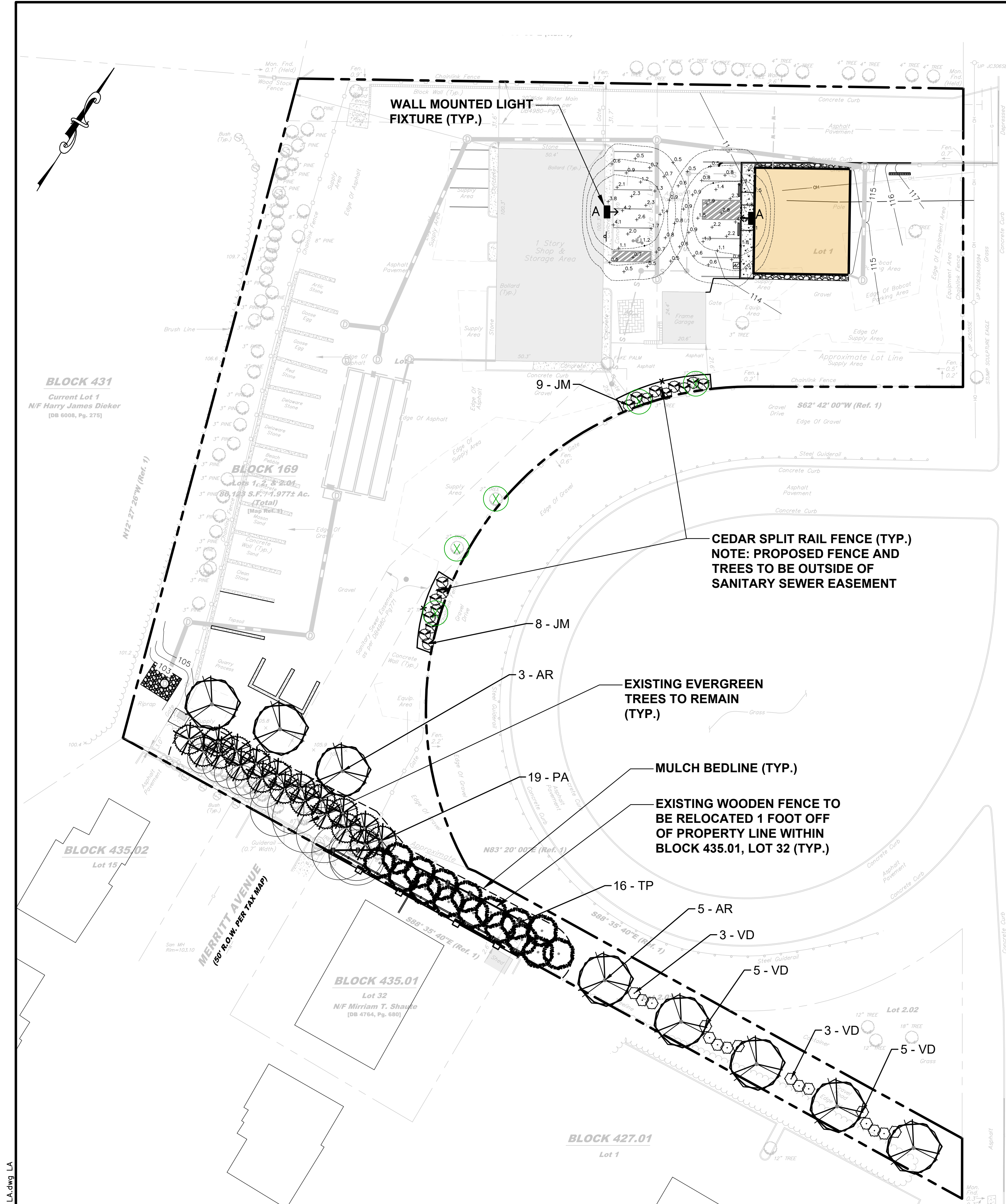
THE ABOVE SCHEDULE IS FOR THE IMPLEMENTATION AND INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES ONLY. CONTRACTOR MAY MODIFY AND/OR CREATE HIS OWN SCHEDULE. IF THE CONSTRUCTION SCHEDULE IS MODIFIED, A REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED.

0: Y:\BK\1990018937 - Bulk Yard 35 CADW\DWG\19937_001 - SESC.dwg SESC details

Table with 5 columns: No., Date, Revision, Revisited By, Checked By. Row 1: 2, 12/18/2023, REVISED PER BOROUGH OF SAYREVILLE COMMENTS, KN, LBB. Row 2: 1, 5/23/2023, REVISED FOR COMPLETENESS, KN, LBB.

FPA FRENCH & PARRELO ASSOCIATES
New Jersey New York Pennsylvania Georgia
Corporate Office: 1800 Rte. 34, Suite 101, Wall, New Jersey 07719, 732.312.9800
FPAAengineers.com
JELENA BALORDA-BARONE, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 44465

SOIL EROSION AND SEDIMENT CONTROL DETAILS FOR BULK YARD 35 BLOCK 42B, LOTS 1,2, & 2.01 IN BOROUGH OF SAYREVILLE MIDDLESEX COUNTY, NEW JERSEY
DATE: 9-15-2022
DRAWN BY: LBB
CHECKED BY: LBB
SCALE:
PROJECT NUMBER: 18937.001
SHEET: 6 of 11

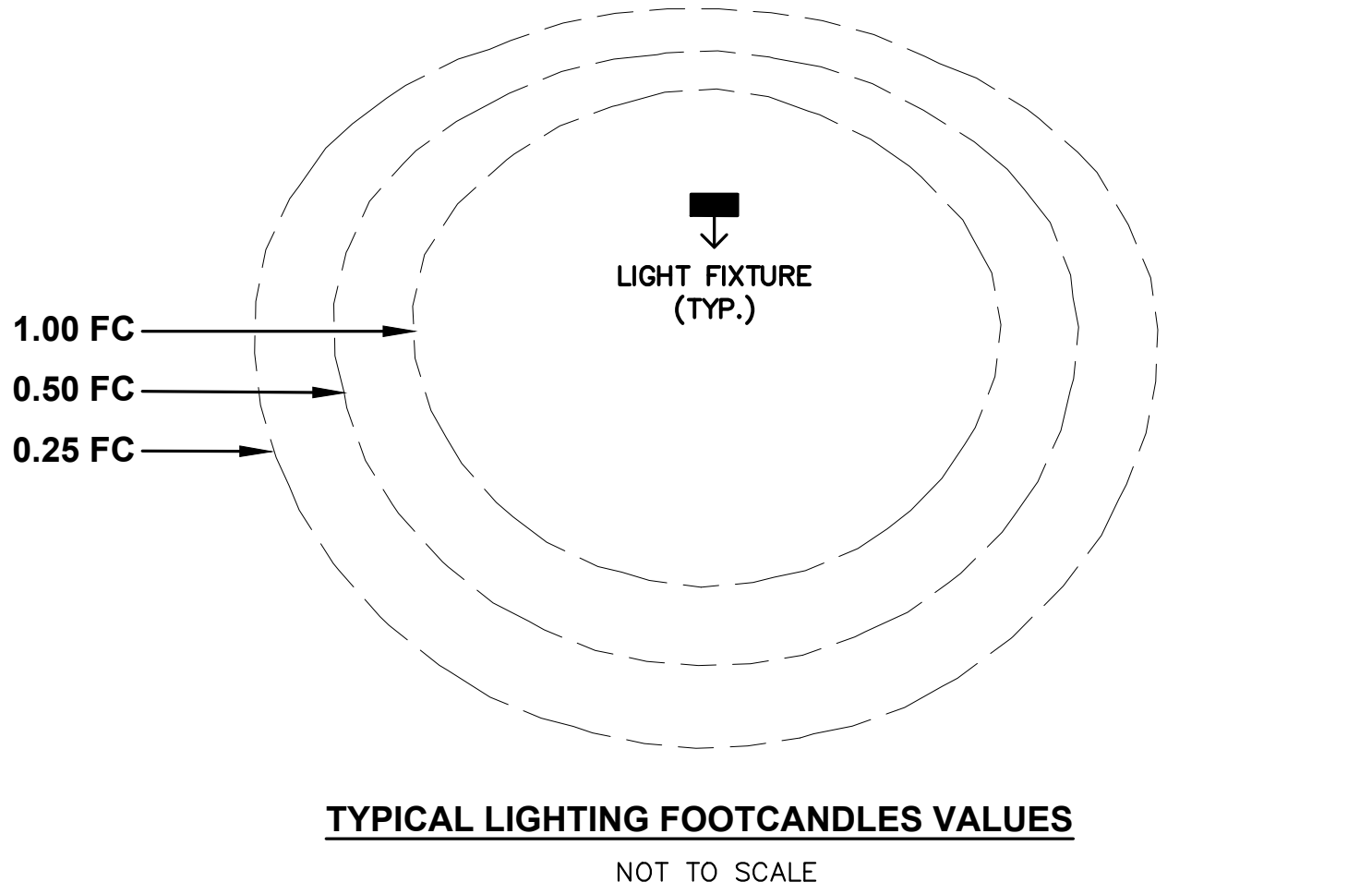
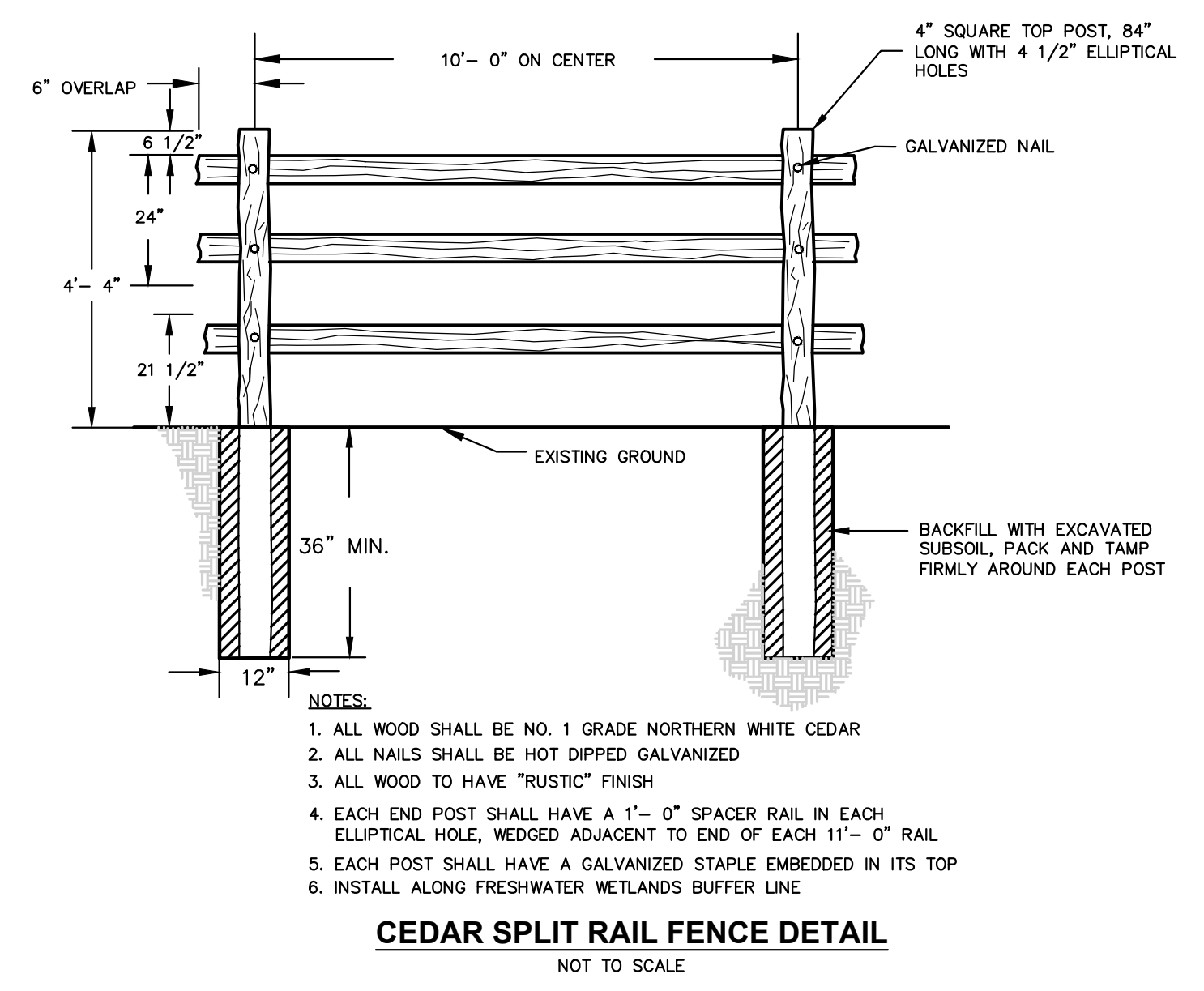


PLANTING NOTES

- THE LANDSCAPE PLANS SHALL BE USED FOR LANDSCAPING PURPOSES ONLY. THE CONTRACTOR SHOULD EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR EXACT LOCATIONS OF UTILITIES, DRAINS, ETC., AND NOTIFY THE OWNER ABOUT ANY DISCREPANCIES BEFORE STARTING WORK.
- ALL PLANTING SHALL BE IN CONFORMANCE WITH THE AMERICAN NURSERYMEN'S ASSOCIATION STANDARDS, CURRENT EDITION. ALL PLANT MATERIALS USED SHALL BE TRUE TO NAME AND SIZE IN CONFORMITY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD OF NURSERY STOCK AND SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUN SCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFECTION. ALL PLANTS SHALL BE NURSERY GROWN. ALL PLANT MATERIAL SHALL BE TAGGED AT THE NURSERY SOURCE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT, OR TOOLS RELATED TO THE EXECUTION OF THIS CONTRACT.
- EXCAVATION NEAR EXISTING UTILITIES TO BE CAREFULLY PERFORMED BY HAND.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT THE NURSERY. ALL PLANT MATERIAL SHALL BE PLANTED SO THAT THE TOP OF THE ROOTBALL IS NO HIGHER OR LOWER THAN THE EXISTING/FINISHED GRADE DEPENDENT UPON SOIL CONDITIONS.
- IN THE EVENT THAT PLANTING DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE LANDSCAPING PLAN SHALL GOVERN. THE USE AND PLANTING OF BARE ROOT MATERIAL SHALL BE PROHIBITED.
- ANY SUBSTITUTIONS OF PLANT MATERIAL WITH REGARDS TO SIZE, SPECIES, VARIETY, ETC., SHALL BE SUBJECT TO APPROVAL BY THE OWNER.
- PLANTS SHALL ONLY BE INSTALLED WHEN THE SOIL IS FROST FREE.
- UNDER NO CIRCUMSTANCES SHOULD THE MAIN LEADER OF A DECIDUOUS OR EVERGREEN TREE BE TOPPED. DECIDUOUS TREES SHALL BE PRUNED BY REMOVAL OF 1/3 OF THE INTERIOR BRANCHING STRUCTURE WITHOUT ALTERING THE ORIGINAL BRANCHING FORM OF THE TREE.
- ALL DISTURBED AREAS, NOT BEING PLANTED, SHALL BE TOPSOILED 4" THICK, FERTILIZED, SEEDING, AND MULCHED WITH APPROVED MULCH. TOPSOIL SHALL BE NATURAL FRIABLE, FERTILE SOIL CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY. IT SHALL BE FREE OF LUMPS OF CLAY, STONES, ROOTS, AND OTHER FOREIGN MATTER.
- CUT AND LOOSEN SISAL HEMP CHOKE TIE AROUND TREE TRUNK. ALL PLASTIC MATERIAL SHALL NOT BE PERMITTED. ALL WIRE BASKETS AND PLASTIC LINERS OF CONTAINER GROWN TREES AND SHRUBS MUST BE COMPLETELY REMOVED. NO CONTAINER GROWN MATERIAL WILL BE ACCEPTED IF IT IS ROOT BOUND AND NOT ROOT PRUNED. THE USE OF NYLON TWINE ON ROOT BALLS IS PROHIBITED.
- THE DEPTH OF PLANT PITS SHALL BE INCREASED BY 12" THROUGH THE ADDITION OF LOOSE AGGREGATE (3/4" TO 1 1/2" DIAMETER) WHEREVER POOR DRAINAGE OCCURS OR WHERE DIRECTED BY THE TOWNSHIP.
- GUY WIRES SHALL BE LOCATED SO THAT THEY WILL NOT PULL CROTCH APART. GUY WIRES TO SECOND BRANCH (MINIMUM ONE-THIRD HEIGHT OF TREE). USE THREE GUYS PER TREE UNLESS OTHERWISE SPECIFIED. ALL TREE STAKES, GUY WIRES, TREE WRAPPING AND SAUCERS SHALL BE REMOVED AFTER ONE GROWING SEASON.
- PLANTS PLANTED IN ROWS SHALL BE MATCHED SPECIMENS AND BE UNIFORM IN SIZE AND FORM.
- IN THE EVENT THAT EXISTING VEGETATION IS REMOVED BEYOND THE CLEARING LIMITS SHOWN ON THE PLANS, ADDITIONAL PLANTING MUST BE PROVIDED AS APPROVED BY THE TOWNSHIP AND AT NO COST TO THE OWNER.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF ONE PART TOPSOIL, ONE PART NATIVE SOIL AND ONE PART PEAT MOSS. NOTE THAT PLANTING MIXTURE MAY CHANGE BASED UPON SOIL CONDITIONS.
- MULCH, 4" IN DEPTH, SHALL BE TREATED SHREDDED HARDWOOD BARK NOT EXCEEDING 2" IN GREATEST DIMENSION. MULCH SHALL BE INSTALLED WITH A MAXIMUM OF ONE (1) INCH WITHIN ONE (1) FOOT ON THE TREE'S ROOT FLARE. A NON-PLASTIC WEED RETARDANT BARRIER SHALL BE USED IN ALL NON GRASSED AREAS. MULCH SHALL BE FINE GRADED FOR A PLEASING APPEARANCE. THE USE OF MARBLE OR PINE BARK CHIPS IS PROHIBITED. MULCH VOLCANOES ARE NOT PERMITTED.
- ALL PLANT MATERIAL SHALL BE GIVEN A MINIMUM OF 5 GALLONS OF WATER AT THE TIME OF INSTALLATION AND SHALL BE WATERED AT INTERVALS DURING ESTABLISHMENT TO ENSURE ADAPTATION TO THE SITE. PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL, THE CONTRACTOR SHALL FILL EACH PLANTING PIT WITH WATER AND ALLOW IT TO FULLY PERCOLATE INTO THE GROUND PRIOR TO PLACEMENT OF THE PLANT. THE CONTRACTOR SHALL NOTIFY EITHER THE TOWNSHIP OR PROJECT LANDSCAPE ARCHITECT OF ANY PERCOLATION PROBLEMS PRIOR TO INSTALLATION.
- PREFERRED PLANTING TIME PERIODS ARE FROM SEPTEMBER 1 TO NOVEMBER 30 OR MARCH 20 TO MAY 31. NO PLANTING SHALL BE EXECUTED DURING ABNORMALLY HOT WEATHER NOR WHEN THE GROUND IS FROZEN.
- THE CONTRACTOR SHALL REMOVE ALL DAMAGED BRANCHES AND NURSERY TAGS AT THE TIME OF INSTALLATION.
- ALL TURF SHALL RECEIVE FERTILIZER CONSISTING OF 10-6-4 (50% ORGANIC) COMPOSITION, APPLIED AT 3 LB. PER 100 SQ. FT. SLOW RELEASE FERTILIZER TABLETS OR PACKETS OF 20-10-5 COMPOSITION SHALL BE ADDED TO ALL PLANTING PITS AT THE FOLLOWING RATIOS: 1 PER SHRUB, 2 PER DECIDUOUS OR EVERGREEN TREES UP TO 2" IN CALIPER AND 3 FOR DECIDUOUS AND EVERGREEN TREES ABOVE 2" IN CALIPER.
- EACH TREE THAT IS PLANTED MUST BE TAGGED WITH A DURABLE LABEL BEARING THE GENUS, SPECIES, VARIETY, PLANT PATENT NUMBER (IF APPLICABLE) AND CULTURAL REQUIREMENTS AND MUST BE INSPECTED PRIOR TO REMOVAL.
- CONTRACTOR TO BE RESPONSIBLE FOR SEEDING AREAS BEING DISTURBED BY CONSTRUCTION. SEED MIXTURE TO BE IN ACCORDANCE WITH SOIL CONSERVATION DISTRICT'S STANDARDS.
- ALL TREES FOUR (4) FEET OR GREATER IN HEIGHT SHALL BE STAKED PER BOROUGH DESIGN STANDARDS.
- ALL PLANT RELOCATIONS SHALL BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR PERIOD OF TWO YEARS FROM THE TIME OF PLANTING.

TREE CONSERVATION AND REFORESTATION NOTES:

- 2001 APPROVED PLAN: 37 TREES REQUIRED -- 101 TREES PROPOSED PER APPROVED PLAN
- INTERIM 2001 TO CURRENT: 52 TREES CURRENTLY EXISTING
- CURRENT PLAN: 52 TREES EXISTING -- 8 TREES PROPOSED, TOTAL = 60 TREES
- (41 PROPOSED TREES IN OPEN SPACE TO MEET THE REQUIREMENTS OF THE 2001 APPROVED PLAN (101-8=93 TREES), 3 PROPOSED TREES FOR PARKING SPACES TREE REQUIREMENTS PER SECTION #242-92 S6)
- IN ACCORDANCE WITH SECTION #242-92 S8.B FOR ANY TREE NOT REPLACED ON SITE A CONTRIBUTION OF \$250.00 PER REPLACEMENT TREE SHALL BE PAID BY THE APPLICANT AND DEPOSITED IN THE BOROUGH TREE BANK FUND. THEREFORE \$10,250.00 (41 REPLACEMENT TREES X \$250.00) SHALL BE DEPOSITED IN THE BOROUGH TREE BANK FUND.



STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	+	1.4 fc	4.8 fc	0.5 fc	9.6:1	2.8:1

LUMINAIRE SCHEDULE

Symbol	Label	Manufacturer	Catalog	Lamp Output	LLF	Input Power	Mounting Height
➡	A	LSI INDUSTRIES, INC.	XWS-LED-03L-FTW-30-80CRI WALL MOUNTED	3624	1	26	15 AFG

LEGEND:

- EXISTING TREE TO BE REMOVED
- EXISTING EVERGREEN TREE TO REMAIN
- CEDAR SPLIT RAIL FENCE
- WALL MOUNTED LIGHT FIXTURE

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	MATURE SIZE	KEY	REMARKS
TREES								
AR	8	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3.5" CAL.	B&B	60'-80" HEIGHT, 40'-50" SPREAD	N#	RED FALL FOLIAGE
JM	17	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	6'-8" HEIGHT	B&B	15'-25' HEIGHT, 6'-8' SPREAD	S	NARROW EVERGREEN TREE
EVERGREEN TREES								
PA	19	PICEA ABIES	NORWAY SPRUCE	8'-10" HEIGHT	B&B	40'-60" HEIGHT, 25'-30" SPREAD		EVERGREEN TREE
TP	16	THUJA PLICATA 'GREEN GIANT'	WESTERN RED CEDAR	8' HT.	B&B	15'-30" HEIGHT, 10'-20" SPREAD		EVERGREEN TREE
SHRUBS								
VD	16	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	2'-3' HEIGHT	B&B	5'-8' HEIGHT AND SPREAD	N#	WHITE FLOWERS, MAY, ORANGE-RED FALL COLOR

KEY:

N = NATIVE PLANT OF NORTH AMERICA
 & = SALT SPRAY TOLERANT

* = SPRING INSTALLATION ONLY
 # = SELDOM OR RARELY DAMAGED BY DEER AS PER RUTGERS AG AGENCY (HTTP://NJAES.RUTGERS.EDU)

REVISIONS

No.	Date	Revision	Revised By	Checked By
2	10/18/2023	REVISED PER BOROUGH ENGINEERING DEPARTMENT COMMENTS	MB	LBB
1	5/23/2023	REVISED FOR COMPLETENESS	KN	LBB

30 0 30 60
SCALE IN FEET

FPA
FRENCH & PARRELLO ASSOCIATES

Corporate Office:
 1800 RR 34, Suite 101
 Wall, New Jersey 07719
 732.312.9800
 FPAengineers.com

New Jersey ▲ New York ▲ Pennsylvania ▲ Georgia

LANDSCAPING AND LIGHTING PLAN

FOR
BULK YARD 35
BLOCK 428, LOTS 1, 2, & 2.01

IN
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY, NEW JERSEY

DATE: 9-15-2022
 DESIGNED BY: JB
 DRAWN BY: JB

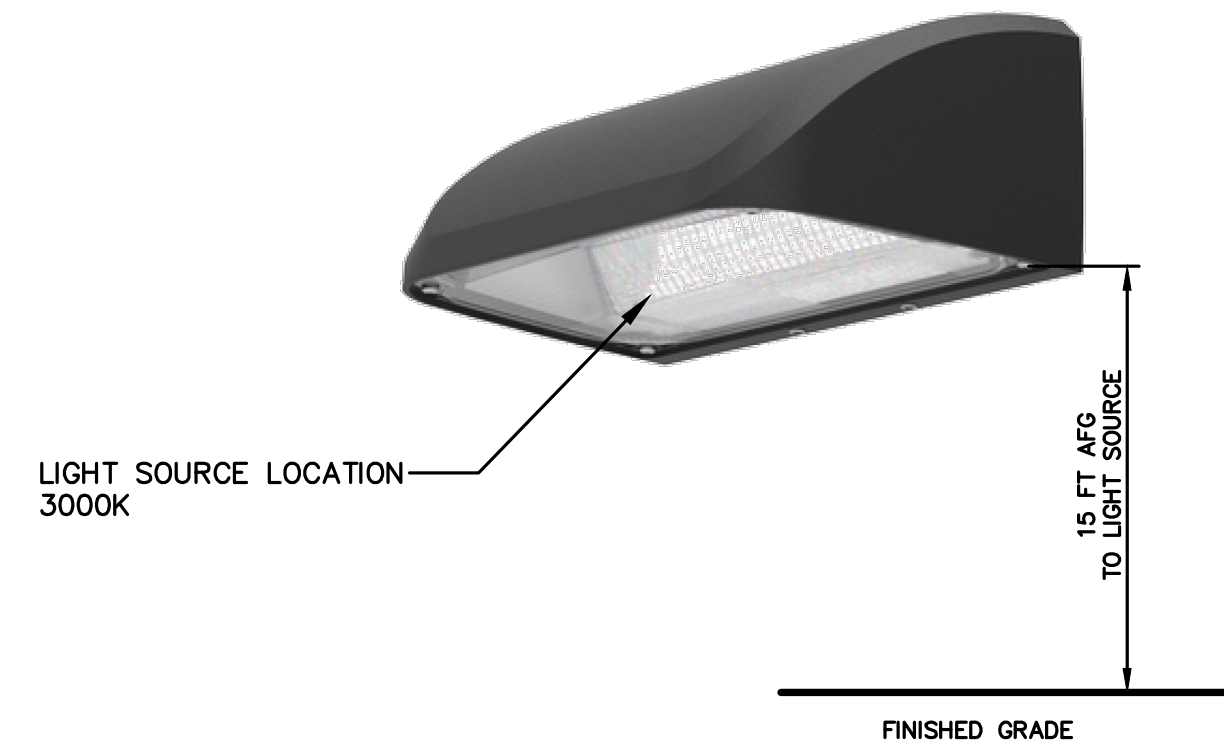
CHECKED BY: LBB
 FIELD BOOK

SCALE: 1" = 30'
 SHEET: 7 of 11

PROJECT NUMBER: 18937.001

MICHAEL J. PIGA, L.L.A.
 LICENSED LANDSCAPE ARCHITECT, N.J. LIC. NO. AS000909

G:\BIB\18937 - Bulk Yard 35 CAD\DWG\18937.dwg - LA.dwg LA

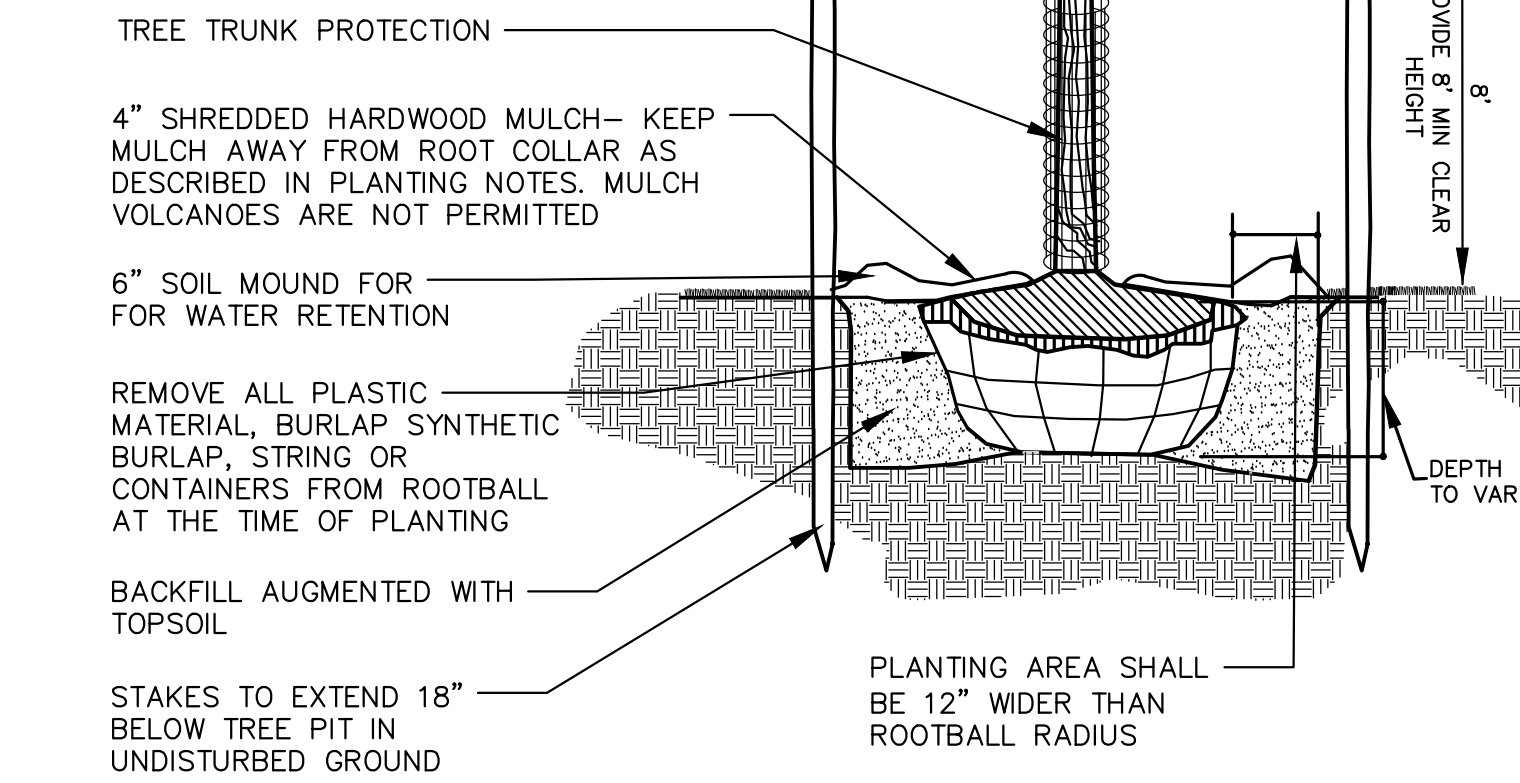


1. LIGHT PRODUCT INFO:
 PRODUCT: MIRADA SMALL WALL SCONCE XWS OR APPROVED EQUAL COLOR TO BE BLACK OR AVAILABLE STANDARD COLOR AS APPROVED BY OWNER.
 MANUFACTURER: LSI INDUSTRIES INC. CINCINNATI, OH
 WWW.LSICORP.COM
 PHONE: 513-372-3200

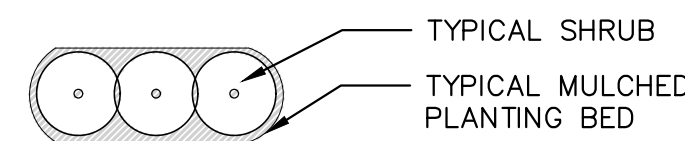
WALL MOUNTED LIGHT FIXTURE DETAIL (FIXTURE A)
 NOT TO SCALE

NOTES:

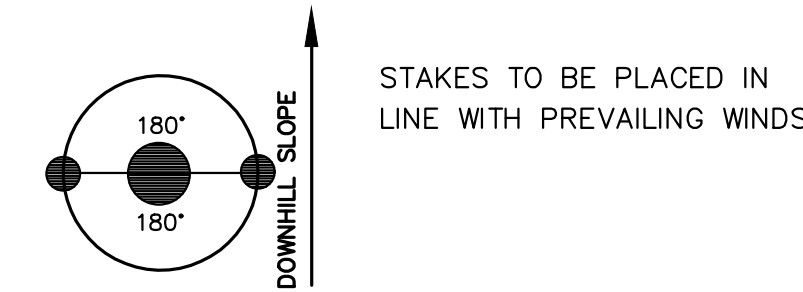
1. ALL TREES UNDER 3" IN CALIPER SHALL BE STAKED ALL TREES 3" IN CALIPER AND GREATER SHALL BE GUYED
2. TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE
3. SET STAKES VERTICAL AND AT SAME HEIGHT
4. REMOVE ALL WIRE BASKETS PRIOR TO BACKFILLING THE PLANTING PIT.
5. ALL WIRE BASKETS SHALL BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.



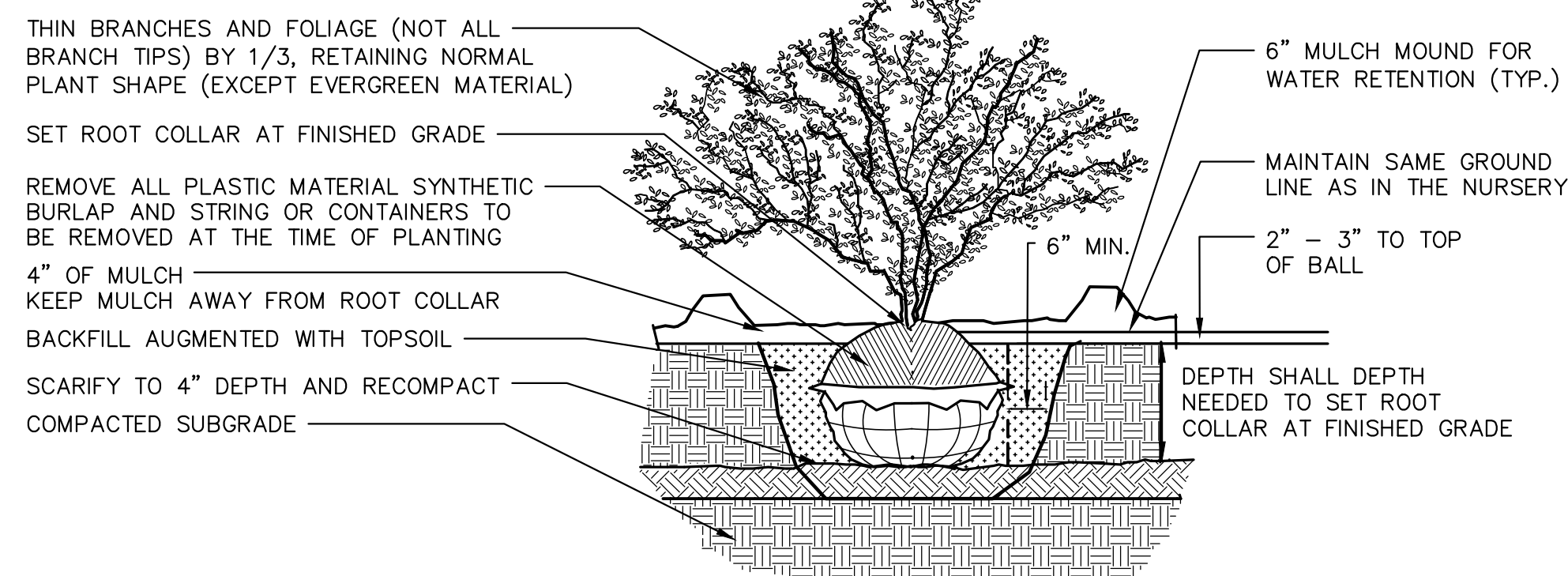
DECIDUOUS TREE PLANTING DETAIL
 NOT TO SCALE



TYPICAL SHRUB PLANTING BED PLAN VIEW



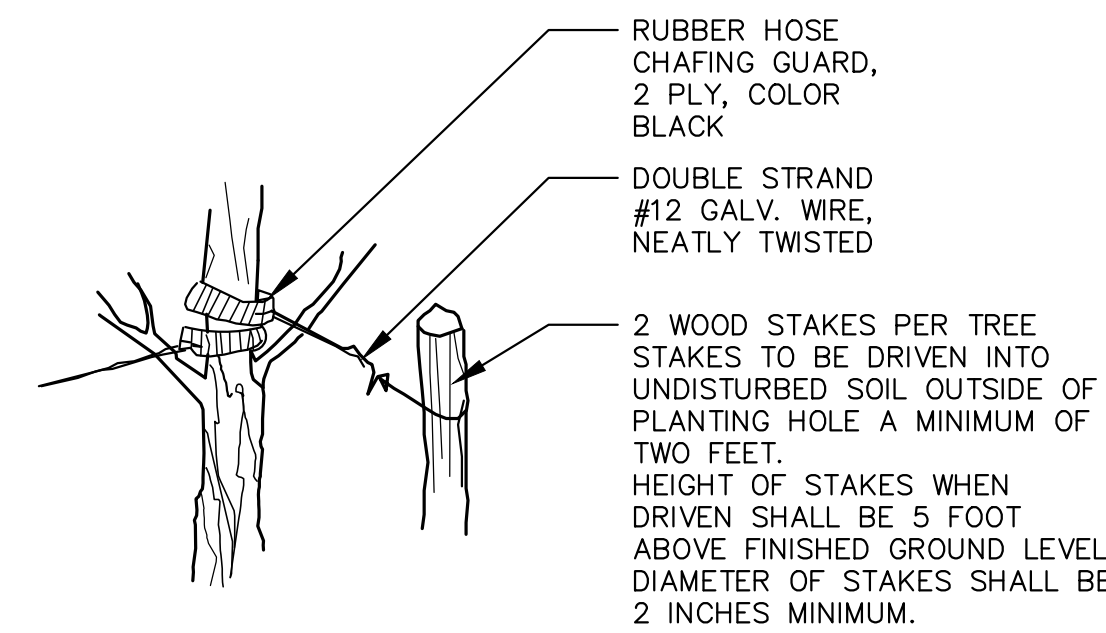
STAKING PLAN SCHEMATIC



SHRUB PLANTING DETAIL
 NOT TO SCALE

NOTES:

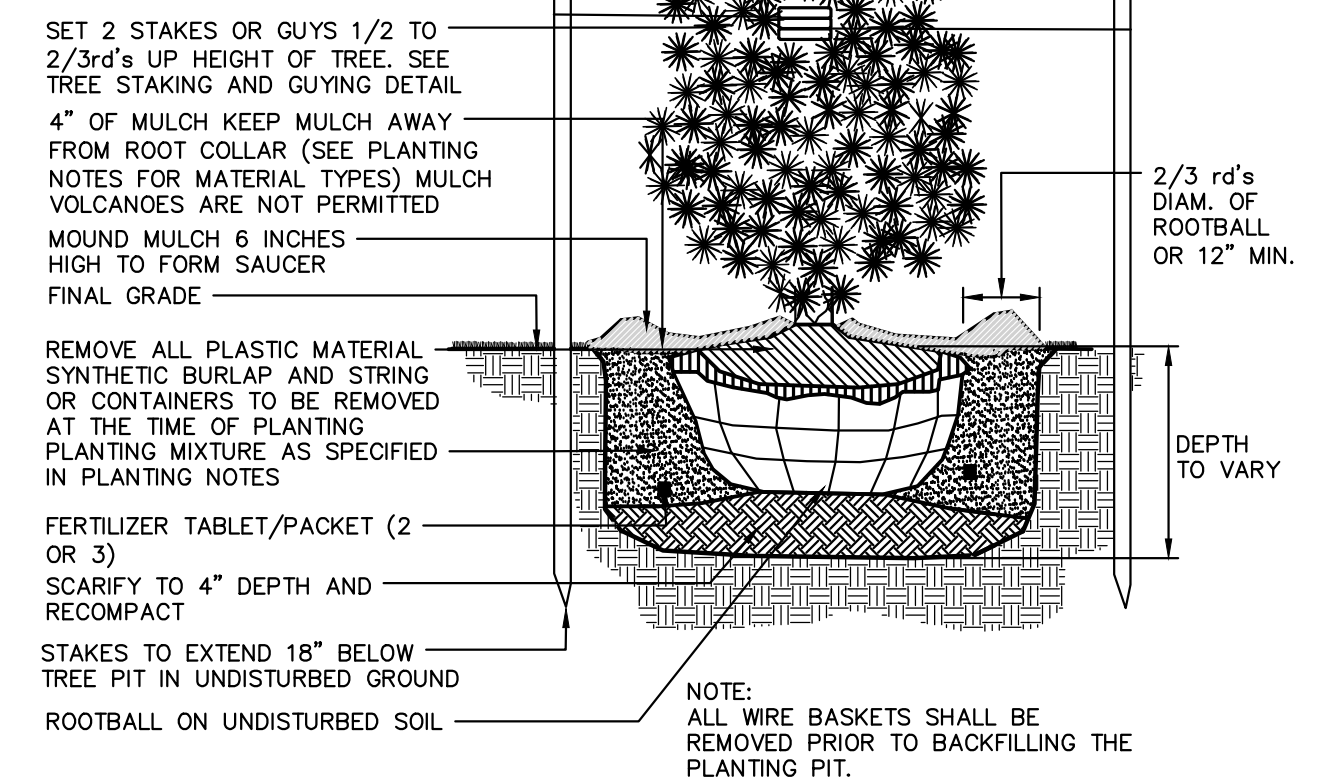
1. CONTRACTOR TO PROVIDE A MULCHED PLANTING BED FOR SHRUBS GROUPED TOGETHER. MULCHED BEDS MAY VARY IN SHAPE AND SIZE TO CONFORM WITH SHRUB LAYOUT.
2. DO NOT PRUNE EVERGREEN SHRUBS EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES



TREE STAKING DETAIL
 NOT TO SCALE

NOTES:

1. ALL EVERGREEN TREES TO BE STAKED AND/OR GUYED AS SPECIFIED IN THE DETAIL AND THE PLANTING NOTES
2. TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE.
3. NEVER CUT LEADERS.
4. PRUNE ONLY TO REMOVE DAMAGED OR BROKEN BRANCHES. SEE TREE PRUNING DETAIL.
5. STAKES SHALL BE WHITE OR RED CEDAR, OAK, OR LOCUST TREATED WITH ACCEPTABLE WOOD PRESERVATIVE



EVERGREEN TREE PLANTING DETAIL
 NOT TO SCALE

No.	Date	Revision	Revised By	Checked By
2	12/18/2023	REVISED PER BOROUGH OF SAYREVILLE COMMENTS	KN	LBB
1	5/23/2023	REVISED FOR COMPLETENESS	KN	LBB



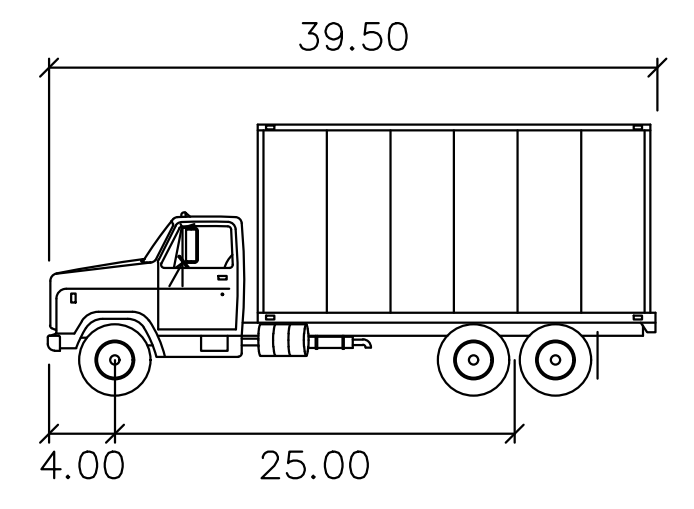
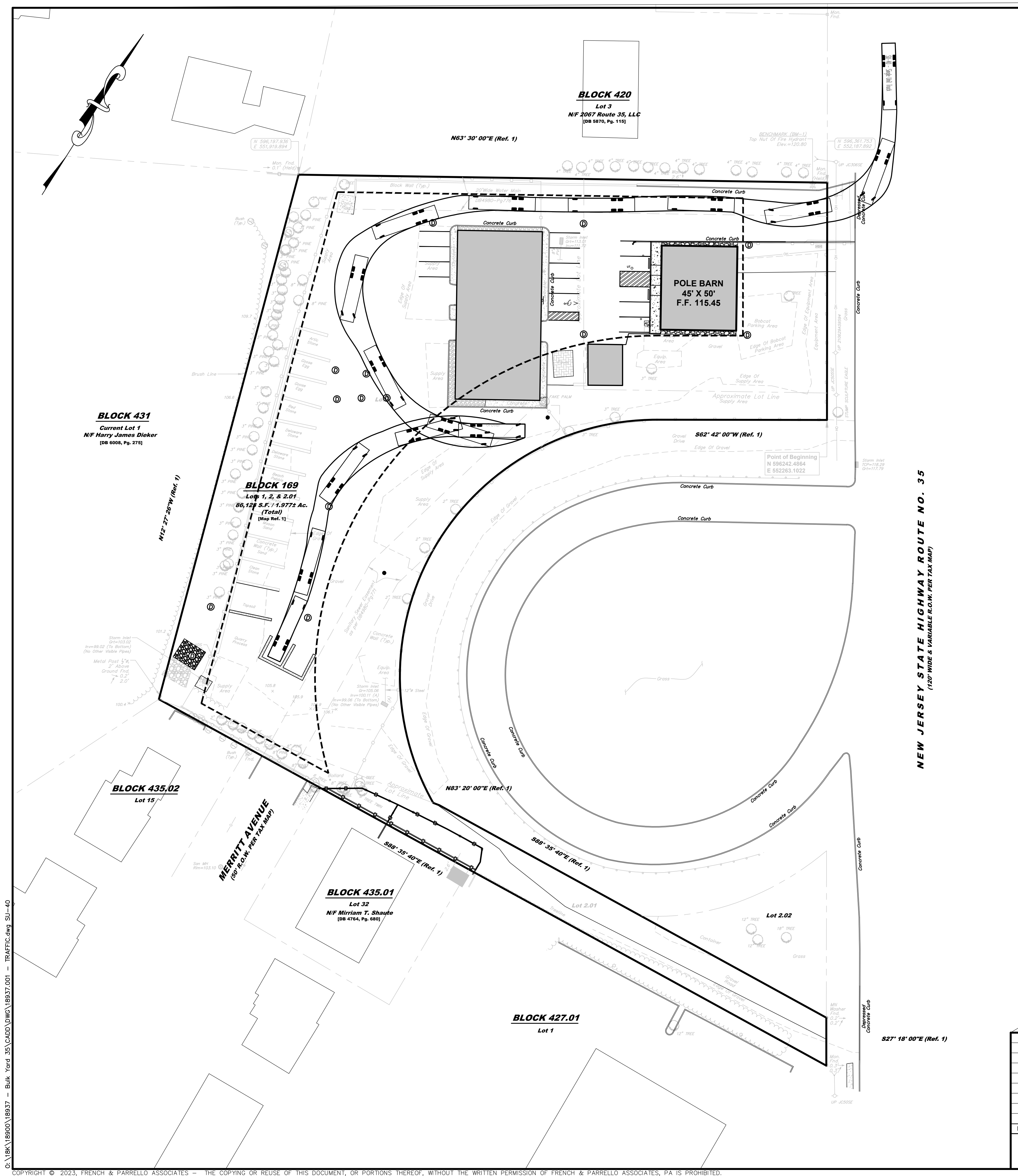
MICHAEL J. PIGA, L.L.A.
 LICENSED LANDSCAPE ARCHITECT, N.J. LIC. No. AS000909

LANDSCAPING AND LIGHTING NOTES AND DETAILS

FOR
BULK YARD 35
BLOCK 428, LOTS 1,2, & 2.01

IN
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY, NEW JERSEY

DATE: 9-15-2022	DESIGNED BY: JB	SCALE:	PROJECT NUMBER: 18937.001
DRAWN BY: JB	CHECKED BY: LBB	FIELD BOOK	SHEET: 8 of 11



SU-40
 feet
 Width : 8.00
 Track : 8.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.8

NEW JERSEY STATE HIGHWAY ROUTE NO. 35
 (120' WIDE & VARIABLE R.O.W. PER TAX MAP)

No.	Date	Revision	Revised By	Checked By
2	12/18/2023	REVISED PER BOROUGH OF SAYREVILLE COMMENTS	KN	LBB
1	5/23/2023	REVISED FOR COMPLETENESS	KN	LBB



FPA
 FRENCH & PARRELLO
 ASSOCIATES

Corporate Office:
 1800 Rt. 34, Suite 101
 Wall, New Jersey 07719
 732.312.9800
 FPAengineers.com

New Jersey ▲ New York ▲ Pennsylvania ▲ Georgia

JELENA BALORDA-BARONE, P.E.
 PROFESSIONAL ENGINEER, N.J. LIC. No. 44465

TRUCK TURNING PLAN
 FOR
BULK YARD 35
BLOCK 428, LOTS 1,2, & 2.01
 IN
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY, NEW JERSEY

DATE: 9-15-2022
 DESIGNED BY: TLV
 DRAWN BY: TLV

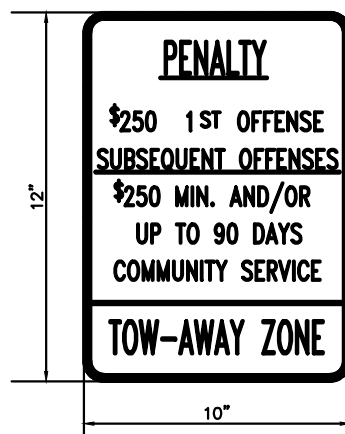
SCALE: 1" = 30'
 CHECKED BY: LBB
 FIELD BOOK

PROJECT NUMBER: 18937.001
 SHEET: 9 of 11

C:\BIB\18900\18937 - Bulk Yard 35\CADD\DWG\18937.001 - TRAFFIC.dwg SU-40



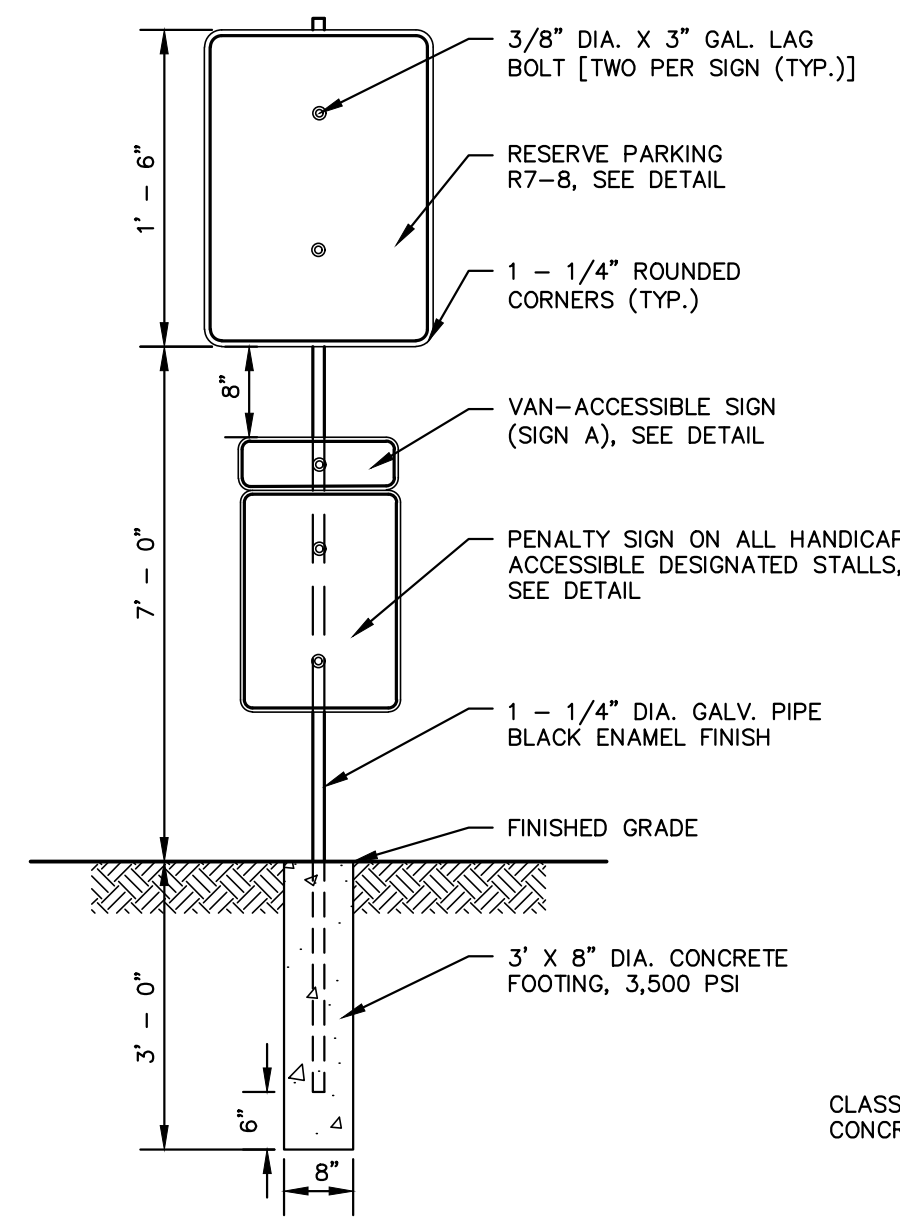
RESERVED PARKING
DETAIL
NOT TO SCALE



PENALTY SIGN
R7-8P
NOT TO SCALE

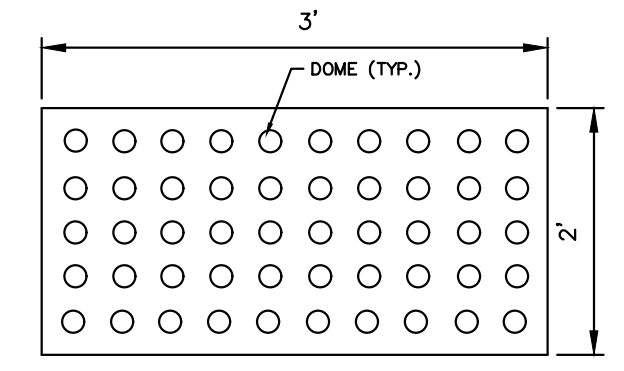


VAN ACCESSIBLE SIGN
NOT TO SCALE

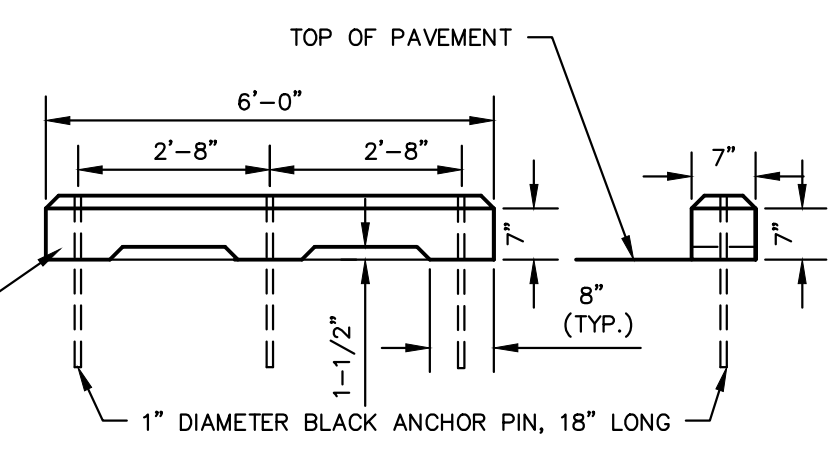


- NOTES:
- ALL SIGNS TO CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
 - OUTSIDE EDGE OF CLOSEST TO ROADWAY SHALL BE A MINIMUM DISTANCE OF 2'
 - THE CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO PURCHASE OF ANY MATERIALS.

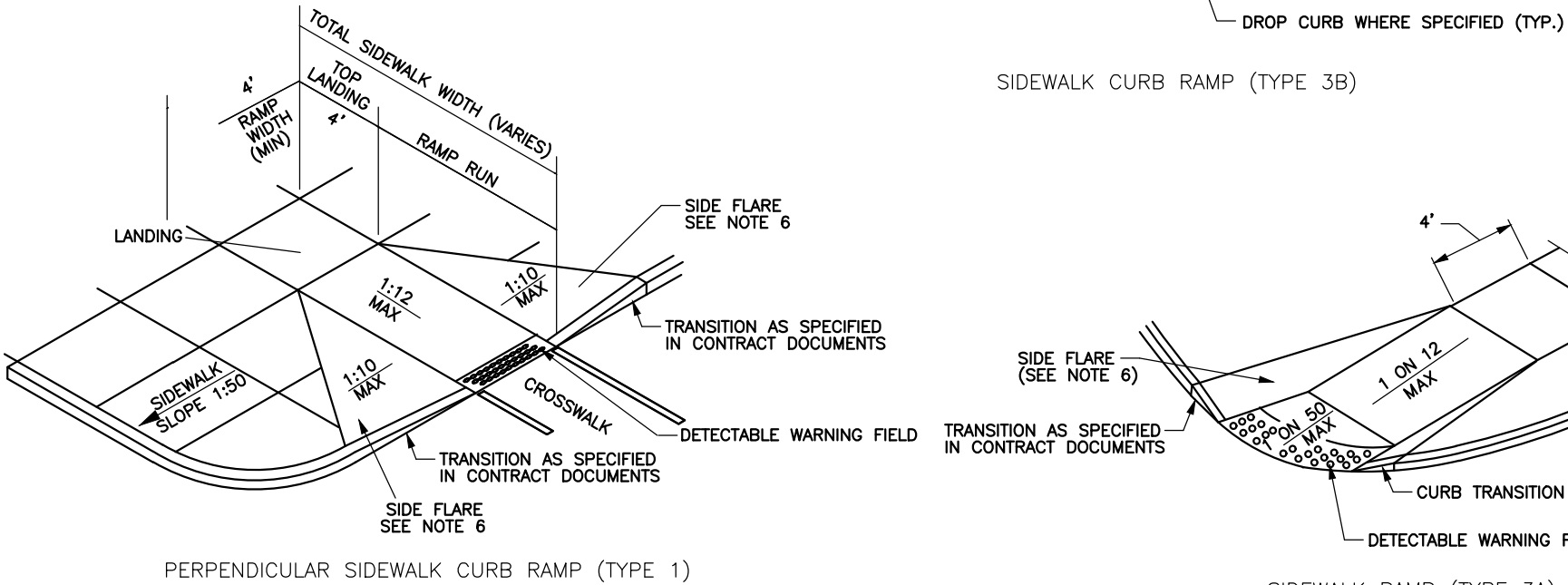
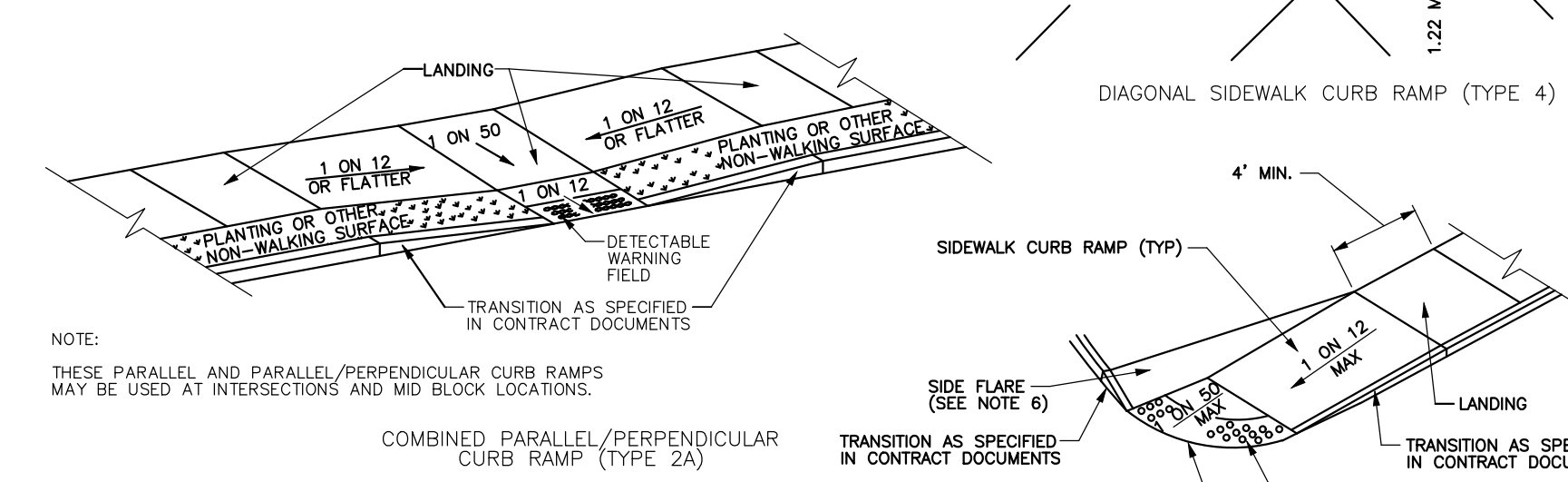
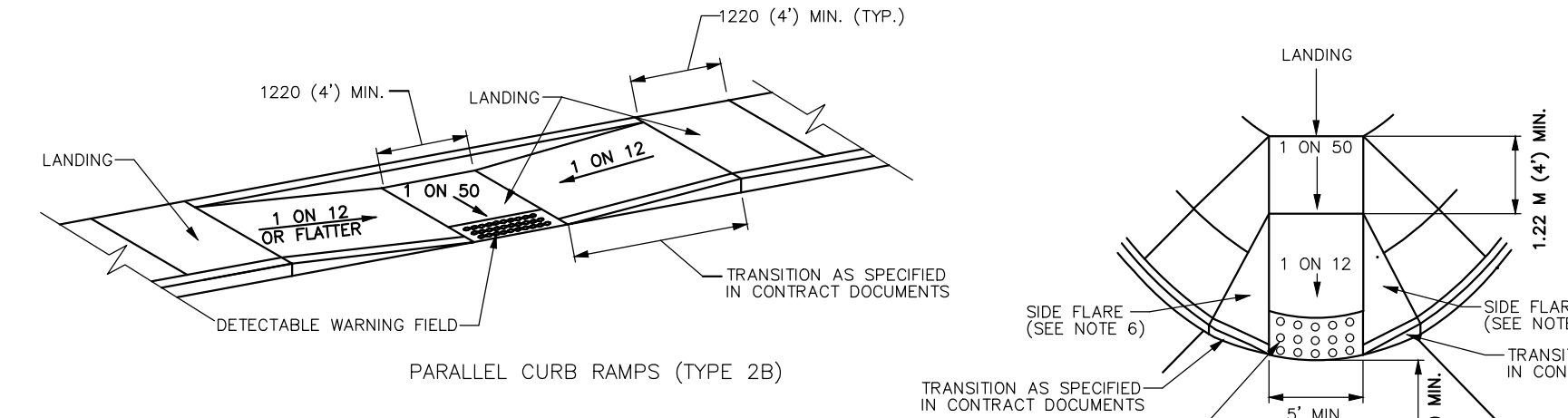
ADA COMPLIANT PARKING SIGN AND SIGN POST DETAIL
(IF REQUIRED)
NOT TO SCALE



DETECTABLE WARNING PAD DETAIL
NOT TO SCALE

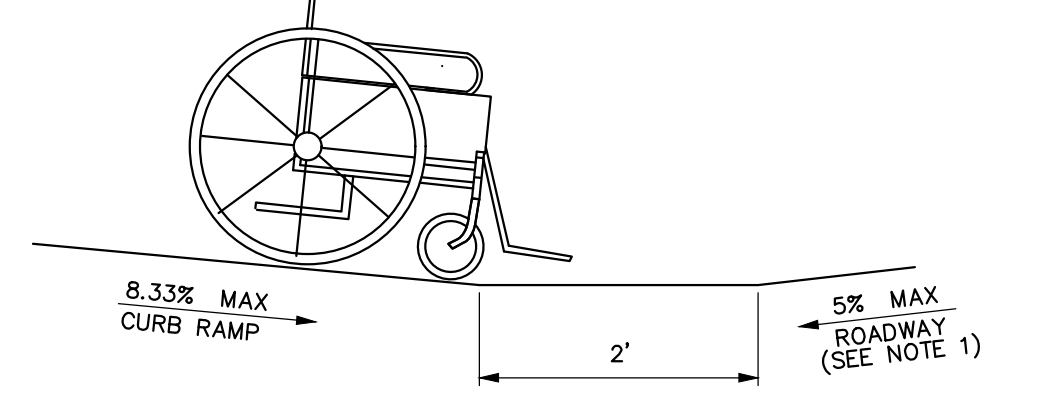


CONCRETE WHEEL STOP DETAIL
NOT TO SCALE



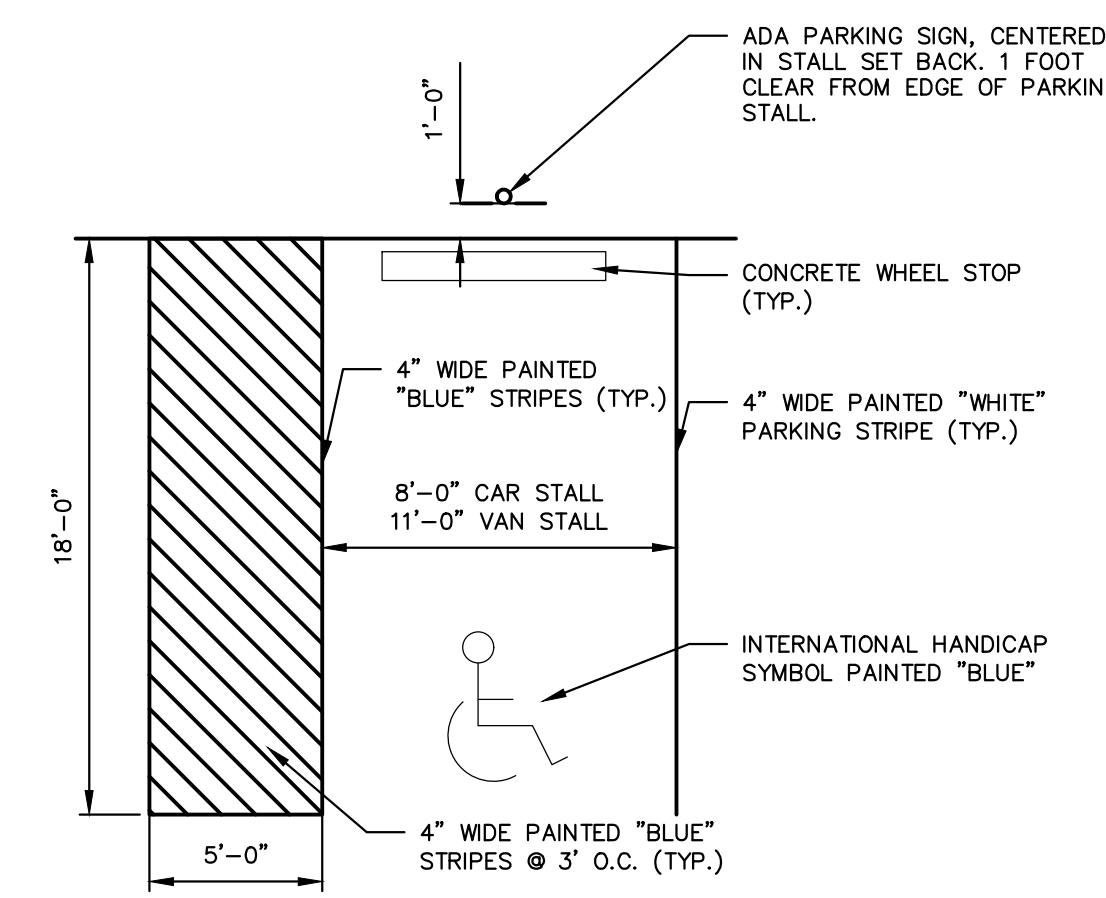
CURB RAMPS
NOT TO SCALE

- GENERAL NOTES:
- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 - THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
 - LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 4' BY 4' SQUARE. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING MAY SERVE MULTIPLE CURB RAMPS OR PARALLEL OR PARALLEL/PERPENDICULAR RAMPS. LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
 - CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARF.
 - THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
 - CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 4' WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
 - THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.
 - RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES 0.2" MAX.
 - COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
 - WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR GREATER PEDESTRIAN SAFETY AND COMFORT.
 - AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMPS (THE FLARES) SHOULD NOT BE WITHIN THE WIDTH OF THE MARKINGS.
 - DETAILS ILLUSTRATE THAT DETECTABLE WARNINGS ARE REQUIRED. SEE SPECIFICATION FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAIL DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMPS. DROPPED CURBS MAY BE SPECIFIED.

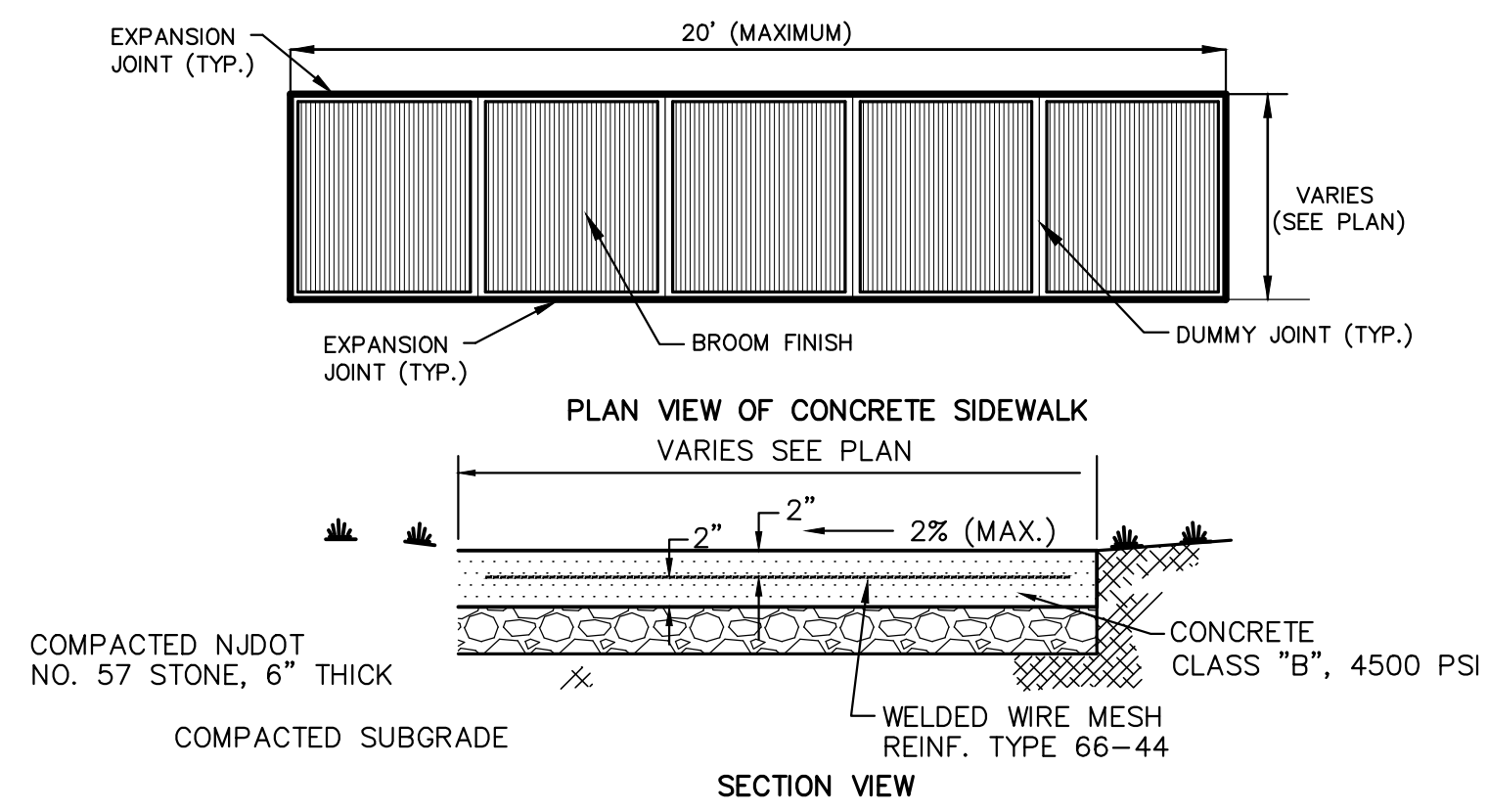


NOTE: TO AVOID WHEEL CHAIR FOOTREST STRIKING PAVEMENT, PROVIDE 2' LEVEL STRIP (1.50 MAX. IN DIR. OF PEDESTRIAN TRAVEL) IF ALGEBRAIC DIFFERENCE BETWEEN CURB RAMP SLOPE & ROADWAY CROSS SLOPE EXCEEDS 11%.

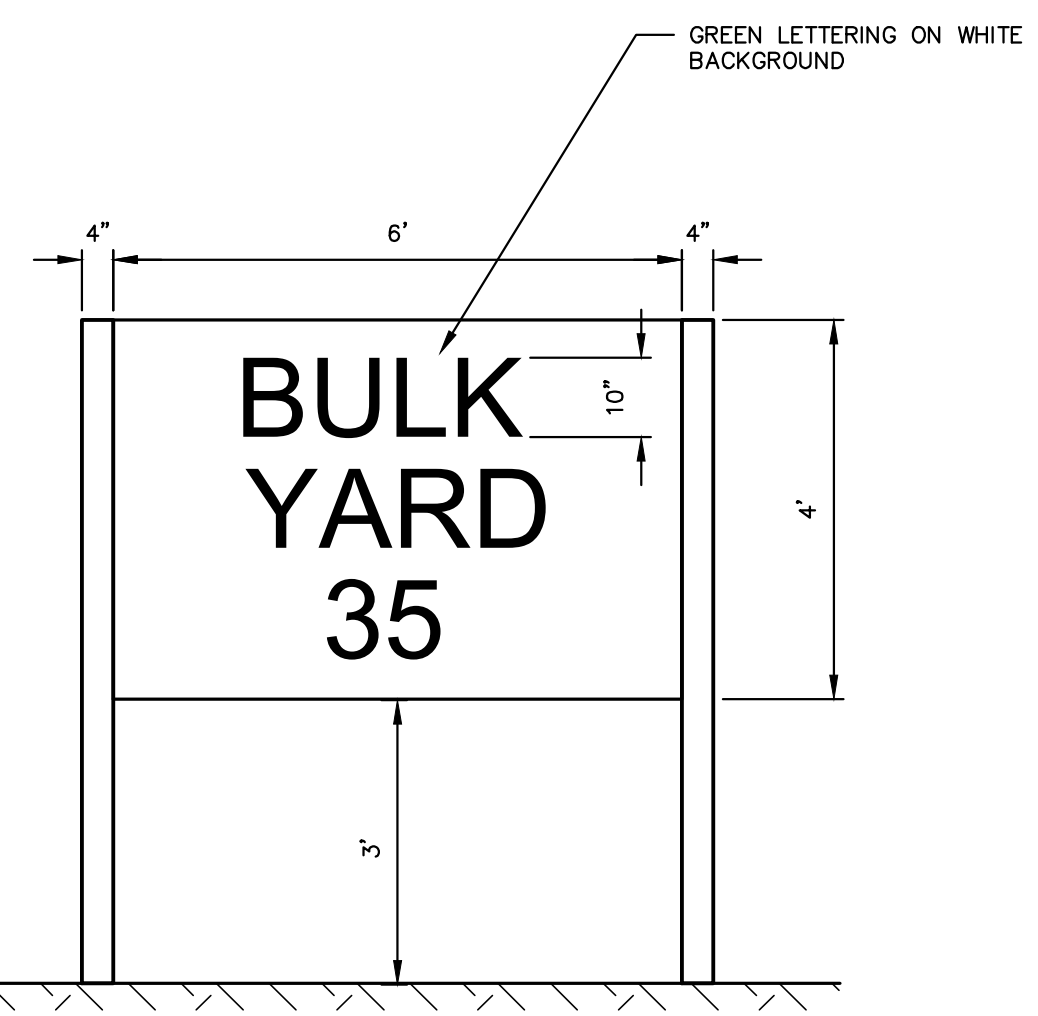
COUNTER SLOPE CONDITIONS
NOTE: ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED



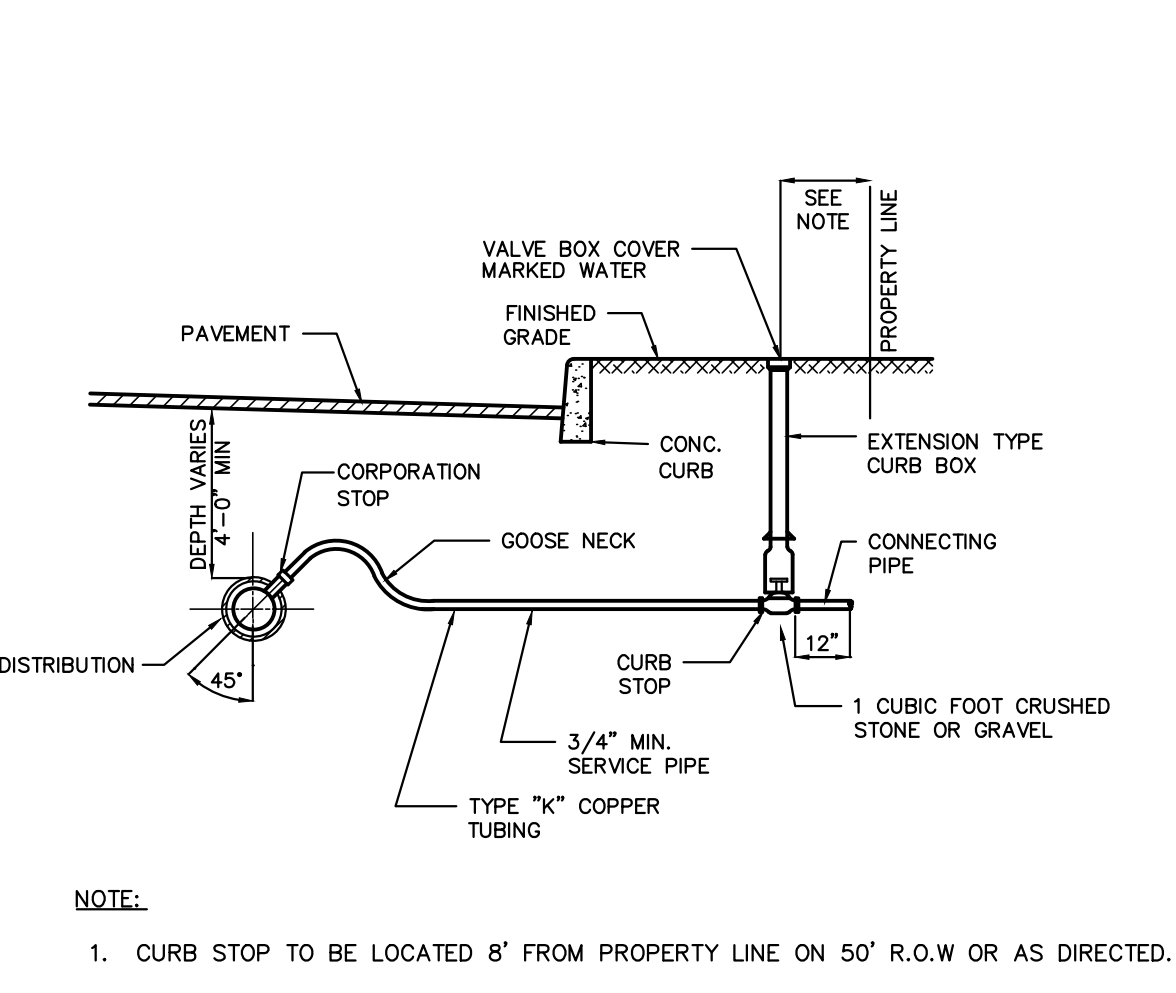
ADA PARKING STALL
NOT TO SCALE



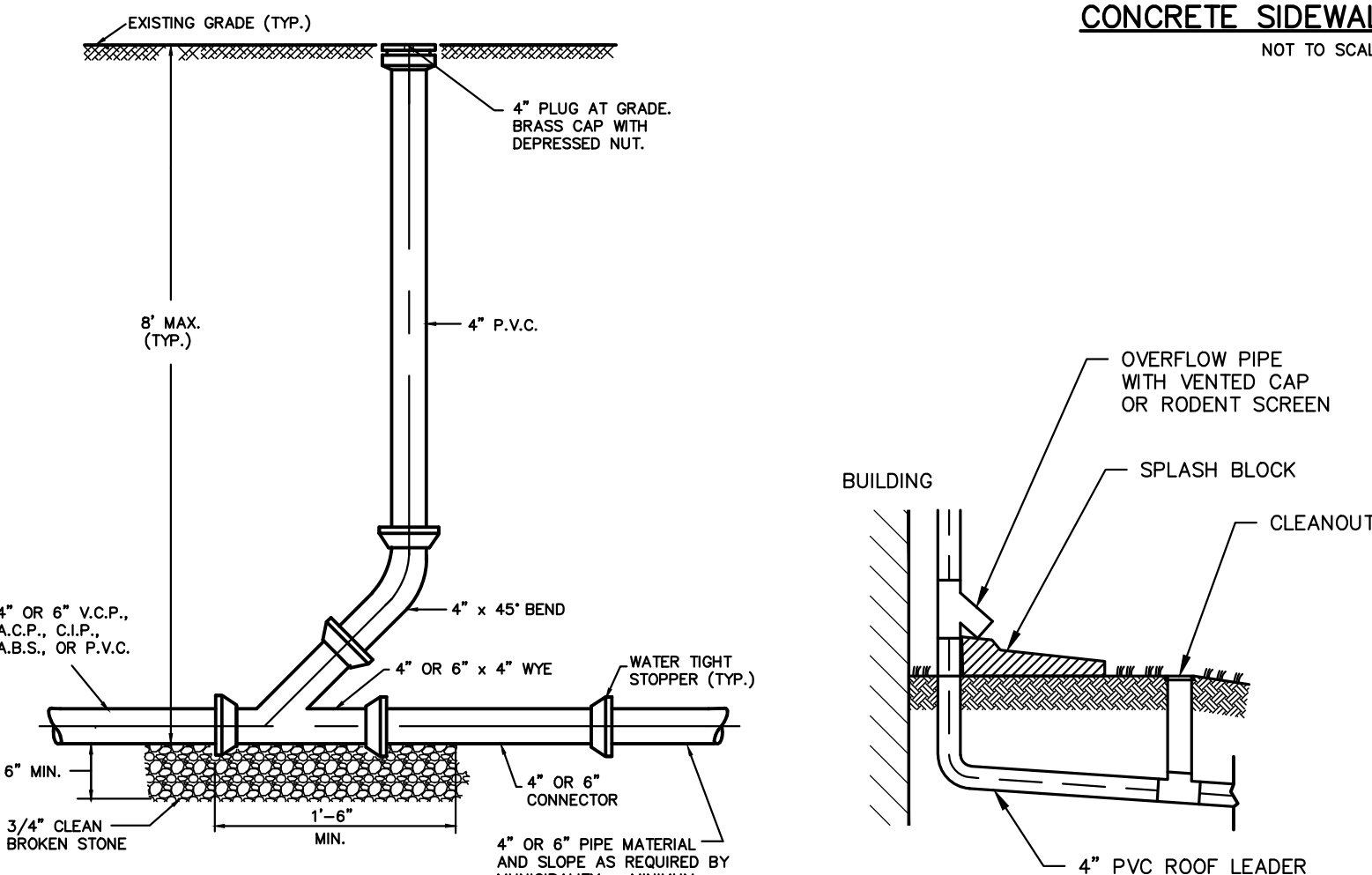
- CONCRETE SIDEWALK, 4" THICK
NOT TO SCALE
- FOUR FOOT WIDE SIDEWALK AREAS MUST HAVE CONSTRUCTION JOINTS EVERY 4 FEET WITH BITUMINOUS EXPANSION JOINTS EVERY 20 FEET IN ACCORDANCE WITH SECTION 490-103.C.1 OF THE ORDINANCE.
 - BITUMINOUS JOINT FILLERS 1/2" THICK, SHALL BE PLACED AT INTERVALS NOT EXCEEDING TWENTY (20) FEET. DUMMY (FORMED) JOINTS SHALL BE CUT INTO THE CONCRETE SIDEWALK BETWEEN THE EXPANSION JOINTS AT EQUAL INTERVALS NOT EXCEEDING THE WIDTH OF THE SIDEWALK.
 - THE SIDEWALK SUBGRADE SHALL BE NDOT NO. 57 STONE, 6" THICK OR MATERIAL APPROVED BY THE TOWNSHIP ENGINEER, AND COMPACTED PRIOR TO THE PLACEMENT OF ANY SIDEWALK.
 - THE SIDEWALK SECTION SHALL BE 6" THICK WITH WELDED WIRE FABRIC AT DRIVEWAYS.



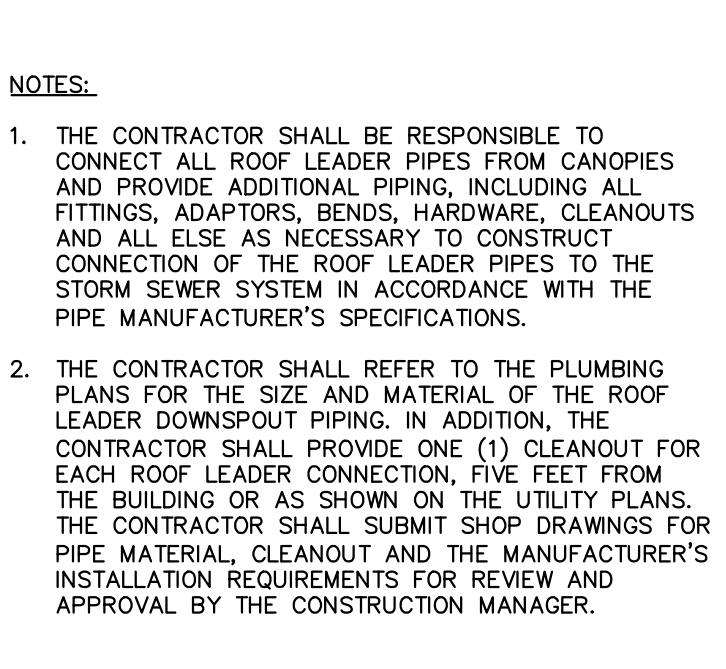
FREE STANDING SIGN
NOT TO SCALE



HOUSE SERVICE CONNECTION DETAIL
NOT TO SCALE



4" OR 6" PROFILE STANDARD CLEANOUT DETAIL
NOT TO SCALE



ROOF LEADER DETAIL
NOT TO SCALE

No.	Date	Revision	Revised By	Checked By
2	12/18/2023	REVISED PER BOROUGH OF SAYREVILLE COMMENTS	KN	LBB
1	5/23/2023	REVISED FOR COMPLETENESS	KN	LBB

FPA
FRENCH & PARRELO ASSOCIATES
New Jersey • New York • Pennsylvania • Georgia

Corporate Office:
1800 Rt. 34, Suite 101
Wall, New Jersey 07719
732.312.9800
FPAengineers.com

JELENA BALORDA-BARONE, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 44465

CONSTRUCTION DETAILS (1)

FOR
BULK YARD 35
BLOCK 428, LOTS 1, 2, & 2.01
IN
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NEW JERSEY

DATE: 9-15-2022	DESIGNED BY: KN	SCALE: AS SHOWN	PROJECT NUMBER: 18937.001
DRAWN BY: KN	CHECKED BY: LBB	FIELD BOOK	SHEET: 10 of 11

Copyright © 2023, FRENCH & PARRELO ASSOCIATES - THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, WITHOUT THE WRITTEN PERMISSION OF FRENCH & PARRELO ASSOCIATES, PA IS PROHIBITED. DUE TO INHERENT ERRORS IN REPRODUCTION METHODS, ERRORS MAY OCCUR WHEN SCALING THIS DRAWING.

