

# PRELIMINARY AND FINAL MAJOR SITE PLAN

## FOR

# INSITE DEVELOPMENT PARTNERS, LLC

# PROPOSED SELF-STORAGE FACILITY

## BLOCK 425, LOT 2.01 & 2.02; TAX MAP SHEET #131 - LATEST REV. DATED JANUARY 2005

## 1960 & 1970 NJSH ROUTE 35

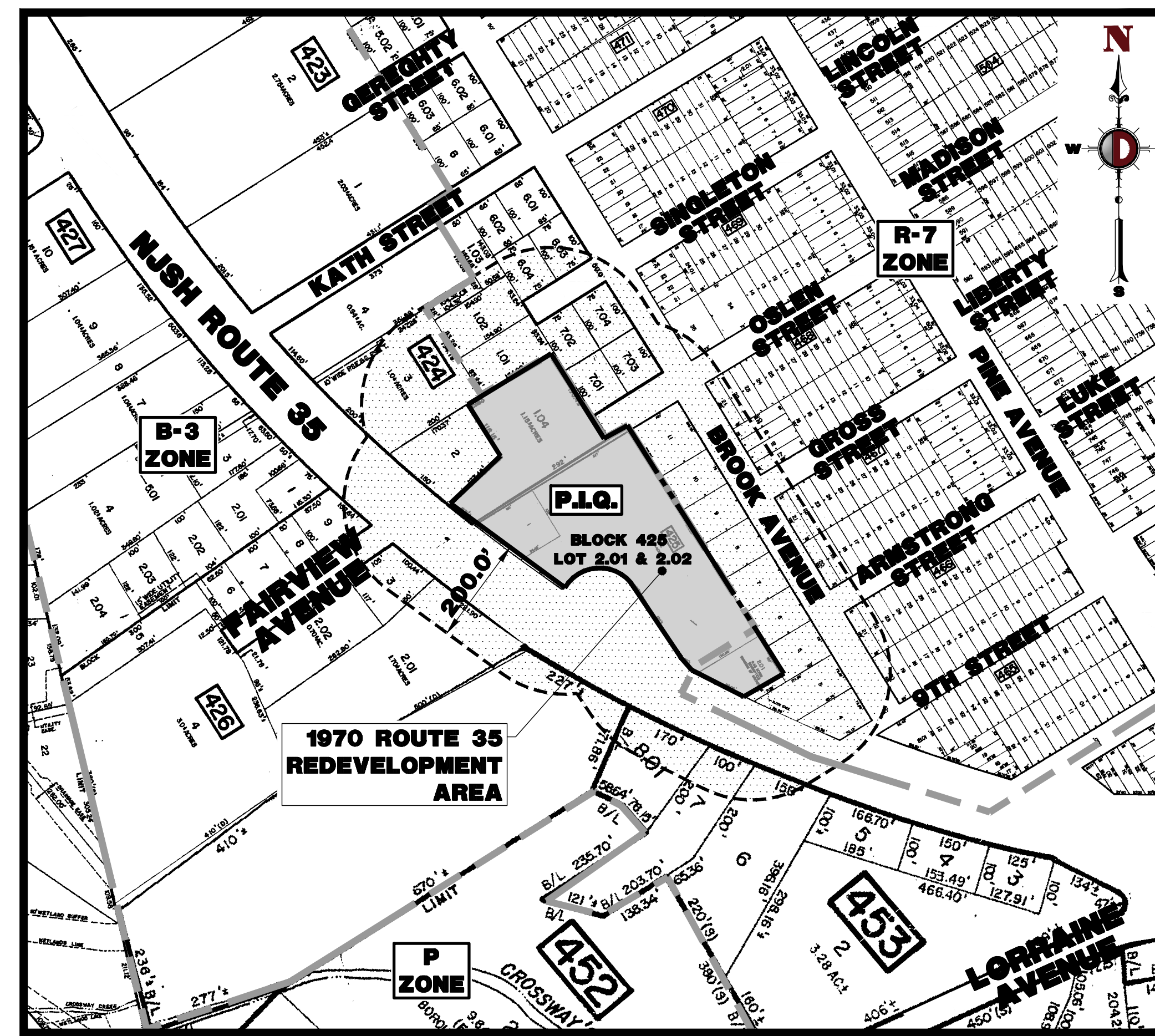
## BOROUGH OF SAYREVILLE

## MIDDLESEX COUNTY, NEW JERSEY

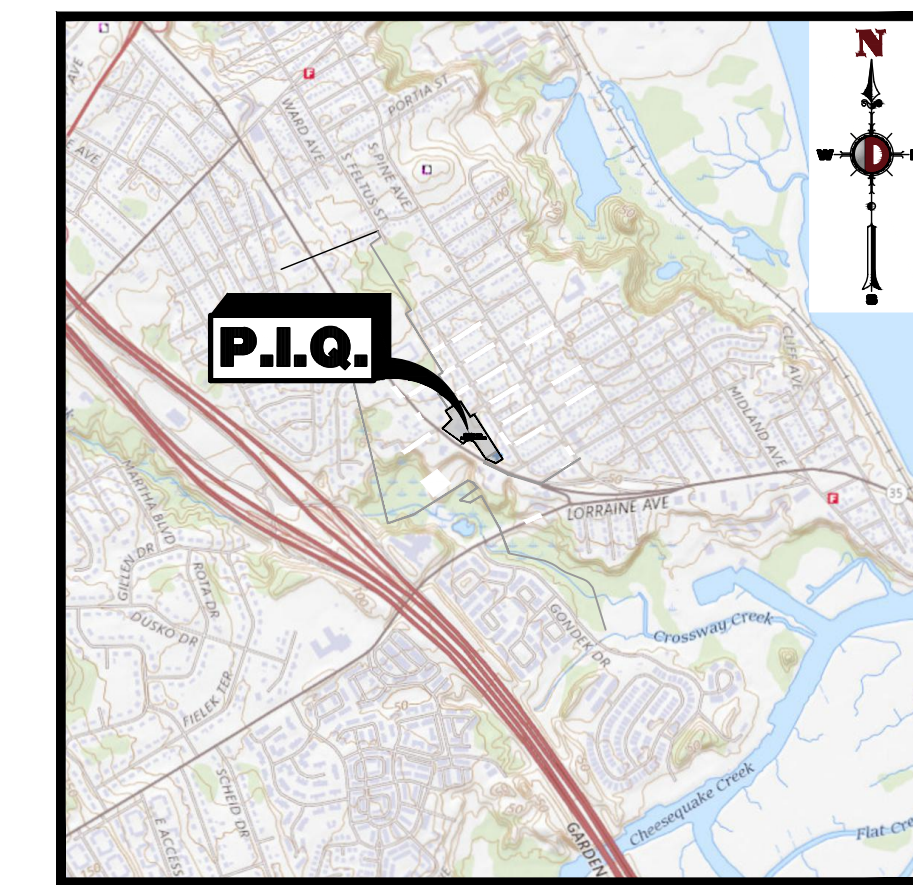
### 200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT
KOSTA REKINS 1979 HIGHWAY 35 SOUTH SOUTH AMBOY, NJ 08879	424	1.01	ERNEST KODADA 1501 OCEAN AVENUE, #1210 ASBURY PARK, NJ 07712	425	5
JOAN M. JANUSZAK 11 SINGLETON STREET SOUTH AMBOY, NJ 08879	424	1.02	BRIAN WISNIEWSKI 36 BROOK AVENUE SOUTH AMBOY, NJ 08879	425	6
B & M REAL ESTATE MANAGEMENT, LLC 31 WOODSIDE AVENUE METUCHEN, NJ 08840	424	1.03	MARIE ENGLISH - ESTATE 35 BROOK AVENUE SOUTH AMBOY, NJ 08879	425	7
JOSIAS VASQUEZ 4400 US HIGHWAY 9, #1000 SOUTH AMBOY, NJ 08879	424	2	ANDREW & EDYTA SIWADLO 34 BROOK AVENUE SOUTH AMBOY, NJ 08879	425	8
1984 ROUTE 35 PROPERTIES LLC 1984 HIGHWAY 35 SOUTH AMBOY, NJ 08879	424	3	GEORGE R. MUNZING 33 BROOK AVENUE SOUTH AMBOY, NJ 08879	425	9
MICHAEL CHRYSANTHOPOULOS - ETALS 2000 HIGHWAY 35 SOUTH AMBOY, NJ 08879	424	4 & 5	SUSAN B. KANE 32 BROOK AVENUE SOUTH AMBOY, NJ 08879	425	10
MOUPE & RENEE TAYLOR - PEARCE C/O BARRON REALTY 655 RAHWAY AVENUE WOODBRIDGE, NJ 07095	424	6.03	JOHN F. CAMPBELL 30 BROOK AVENUE SOUTH AMBOY, NJ 08879	425	11
JERROLD W. & ROSE MARIE BOYCHUK 9 SINGLETON STREET SOUTH AMBOY, NJ 08879	424	6.04	JILL D. FUSCO 600 HOES LANE WEST PISCATAWAY, NJ 08854	426	3
WILNETHON A. TORIBIO GUZMAN 256 OLSEN STREET SOUTH AMBOY, NJ 08879	424	7.01	MARIA & EDWIN J. BENDER 2 FAIRVIEW AVENUE SOUTH AMBOY, NJ 08879	426	9
STEVEN & JACQUELINE VENTRONE 12 SINGLETON STREET SOUTH AMBOY, NJ 08879	424	7.02	CROSSWAYS REALTY LLC 600 ROUTE 33 MILLSTONE, NJ 08535	426	249
ANTIOLA VEUS & WADSON ALTEVOR 420 BROOK AVENUE SOUTH AMBOY, NJ 08879	424	7.03	SAYREVILLE LEASING & REPAIR CO., LLC 105 NORTH ERNSTON ROAD PARLIN, NJ 08859	453	6 & 7
PAULIN & MARIE GEORGES 424 BROOK AVENUE SOUTH AMBOY, NJ 08879	424	7.04	S & F REAL ESTATE PROPERTIES, LLC 114 LWKE STREET SOUTH AMBOY, NJ 08879	453	8.01
BOROUGH OF SAYREVILLE 167 MAIN STREET SAYREVILLE, NJ 08872	425	2.01	STEPHEN DOMINQUEZ 253 ARMSTRONG STREET SOUTH AMBOY, NJ 08879	466	21 & 22
KOSTA REKINS 1979 HIGHWAY 35 SOUTH SOUTH AMBOY, NJ 08879	425	3	MICHAEL & DOROTHY POLL, JR. 252 ARMSTRONG STREET SOUTH AMBOY, NJ 08879	467	19 & 20
ESTHER MENDOZA ADAMES 39 BROOK AVENUE SOUTH AMBOY, NJ 08879	425	4	YU ZHENG 249 GROSS STREET SOUTH AMBOY, NJ 08879	467	21 & 22
			STEPHEN SZCZECINA 246 GROSS STREET SOUTH AMBOY, NJ 08879	468	17 - 20
			KHALED BEKHIT 249 OLSEN STREET SOUTH AMBOY, NJ 08879	468	21 & 22
			KIM LANGELLA 411 BROOK AVENUE SOUTH AMBOY, NJ 08879	469	35

ALSO TO BE NOTIFIED:  
PUBLIC SERVICE ELECTRIC AND GAS COMPANY  
TAX DEPT. 1-88  
80 PARK PLACE  
PO BOX 570  
NEWARK, NJ 07101



**AREA MAP**  
1" = 200'



**KEY MAP**  
1" = 2000'

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**TITLE:** **COVER SHEET**

**PROJECT:** INSITE DEVELOPMENT PARTNERS, LLC  
PROPOSED SELF-STORAGE FACILITY  
BLOCK 425, LOT 2.01 & 2.02  
1960 & 1970 NJSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

**JOB No:** 3041-99-008 **DATE:** 09/16/2022

**DRAWN BY:** JCG **SCALE:** (H) AS SHOWN  
(V) SHOWN

**CHECKED BY:** TJM **SHEET No:**

**THOMAS J. MULLER** **JOHN A. PALUS**

PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52179

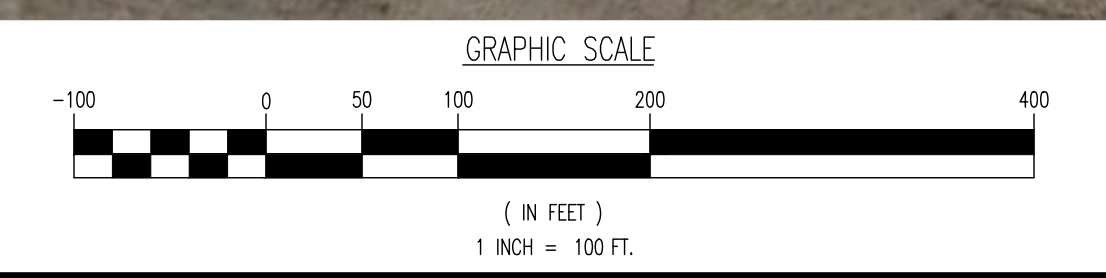
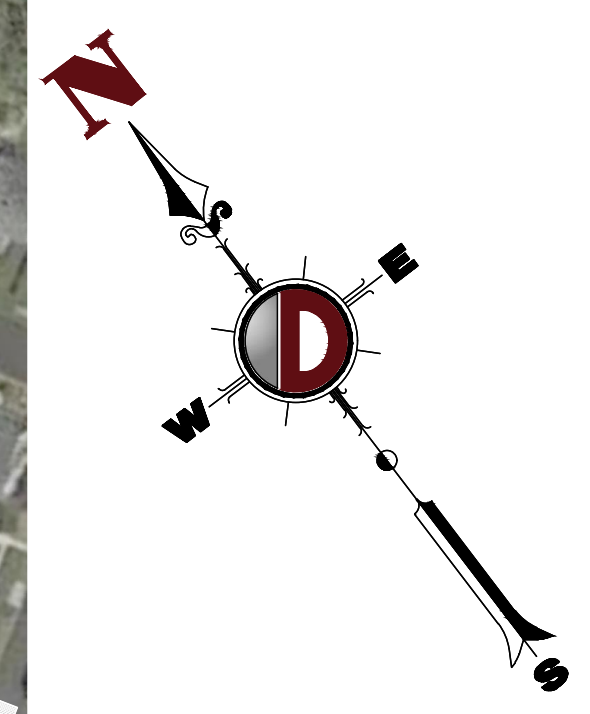
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

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OF 22

Rev. # 5

Plotted: 03/24/23 - 1:59 PM, By: krazimir, Product: Ver. 24.2a (LMS Tech)  
 File: P:\BECPC PROJECTS\3041 InSite Property Group\99-008 Sayreville\DWG\Site Plans\3041-99-008-SK.dwg, ---> 01 COVER SHEET



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 04/05/22. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

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TITLE: **AERIAL MAP**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC  
 PROPOSED SELF-STORAGE FACILITY  
 BLOCK 425, LOT 2.01 & 2.02  
 1960 & 1970 NJSH ROUTE 35  
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY**

JOB No: 3041-99-008 DATE: 09/16/2022

DESIGNED BY: JCG SCALE: (H) 1"=100'  
 (V)

CHECKED BY: TJM SHEET No: **2**

THOMAS J. MULLER PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 52179

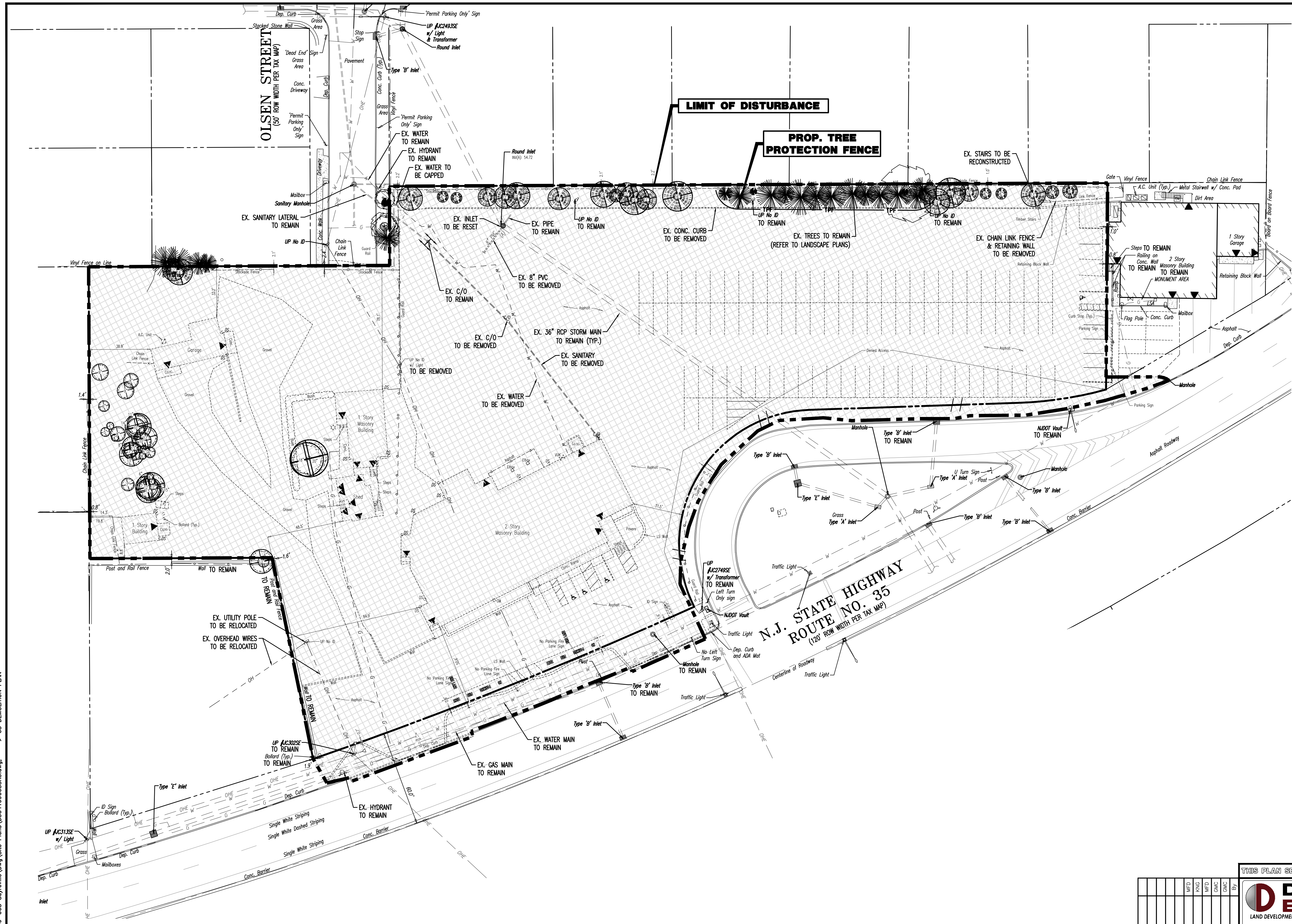
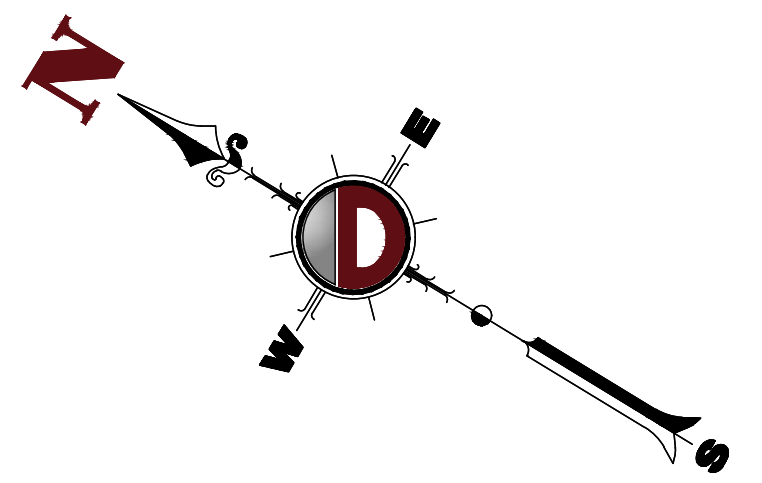
JOHN A. PALUS PROFESSIONAL ENGINEER  
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 ALL UTILITIES MUST BE LOCATED BY  
 CALLING 811 OR VISUALLY  
 BEFORE ANY EXCAVATION OR  
 DRILLING TO AVOID DAMAGE TO  
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Rev. # 5

Rev.	Date	Comments	By
5	03/17/23	REV. PER BOROUGH & NJDOT COMMENTS	MTD
4	12/29/22	REV. PER BOROUGH COMMENTS	KMG
3	12/09/22	REV. PER COUNTY COMMENTS	MTD
2	10/25/22	REV. PER NJDOT SUBMISSION	CMC
1	10/17/22	REV. PER BOROUGH COMMENTS	CMC

Plotted: 03/24/23 - 1:59 PM, By: krazimir, Product: Ver: 24.2a (LMS Tech)  
 File: P:\VEPC PROJECTS\3041 InSite Property Group\99-008 Sayreville\DWG\Site Plan\0304199008SAS.dwg, ----> 02 AERIAL MAP



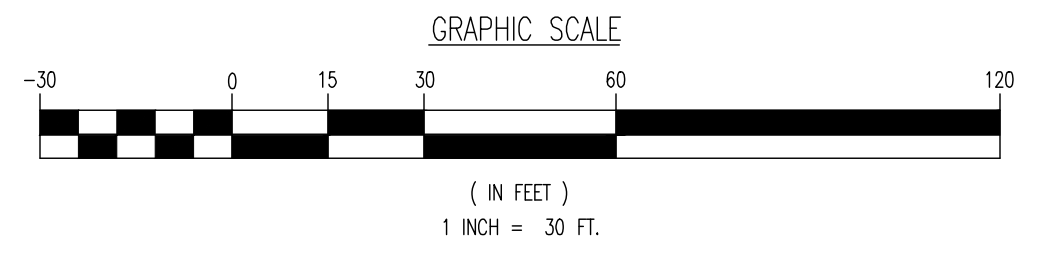
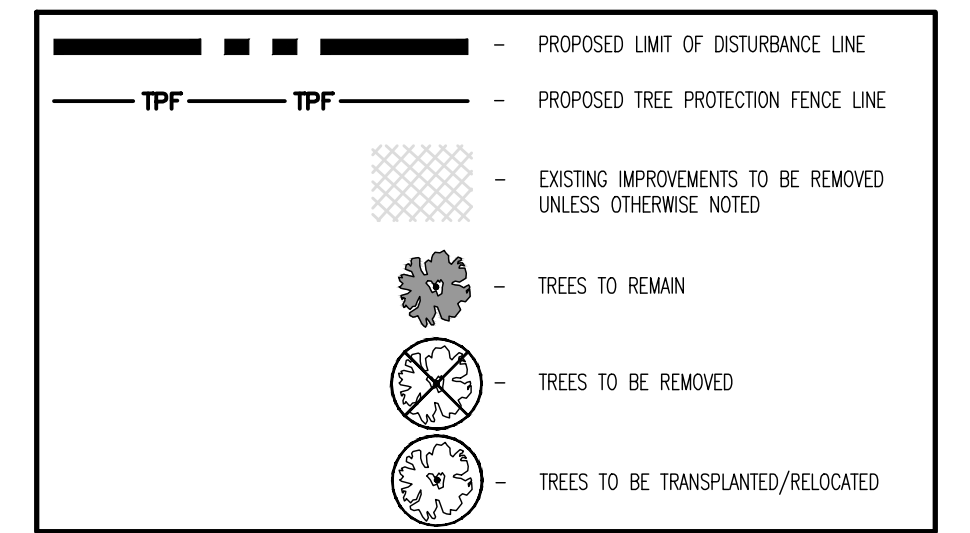
**DEMOLITION NOTES**

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, DERRICKS OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL PRIOR TO PLACEMENT OF FILL MATERIALS. UNDERSTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION WORK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

**NOTES**

1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

**DEMOLITION PLAN LEGEND**



**TREE REMOVAL NOTES**

1. TREE CONSERVATION AND REFORESTATION
- A. NO PERSON SHALL CUT, REMOVE OR DESTROY, OR CAUSE TO DESTROY, ANY TREE GROWING IN THE BOROUGH OF SAYREVILLE WITHOUT HAVING FIRST OBTAINED A PERMIT AS PROVIDED IN THIS CHAPTER. (§30-4.a)
- B. ANY UNDEVELOPED TRACT OF LAND WITHIN ANY ZONING DISTRICT FROM WHICH FIVE (5) OR LESS TREES ARE TO BE REMOVED SHALL BE EXEMPT FROM THE REQUIREMENTS OF THIS CHAPTER. (§30-5.a.2)
- C. ANY TREE REMOVAL WITHIN THE RIGHT-OF-WAY OF A PUBLIC STREET WHICH WOULD BE GOVERNED BY OTHER ORDINANCES SET FORTH BY THE SHADE TREE COMMISSION. (§30-5.a.5)

**TREE REMOVAL CHART**

TREE REPLACEMENT CALCULATION					
SIZE OF TREES TO BE REMOVED (INCHES)	NUMBER OF TREES TO BE REMOVED	NUMBER OF REPLACEMENT TREES REQUIRED PER TREE REMOVED	TOTAL NUMBER OF REPLACEMENT TREES REQUIRED	NUMBER OF TREES PROPOSED	TOTAL FEE CALCULATION
DBH: <16"	49	80% OF NUMBER REMOVED	39	19	(20 TREES) * (\$250.00) = \$5,000.00 FEE
DBH: <18"	3	3	9	0	(9 TREES) * (\$250.00) = \$2,250.00 FEE
DBH: <21"	2	4	8	0	(8 TREES) * (\$250.00) = \$2,000.00 FEE
DBH: <24"	0	5	0	0	(0 TREES) * (\$250.00) = \$0 FEE
DBH: <36"	0	10	0	0	(0 TREES) * (\$250.00) = \$0 FEE
TO COMPENSATE FOR THE INCREASED AIR POLLUTION TO BE GENERATED FROM A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL SITE AS A RESULT OF VEHICULAR USES, THE DEVELOPMENT PLAN SHALL INCLUDE THE ADDITION OF ONE (1) TREE PER EVERY TWO (2) PARKING SPACES. (§30-7.c)			(15 PARKING SPACES) * (1 TREE PER 2 SPACES) = 8 TREES	0	(8 TREES) * (\$250.00) = \$2,000.00 FEE
<b>TOTAL</b>	<b>54</b>	<b>10</b>	<b>56</b>	<b>19</b>	<b>(45 TREES) * (\$250.00) = \$11,250.00 FEE</b>

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Allen, Texas T: 972.324.2100 | Austin, Texas T: 512.446.2446 | Houston, Texas T: 281.789.4400 | Detroit, Michigan T: 313.521.8810  
Newtown, Pennsylvania T: 267.655.0276 | Philadelphia, Pennsylvania T: 215.253.4888 | Bethlehem, Pennsylvania T: 610.978.4400

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**TITLE:** DEMOLITION PLAN

**PROJECT:** INSITE DEVELOPMENT PARTNERS, LLC  
PROPOSED SELF-STORAGE FACILITY  
BLOCK 425, LOT 2.01 & 2.02  
1960 & 1970 NUSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

**JOB No:** 3041-99-008  
**DATE:** 09/16/2022

**DRAWN BY:** GMC  
**SCALE:** (H) 1"=30'  
(V)

**DESIGNED BY:** LFG/MDC  
**SHEET No:**

**CHECKED BY:** TJM  
**CHECKED BY:**

**THOMAS J. MULLER**  
*Thomas J. Muller*  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52179

**JOHN A. PALUS**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

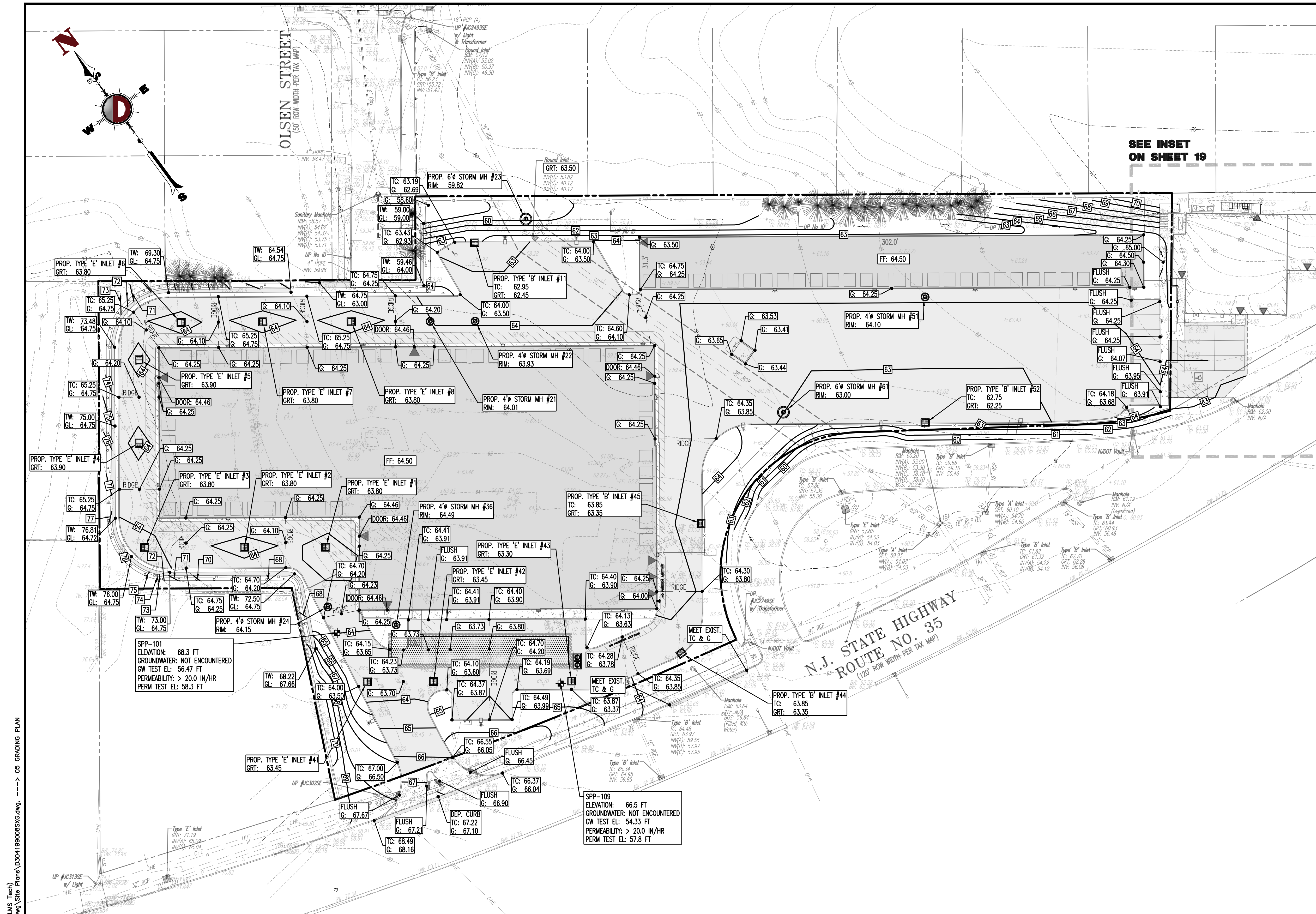
**PROTECT YOURSELF**  
ALL UTILITIES REQUIRE MARKING OF  
CONCRETE, METAL OR ANY OTHER  
MATERIALS TO IDENTIFY THE EXACT  
LOCATION OF UTILITIES. ALL UTILITIES  
SHALL BE MARKED AND COVERED  
PRIOR TO ANY EXCAVATION.  
FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT:  
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Rev. # 5

Plotted: 03/24/23 - 1:59 PM, By: kazimir, Product: Ver. 24.2a (LMS Tech)  
 File: P:\VEPCF PROJECTS\3041 inSite Property Group\99-008 Sayreville\DWG\Site Plans\3041-99-008-03 DEMOLITION PLAN





**GRADING NOTES**

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT WEEDS OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND CURBS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% OUTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
4. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
7. MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
8. CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESSIBLE AREAS. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
9. THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-579-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
10. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.
13. ALL LAWN AREAS SHOULD HAVE A MINIMUM OF 2% SLOPE.

**DETENTION/INFILTRATION BASIN MAINTENANCE NOTES**

1. STORMWATER MANAGEMENT FACILITIES SHALL BE REGULARLY MAINTAINED TO INSURE THEY FUNCTION AT DESIGN CAPACITY AND TO PREVENT HEALTH HAZARDS ASSOCIATED WITH DEBRIS BUILDUP AND STAGNANT WATER. THE PRIVATELY OWNED PORTION OF THE SYSTEM MUST BE PRIVATELY MAINTAINED.
2. RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF STORMWATER FACILITIES, INCLUDING PERIODIC REMOVAL AND DISPOSAL OF ACCUMULATED PARTICULATE MATERIAL AND DEBRIS, SHALL REMAIN WITH THE OWNER OR OWNERS OF THE PROPERTY, WITH PERMANENT ARRANGEMENTS THAT IS SHALL PASS TO ANY SUCCESSIVE OWNER, UNLESS ASSUMED BY A GOVERNMENTAL AGENCY. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: VISUAL INSPECTION OF ALL SYSTEM COMPONENTS AT LEAST TWICE EACH YEAR; VACUUMING OF ALL STORM SEWER INLETS ONCE EVERY SIX MONTHS (FREQUENCY OF VACUUMING MAY BE ADJUSTED TO ONCE A YEAR IF FIRST YEAR MAINTENANCE RECORDS INDICATE THAT SEDIMENT AND DEBRIS ACCUMULATION IS INSIGNIFICANT); REVERSE FLUSHING AND VACUUMING IF SYSTEM INSPECTIONS INDICATE SIGNIFICANT ACCUMULATION OF SEDIMENT IN THE PIPES; AND PERIODIC REMOVAL AND DISPOSAL OF OTHER MATERIAL AND DEBRIS.
3. IN THE EVENT THAT THE FACILITY BECOMES A DANGER TO PUBLIC SAFETY OR PUBLIC HEALTH, OR IF IT IS IN NEED OF MAINTENANCE, THE OWNER SHALL AFFECT SUCH MAINTENANCE AND REPAIR OF THE FACILITY IN A MANNER THAT IS APPROVED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE. IF THE OWNER FAILS OR REFUSES TO PERFORM SUCH MAINTENANCE AND REPAIR, THE MUNICIPALITY MAY IMMEDIATELY PROCEED TO DO SO AND SHALL BILL THE COST THEREOF TO THE OWNER.
4. THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
5. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
6. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
7. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

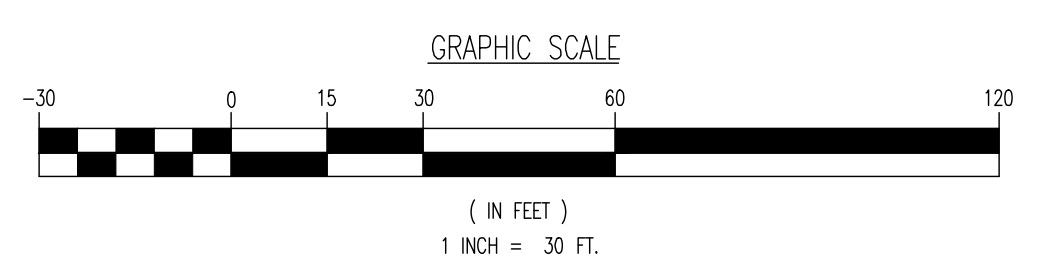
**ADA NOTES**

ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES AND NJ BARRIER FREE SUBCODE (NAC 5:23-7) FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:

- SIDEWALKS / ACCESSIBLE ROUTES**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
  - CROSS SLOPE: 1:48 (2.08%) MAX., 1.0% MIN. (1.5% MAX. FOR NEW CONSTRUCTION)
  - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
  - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
  - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- CURB RAMP**
- SLOPE: 1:12 (8.3%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
  - SIDE FLARE SLOPE: 1:10 (10%) MAX. (WHERE PEDS CROSS RAMP)
  - BOTTOM LANDINGS: 48" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
  - TOP LANDINGS: 36" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)
- ACCESSIBILITY PARKING STALLS**
- SPACE AND ACCESS AISLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- CROSSWALKS**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
  - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
  - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
  - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- RAMPS**
- SLOPE: 1:12 (8.3%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
  - EXISTING RAMPS; SLOPE: 1:10 (10%) MAX. FOR RISE OF 6"; 1:8 (12.5%) MAX. FOR MAX. RISE OF 3"
  - MAX. RISE: 30"
  - MIN. CLEAR WIDTH: 36"
  - MIN. LANDING CLEAR LENGTH: 60"
  - MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)

**NOTE: ALL INLETS MUST HAVE BICYCLE-SAFE GRATES AND ECO HEADS.**

**PROPOSED FILL = 1,519.64 CY**  
\* SURFACE ESTIMATE TO BE CONFIRMED BY CONTRACTOR



**GRADING/UTILITY GRAPHIC LEGEND**

---	PROPERTY LINE (PARCEL IN QUESTION)	---	OFF-SITE PROPERTY LINES
---	EXIST. GUY WIRE	---	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
---	EXIST. LIGHT POLE	---	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
---	EXIST. BUILDING LIGHT	---	EXIST. SANITARY SEWER LINE
---	EXIST. SHOE BOX LIGHT	---	EXIST. STORM DRAIN LINE
---	EXIST. COBRA LIGHT POLE	---	EXIST. STORM DRAIN LINE
---	EXIST. TRAFFIC SIGNAL POLE	---	EXIST. MINOR CONTOUR & ELEVATION
---	EXIST. "A" INLET	---	EXIST. MAJOR CONTOUR & ELEVATION
---	EXIST. "B" INLET	---	PROP. FINISH GRADE CONTOUR & ELEVATION
---	EXIST. "C" INLET	---	PROP. TOP OF EXTENDED CURB & (G) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
---	EXIST. YARD INLET	---	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
---	EXIST. FLARED END SECTION	---	PROP. DIRECTION OF DRAINAGE FLOW ARROW
---	EXIST. HEADWALL	---	
---	EXIST. UTILITY POLE	---	
---	EXIST. MONITORING WELL	---	
---	APPROX. TEST PIT LOCATION	---	
---	EXIST. FIRE HYDRANT	---	
---	EXIST. WATER VALVE	---	
---	EXIST. GAS VALVE	---	
---	EXIST. GAS METER	---	
---	EXIST. ELECTRIC METER	---	
---	EXIST. ELECTRIC BOX	---	
---	EXIST. CLEAN OUT	---	
---	EXIST. WELL	---	
---	EXIST. WATER SHUT OFF VALVE	---	
---	EXIST. TELEPHONE BOX	---	
---	EXIST. CABLE TV BOX	---	
---	PROP. HEADWALL	---	
---	PROP. WATER VALVE	---	
---	PROP. GAS VALVE	---	
---	PROP. STORM CLEANOUT	---	
---	PROP. SANITARY CLEANOUT	---	
---	PROP. AREA LIGHT	---	
---	PROP. OUTLET CONTROL STRUCTURE	---	
---	PROP. DRAINAGE MANHOLE	---	
---	PROP. SANITARY SEWER MANHOLE	---	
---	PROP. "A" INLET	---	
---	PROP. "B" INLET	---	
---	PROP. "C" INLET	---	
---	PROP. "E" INLET	---	
---	PROP. YARD INLET	---	
---	PROP. FLARED END SECTION	---	
---	PROP. WATER LINE	---	

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 File: P:\VEPC PROJECTS\3041 InSite Property - Group\99-008\_Sayreville\DWG\Site Plans\03-24-23\05-05-2022\05-05-2022.dwg

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Newtown, Pennsylvania: T: 267.652.2626 | Philadelphia, Pennsylvania: T: 215.253.6888 | San Francisco, California: T: 415.998.4400

TITLE: **GRADING PLAN**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC  
PROPOSED SELF-STORAGE FACILITY**

ADDRESS: **425 LOT 2.01 & 2.02  
1960 & 1970 NUSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY**

DESIGNED BY: **GMC**

CHECKED BY: **TJM**

DATE: **09/16/2022**

SCALE: **(H) 1"=30'  
(V)**

SHEET No: **5**

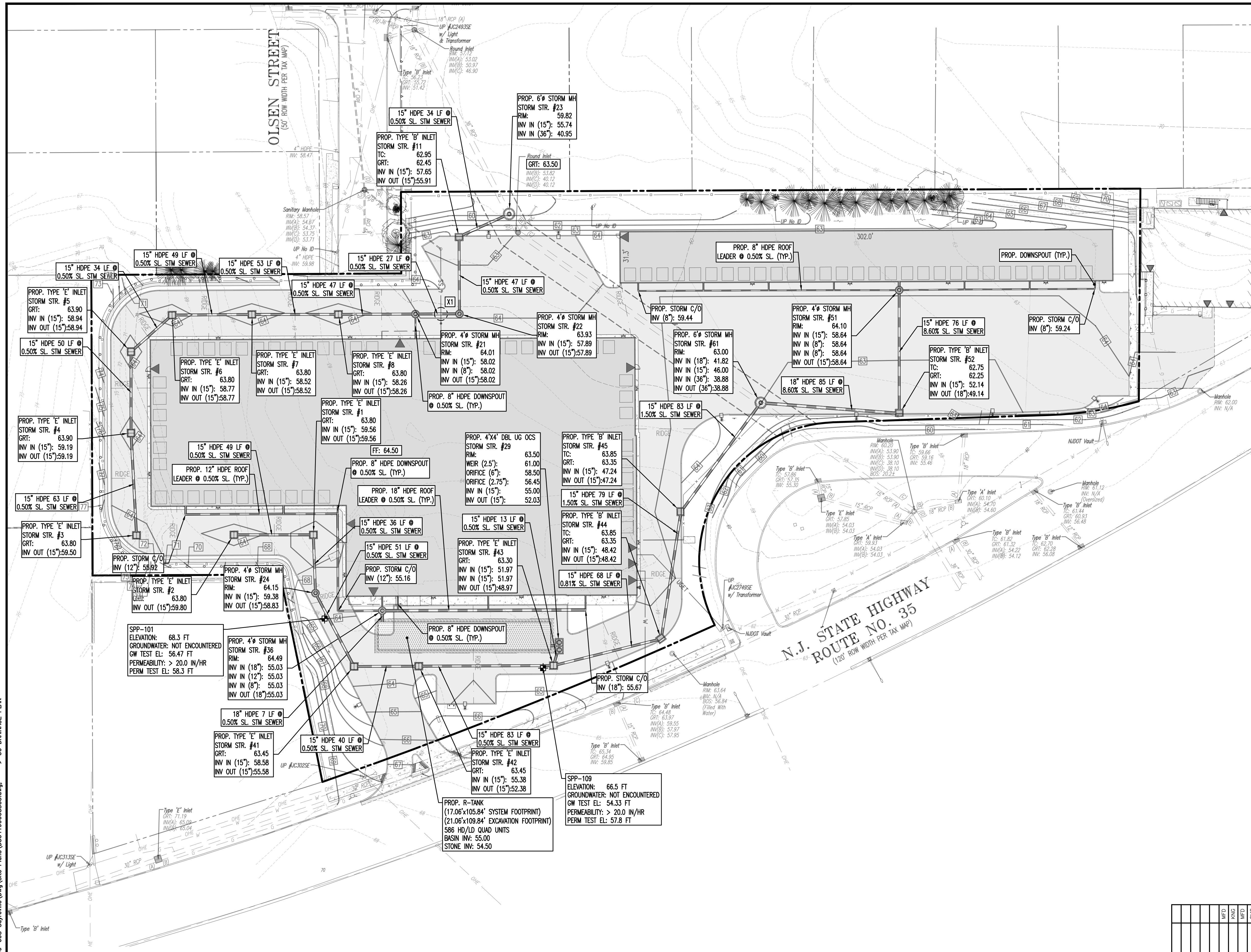
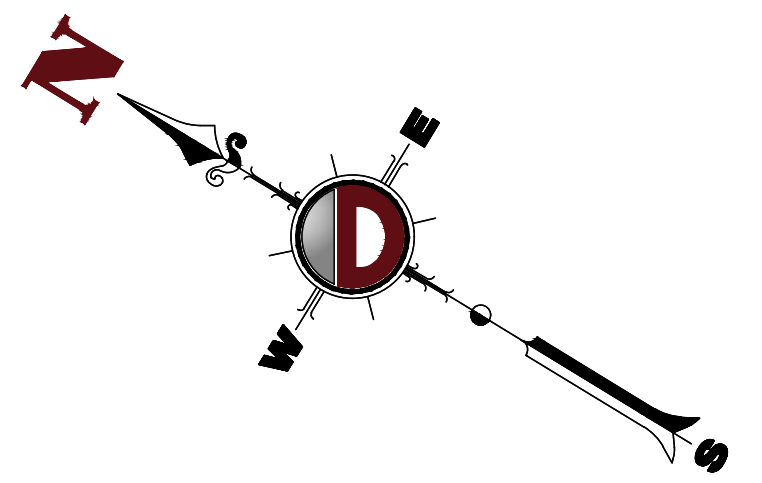
THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

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Rev. # 5



**DRAINAGE NOTES**

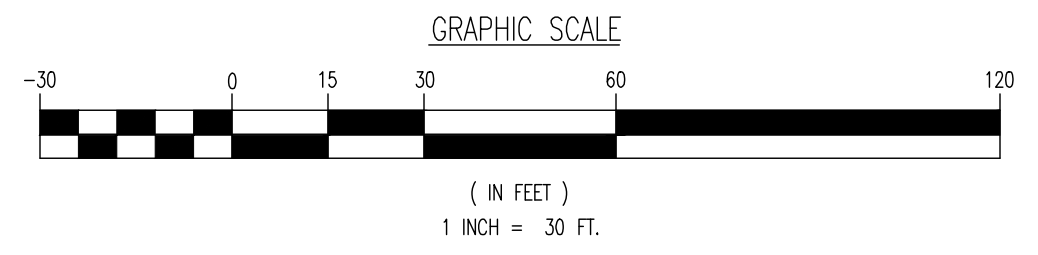
- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- 2. ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- 3. MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- 4. HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- 5. HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2467. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- 6. PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

**PIPE CROSSING**

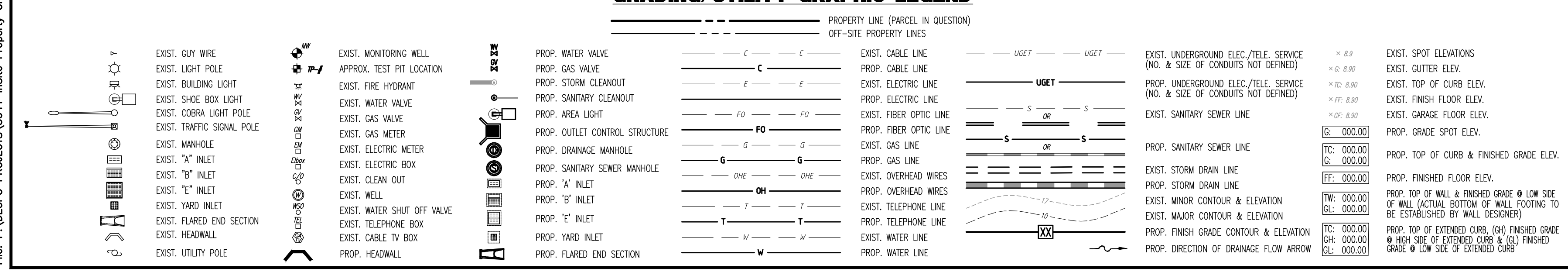
PIPE CROSSING X1 WITH CONCRETE ENCASEMENT  
15" HDPE: BOP: 57.84  
4.0" PVC: TOP: 57.01  
SEPARATION: 0.80'

N.J. STATE HIGHWAY  
ROUTE NO. 35  
(120' ROW WIDTH PER TAX MAP)

**ALL DRAINAGE STRUCTURES THAT THE NJDOT TIES INTO SHALL BE CLEANED PRIOR TO THE START OF CONSTRUCTION**



**GRADING/UTILITY GRAPHIC LEGEND**



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PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC  
PROPOSED SELF-STORAGE FACILITY**

BLOCK 425, LOT 2.01 & 2.02  
1960 & 1970 NUSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

DESIGNED BY: GMC  
CHECKED BY: TJM

**THOMAS J. MULLER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52179

**JOHN A. PALUS**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

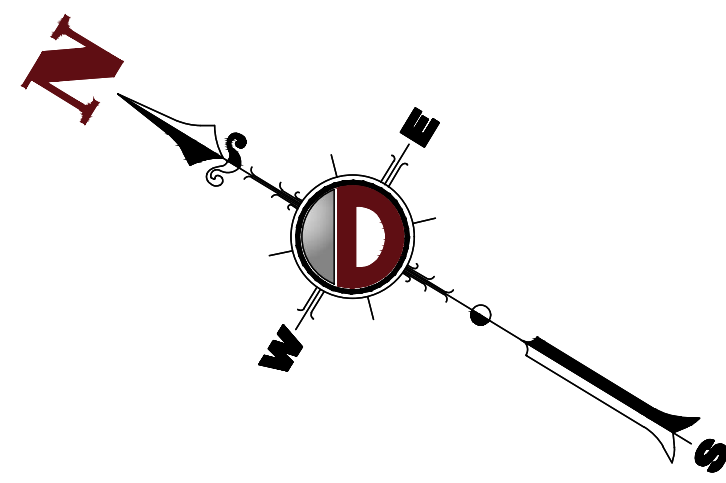
TITLE: **DRAINAGE PLAN**

JOB No: 3041-99-008  
DATE: 09/16/2022  
SCALE: (H) 1"=30'  
(V)

SHEET No: **6**  
OF 22

Rev. # 5

Product: 03/24/23 - 2:00 PM, By: krazimir, Group: 99-008, Site Name: D:\04\19800855.dwg, Date: 06



**UTILITY NOTES**

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
- ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- THE SIZE OF THE PROPOSED SANITARY SEWER LATERAL TO SERVICE THE PROPOSED BUILDING SHALL BE AS APPROVED BY THE SUPERVISOR OF THE BOROUGH OF SAYREVILLE'S SEWER DEPARTMENT.
- THE DESIGN AND ADEQUACY OF FIRE SUPPRESSION SYSTEMS AND HYDRANT LOCATIONS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE BOROUGH FIRE DEPARTMENT.
- THE PROPOSED METHOD OF CONNECTION TO THE EXISTING WATER MAIN MUST BE APPROVED BY THE SUPERVISOR OF THE BOROUGH OF SAYREVILLE'S WATER DEPARTMENT.
- THE LOCATION OF THE SERVICE VALVES AND THE SIZE, TYPE, AND INSTALLATION METHOD OF PIPING AND FITTINGS SHALL BE APPROVED BY THE BOROUGH WATER DEPARTMENT.

**EXISTING UTILITY NOTES**

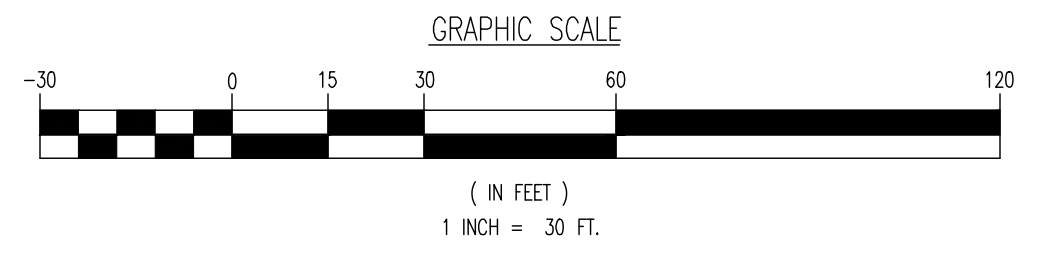
**EXISTING WATER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

**EXISTING GAS SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

**SANITARY SEWER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

**PIPE CROSSING**

PIPE CROSSING X1 WITH CONCRETE ENCASEMENT  
15" HDPE: BOP: 57.84  
4.0" PVC: TOP: 57.01  
SEPARATION: 0.80'



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**UTILITY PLAN**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC  
PROPOSED SELF-STORAGE FACILITY**  
BLOCK 425, LOT 2.01 & 2.02  
1960 & 1970 NUSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 3041-99-008  
DATE: 09/16/2022  
DRAWN BY: GMC  
SCALE: (H) 1"=30'  
(V)  
DESIGNED BY: LPGA/MDC  
CHECKED BY: TJM  
SHEET No: 7  
CHECKED BY: TJM

THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

811 PROTECT YOURSELF  
ALL UTILITIES MUST BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY UTILITIES ARE NOT LOCATED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.  
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Rev. # 5

Rev.	Date	Comments	By
1	10/17/22	REV. PER BOROUGH COMMENTS	GMC
2	10/25/22	REV. PER NUDOT SUBMISSION	GMC
3	11/09/22	REV. PER COUNTY COMMENTS	GMC
4	12/29/22	REV. PER BOROUGH COMMENTS	GMC
5	03/17/23	REV. PER BOROUGH & NUDOT COMMENTS	MFD

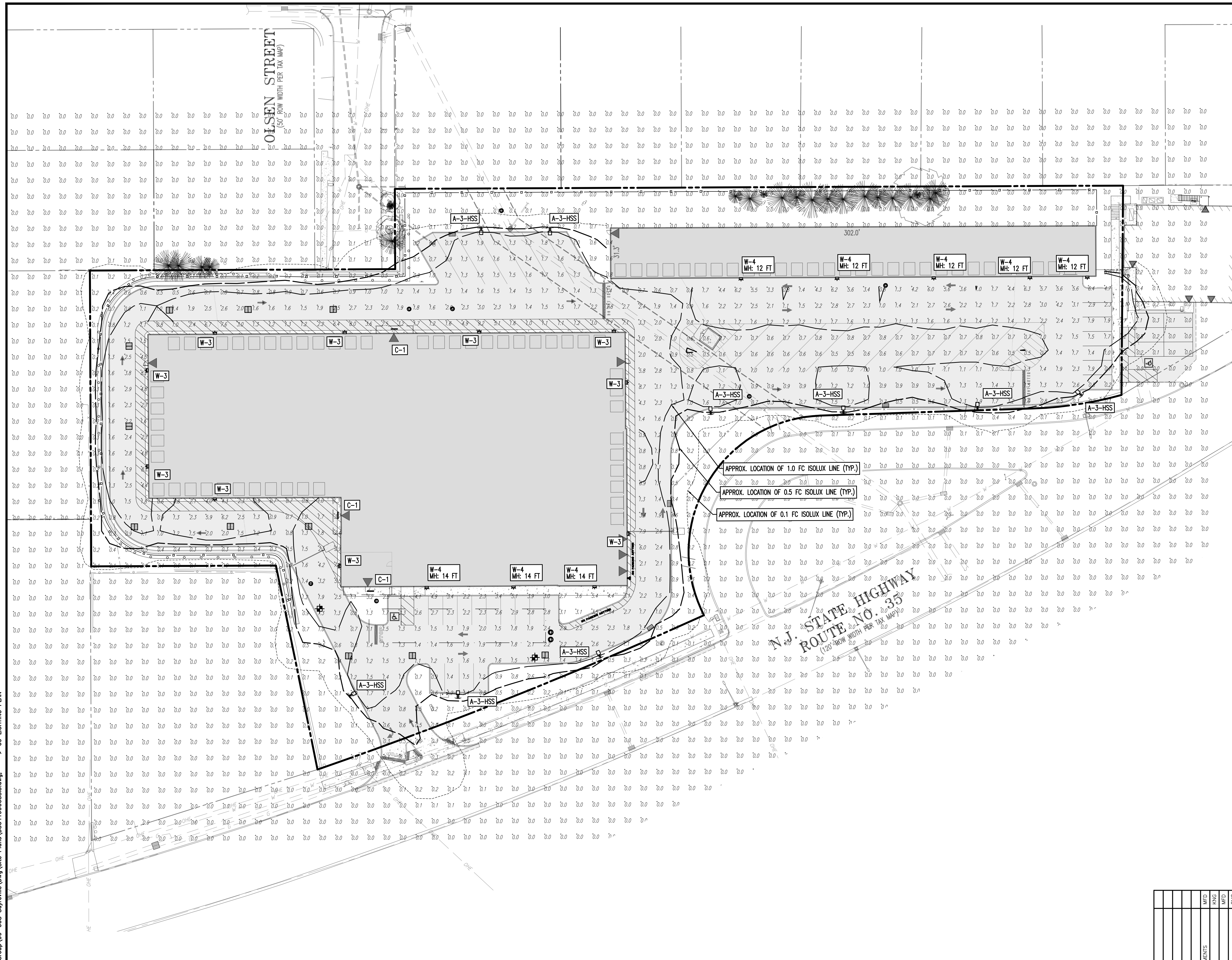
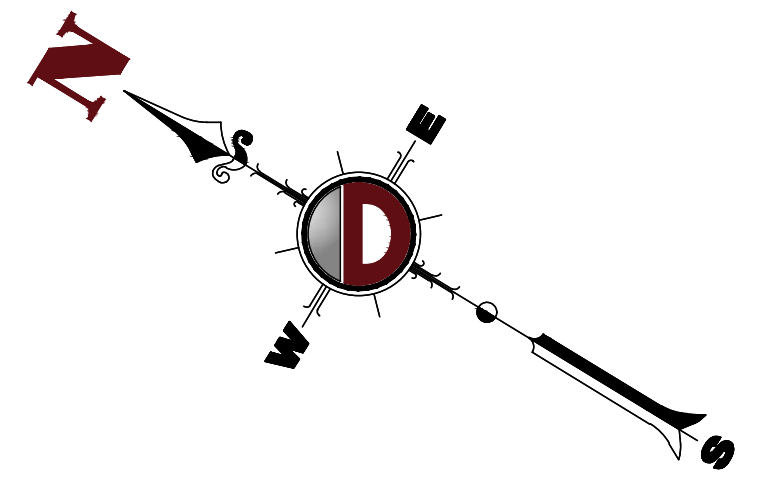
**GRADING/UTILITY GRAPHIC LEGEND**

<p>EXIST. GUY WIRE</p> <p>EXIST. LIGHT POLE</p> <p>EXIST. BUILDING LIGHT</p> <p>EXIST. SHOBE LIGHT</p> <p>EXIST. COBRA LIGHT POLE</p> <p>EXIST. TRAFFIC SIGNAL POLE</p> <p>EXIST. MANHOLE</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. "C" INLET</p> <p>EXIST. YARD INLET</p> <p>EXIST. FLARED END SECTION</p> <p>EXIST. HEADWALL</p> <p>EXIST. UTILITY POLE</p>	<p>EXIST. MONITORING WELL</p> <p>APPROX. TEST PIT LOCATION</p> <p>EXIST. FIRE HYDRANT</p> <p>EXIST. WATER VALVE</p> <p>EXIST. GAS METER</p> <p>EXIST. ELECTRIC METER</p> <p>EXIST. ELECTRIC BOX</p> <p>EXIST. CLEAN OUT</p> <p>EXIST. WELL</p> <p>EXIST. WATER SHUT OFF VALVE</p> <p>EXIST. TELEPHONE BOX</p> <p>EXIST. CABLE TV BOX</p> <p>PROP. HEADWALL</p>	<p>PROP. WATER VALVE</p> <p>PROP. GAS VALVE</p> <p>PROP. STORM CLEANOUT</p> <p>PROP. SANITARY CLEANOUT</p> <p>PROP. AREA LIGHT</p> <p>PROP. OUTLET CONTROL STRUCTURE</p> <p>PROP. DRAINAGE MANHOLE</p> <p>PROP. SANITARY SEWER MANHOLE</p> <p>PROP. "A" INLET</p> <p>PROP. "B" INLET</p> <p>PROP. "C" INLET</p> <p>PROP. "E" INLET</p> <p>PROP. YARD INLET</p> <p>PROP. FLARED END SECTION</p>	<p>PROPERTY LINE (PARCEL IN QUESTION)</p> <p>OFF-SITE PROPERTY LINES</p> <p>EXIST. CABLE LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>EXIST. GAS LINE</p> <p>EXIST. OVERHEAD WIRES</p> <p>EXIST. TELEPHONE LINE</p> <p>EXIST. WATER LINE</p> <p>PROP. WATER LINE</p>	<p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>EXIST. SANITARY SEWER LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>EXIST. STORM DRAIN LINE</p> <p>PROP. STORM DRAIN LINE</p> <p>EXIST. MINOR CONTOUR &amp; ELEVATION</p> <p>PROP. FINISH GRADE CONTOUR &amp; ELEVATION</p> <p>PROP. DIRECTION OF DRAINAGE FLOW ARROW</p>	<p>EXIST. SPOT ELEVATIONS</p> <p>EXIST. GUTTER ELEV.</p> <p>EXIST. TOP OF CURB ELEV.</p> <p>EXIST. FINISH FLOOR ELEV.</p> <p>EXIST. GARAGE FLOOR ELEV.</p> <p>PROP. GRADE SPOT ELEV.</p> <p>PROP. TOP OF CURB &amp; FINISHED GRADE ELEV.</p> <p>PROP. FINISHED FLOOR ELEV.</p> <p>PROP. TOP OF WALL &amp; FINISHED GRADE @ LOW SIDE OF WALL</p> <p>PROP. TOP OF WALL &amp; FINISHED GRADE @ HIGH SIDE OF WALL</p> <p>PROP. TOP OF EXTENDED CURB @ HIGH SIDE OF EXTENDED CURB</p> <p>PROP. TOP OF EXTENDED CURB @ LOW SIDE OF EXTENDED CURB</p>
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Product: Ver. 24.2a (LMS Tech) - Group: 99-008 Sayreville Dwg Site Plans  
 Ploated: 03/24/23 - 2:00 PM, By: krazimir, File: P:\VEPC PROJECTS\3041 InSite Property Dwg\Site Plans\3041-99-008SU5.dwg, ----> 07 UTILITY PLAN  
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**GENERAL NOTES**

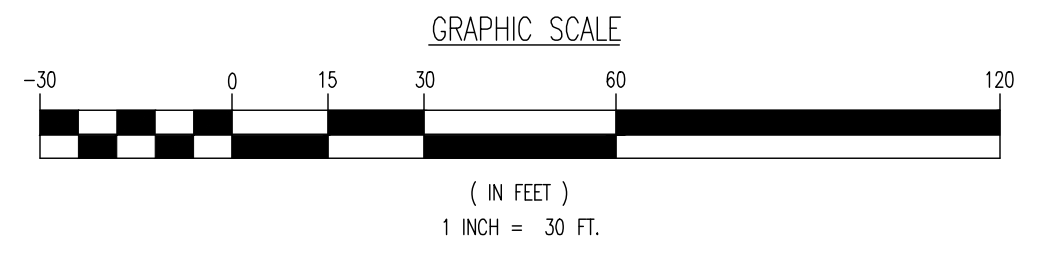
1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDELINE POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
5. REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
6. THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.

**BOROUGH LIGHTING REQUIREMENTS**

- A. SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH THE BOROUGH ORDINANCE SECTION 26-96.8 "LIGHTING DESIGN" EXCEPT AS NOTED IN THE FOLLOWING SECTIONS. (1970 ROUTE 35 REDEVELOPMENT PLAN, LIGHTING DESIGN, 1)
- B. LIGHTING SHALL BE REDUCED AFTER OPERATING HOURS BY AT LEAST FIFTY (50%) PERCENT THROUGHOUT THE SITE, MOTION-SENSOR SECURITY LIGHTING OR OTHER LIGHTING NEEDED FOR SAFETY PURPOSES SHALL BE PERMITTED TO EXCEED THIS THRESHOLD IF THE REDEVELOPER DEMONSTRATES THAT IT IS NECESSARY. (1970 ROUTE 35 REDEVELOPMENT PLAN, LIGHTING DESIGN, 2)
- C. ALL LIGHT FIXTURES SHALL BE LEDS WITH A MAXIMUM COLOR TEMPERATURE OF 4,000 DEGREES KELVIN. (1970 ROUTE 35 REDEVELOPMENT PLAN, LIGHTING DESIGN, 3)
- D. ALL LIGHT FIXTURES SHALL BE SHIELDED TO PREVENT OFF-SITE SPILLAGE AND GLARE.
  1. LIGHTING LEVELS SHALL NOT EXCEED 0.1 FOOT-CANDELES AT THE PROPERTY LINE OF ANY RESIDENTIAL USE. (1970 ROUTE 35 REDEVELOPMENT PLAN, LIGHTING DESIGN, 4.A) (0)
  2. LIGHTING LEVELS SHALL NOT EXCEED 0.5 FOOT-CANDELES AT COMMERCIAL OR INDUSTRIAL PROPERTY LINES. (1970 ROUTE 35 REDEVELOPMENT PLAN, LIGHTING DESIGN, 4.B)
  3. LIGHTING LEVELS SHALL NOT BE PERMITTED TO EXCEED 0.5 FOOT-CANDELES ALONG ROUTE 35 AND THE COMMON PROPERTY LINE WITH MORGAN RESCUE SQUAD. (1970 ROUTE 35 REDEVELOPMENT PLAN, LIGHTING DESIGN, 4.C) (0)
- E. THE STYLE OF THE LIGHT AND LIGHT STANDARD SHALL BE CONSISTENT WITH THE ARCHITECTURAL STYLE OF THE PRINCIPAL BUILDING. (§ 26-96.8.A)
- F. THE MAXIMUM HEIGHT OF FREESTANDING LIGHTS SHOULD NOT EXCEED THE HEIGHT OF THE PRINCIPAL BUILDING OR TWENTY-FIVE (25) FEET, WHICHEVER IS LESS. (§ 26-96.8.D)
- G. ALL LIGHTS SHALL BE SHIELDED TO RESTRICT THE MAXIMUM APEX ANGLE OF THE CONE OF ILLUMINATION TO SEVENTY-FIVE (75) DEGREES FROM VERTICAL. (§ 26-96.8.E)
- H. FREESTANDING LIGHTS SHALL BE SO LOCATED AND PROTECTED TO AVOID BEING DAMAGED BY VEHICLES. (§ 26-96.8.G)
- I. THE FOLLOWING INTENSITY IN FOOTCANDELES SHALL BE MAINTAINED FOR COMMERCIAL PARKING LOTS: A MINIMUM OF 0.5 FOOTCANDELES THROUGHOUT, MAINTAINED WITH ESTABLISHED DEPRECIATION FACTOR CALCULATED INTO LIGHTING LEVEL, AT A MAXIMUM TO MINIMUM ILLUMINATION RATIO NOT TO EXCEED 15:1. (§ 26-96.8.H.2)
- J. THE MAXIMUM INTENSITY IN FOOTCANDELES AT PROPERTY LINES SHALL BE ONE-HALF (0.5) FOOTCANDELE. (§ 26-96.8.H.4)
- K. THE MINIMUM INTENSITY IN FOOTCANDELES AT SIDEWALKS SHALL BE ONE (1) FOOTCANDELE ENTIRE LENGTH. (§ 26-96.8.H.5)
- L. ALL WIRING SHALL BE LAID UNDERGROUND, AND THE LIGHTING FIXTURES SHALL BE SO ARRANGED THAT THE DIRECT SOURCE OF LIGHT IS NOT VISIBLE FROM ANY ADJACENT RESIDENTIAL AREA. GLARE FROM BRIGHT ELECTRIC LIGHT BULBS SHALL BE ELIMINATED THROUGH THE USE OF DIFFUSERS OR THE EQUIVALENT. (§ 26-96.8.I)
- M. HOUSE SIDE SHIELD (INTERNAL OR EXTERNAL) SHALL BE PROVIDED TO MINIMIZE FIXTURE GLARE AND LIGHT POLLUTION ONTO ADJACENT PROPERTIES. (§ 26-96.8.J.4)
- N. ALL FIXTURES SHALL BE AESTHETICALLY COMPATIBLE WITH THE LIGHTING STANDARD (POLES), CONTIGUOUS FIXTURES, AND THE ADJACENT ENVIRONMENT. (§ 26-96.8.J.5)
- O. ALL LAMPS SHALL BE OF AN INSIDE COATED TYPE PHOSPHOR COATING OR INSIDE FROST. NO CLEAR LAMPS SHALL BE PERMITTED. (§ 26-96.8.J.6)
- P. ALL FIXTURES SHALL CONTAIN A SHIELDING MEDIUM WITHIN THE FIXTURE TO PROTECT LAMPS, SUCH AS CLEAR TEMPERED GLASS DOOR OR BOROSILICATE PRISMATIC REFRACTOR. UNPROTECTED LAMPS OTHER THAN INCANDESCENT TYPE UNITS, SHALL NOT BE PERMITTED. (§ 26-96.8.J.7)
- Q. THE MAXIMUM ALLOWABLE POLE HEIGHT SHALL BE THIRTY-FIVE (35) FEET MEASURED FROM THE HIGHEST POINT OF POLE AND FIXTURE TO FINISHED GRADE. (§ 26-96.8.K.2)
- R. POLE BASES SHALL BE DESIGNED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPROVED BY A LICENSED PROFESSIONAL ENGINEER AS TO STRUCTURAL STABILITY. (§ 26-96.8.K.4)

APPROX. LOCATION OF 1.0 FC ISOLUX LINE (TYP.)  
 APPROX. LOCATION OF 0.5 FC ISOLUX LINE (TYP.)  
 APPROX. LOCATION OF 0.1 FC ISOLUX LINE (TYP.)

N.J. STATE HIGHWAY  
 ROUTE NO. 35  
 (120' ROW WIDTH PER TA MAP)



LIGHTING LUMINAIRE SCHEDULE						
SYMBOL	QUANTITY	LABEL	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER
	3	C-1	12 FT	SINGLE	1.000	ALPHATECH LINEAR STRIP CANOPY LIGHT
	10	W-3	14 FT	SINGLE	1.000	PRIORITY LIGHTING
	8	W-4	VARIES (SEE PLAN)	SINGLE	1.000	PRIORITY LIGHTING
	9	A-3-HSS	25 FT	SINGLE	1.000	NLS LIGHTING

STATISTICAL AREA SUMMARY					
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.
PAVEMENT AREA	1.81	9.2	0.5	3.62	18.40

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.  
 (FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION  
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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 www.dynamiceng.com

TITLE: **LIGHTING PLAN**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC  
 PROPOSED SELF-STORAGE FACILITY**

BLOCK 425, LOT 2.01 & 2.02  
 1960 & 1970 NUSH ROUTE 35  
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 3041-99-008  
 DATE: 09/16/2022  
 DRAWN BY: GMC  
 SCALE: (H) 1"=30'  
 (V)  
 DESIGNED BY: LPC/MDC  
 SHEET No:  
 CHECKED BY: TJM  
 CHECKED BY:

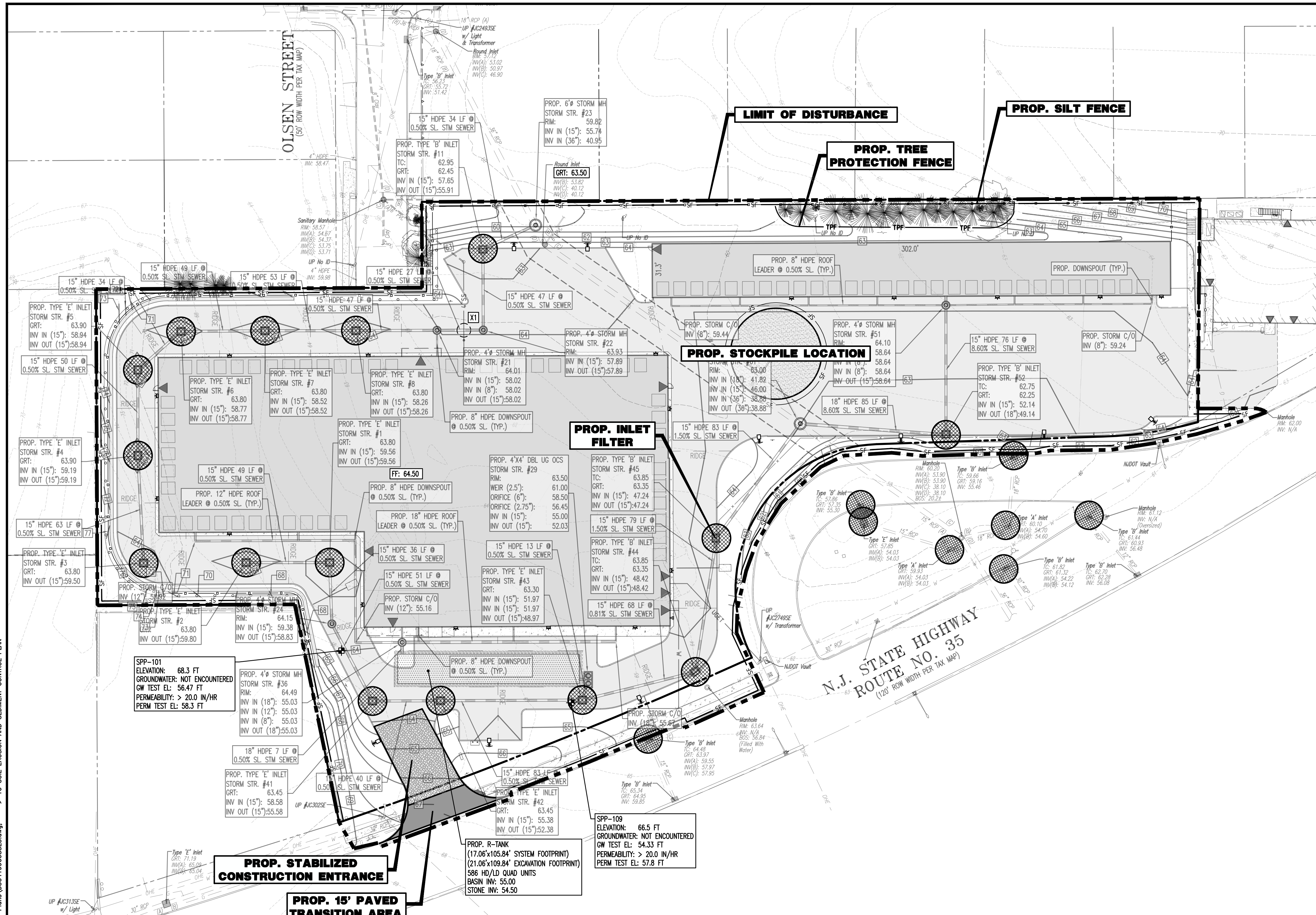
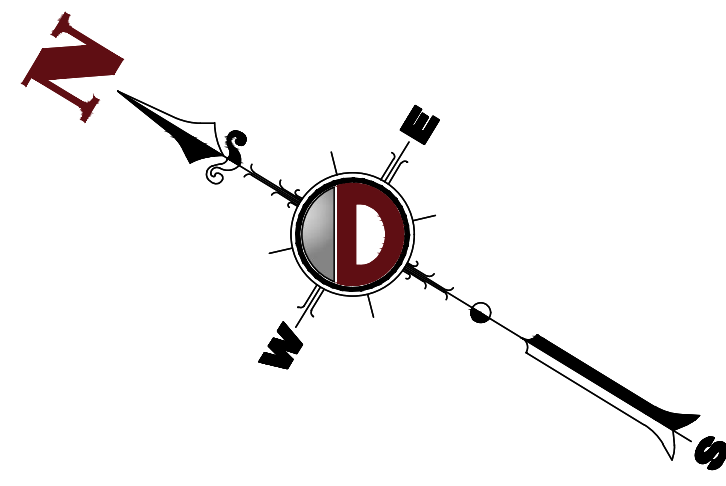
**THOMAS J. MULLER**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 52179

**JOHN A. PALUS**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 41975

**PROTECT YOURSELF**  
 ALL STATES REQUIRE VERIFICATION OF LICENSED PROFESSIONALS BY AN OTHER PROFESSIONAL TO VERIFY THE SERVICE OFFICE ADDRESS IS AS SHOWN.  
 FOR STATE OFFICES DIRECT PHONE NUMBERS VISIT: [WWW.CALL811.COM](http://WWW.CALL811.COM)

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 OF 22  
 Rev. # 5

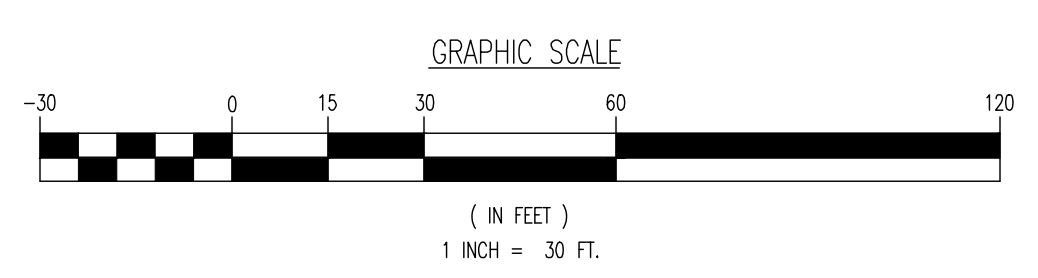
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**LIMIT OF DISTURBANCE = 145,712 SF. (3.345 Ac.)**

**EROSION CONTROL LEGEND**

- PROP. LIMIT OF DISTURBANCE LINE
- PROP. SILT FENCE LINE
- PROP. TREE PROTECTION FENCE LINE
- PROP. INLET FILTER
- PROP. HAYBALE SEDIMENT BARRIER



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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www.dynamiceng.com

DATE: 09/16/2022

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

PROJECT: INSITE DEVELOPMENT PARTNERS, LLC  
PROPOSED SELF-STORAGE FACILITY  
BLOCK 425, LOT 2.01 & 2.02  
1960 & 1970 NUSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 3041-99-008  
DRAWN BY: GMC  
DESIGNED BY: LPC/MDC  
CHECKED BY: TJM

THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

SCALE: (H) 1"=30'  
(V)

SHEET No:

**10**

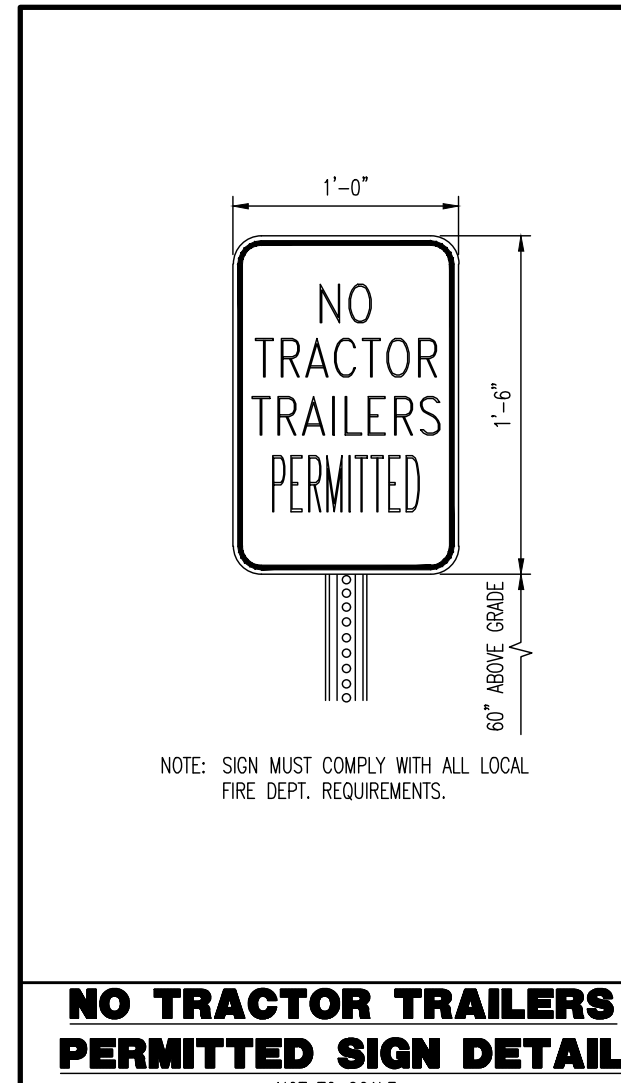
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Rev. # 5

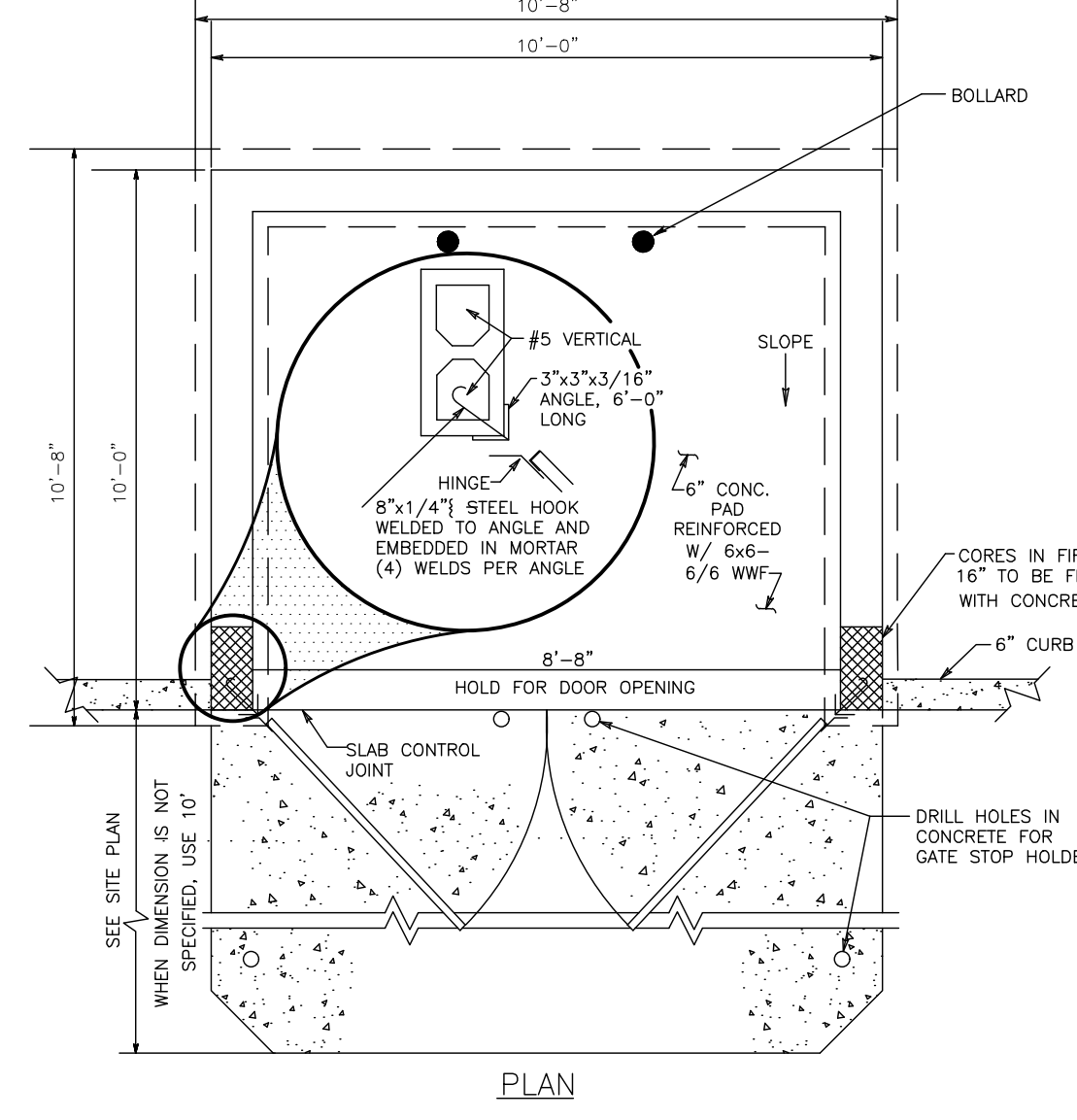
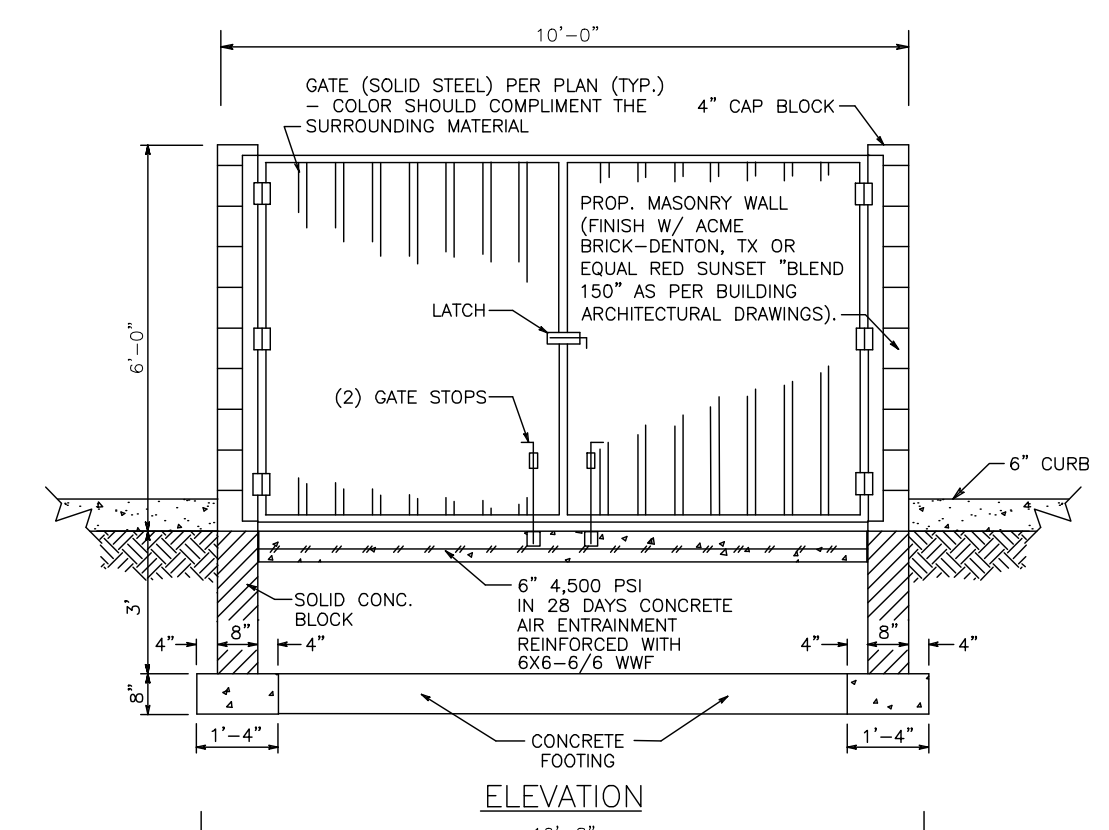
**AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1) AND IS CONSIDERED "PREVIOUSLY DEVELOPED" UNDER EXISTING CONDITIONS, AND IS THEREFORE EXEMPT FROM THE SOIL COMPACTION REQUIREMENTS**

Plotted: 03/24/23 - 2:01 PM, By: krazimir, Product: Ver: 24.2a (LMS Tech) File: P:\BECPC PROJECTS\3041 mSite Property Group\99-008 Sayreville\DWG\Site Plans\3041-99-008-01 SOIL EROSION AND SEDIMENT CONTROL PLAN

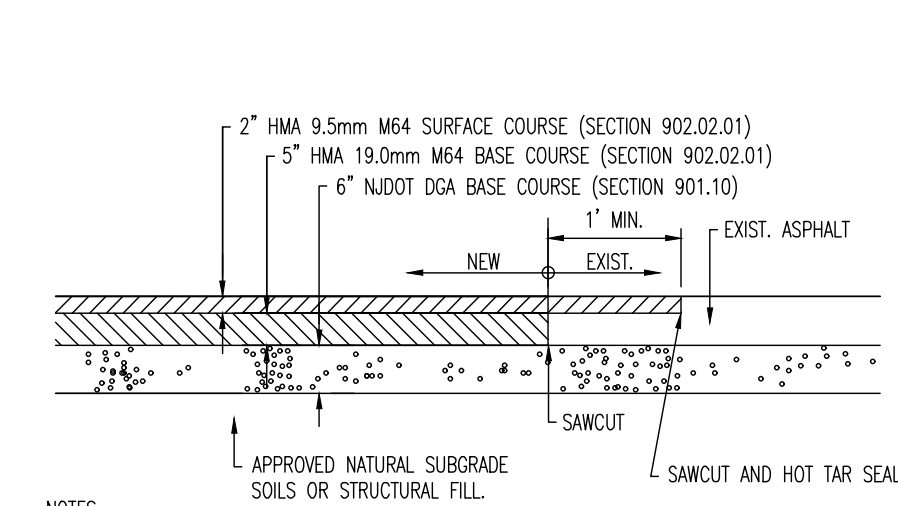




**NO TRACTOR TRAILERS PERMITTED SIGN DETAIL**  
NOT TO SCALE

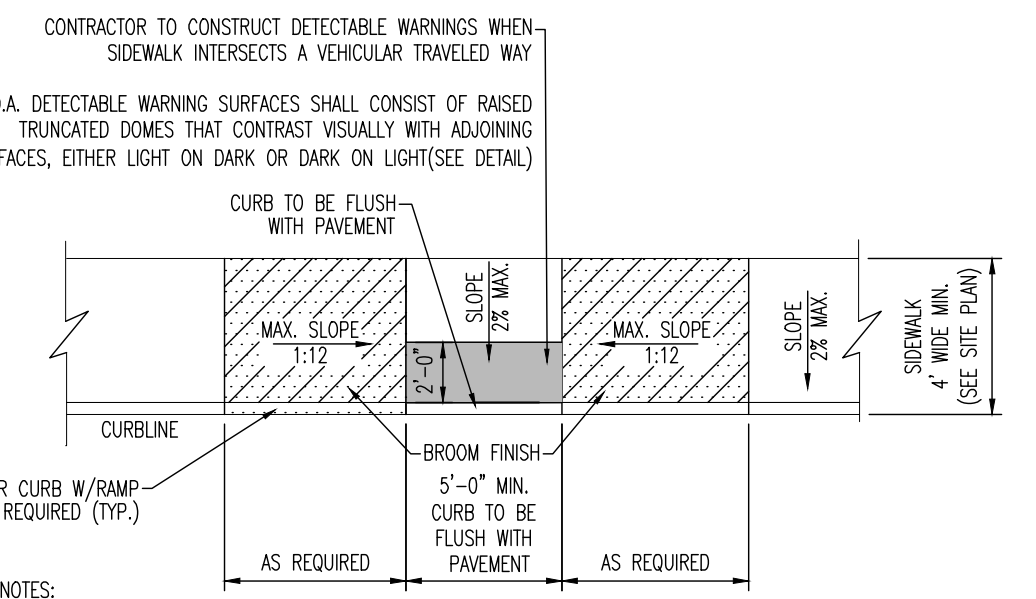


**TRASH ENCLOSURE DETAIL**  
NOT TO SCALE



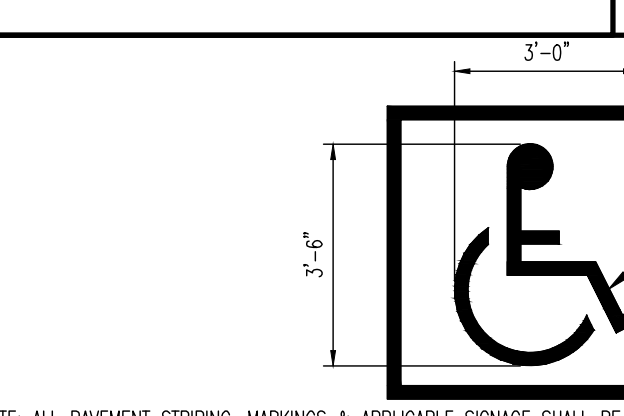
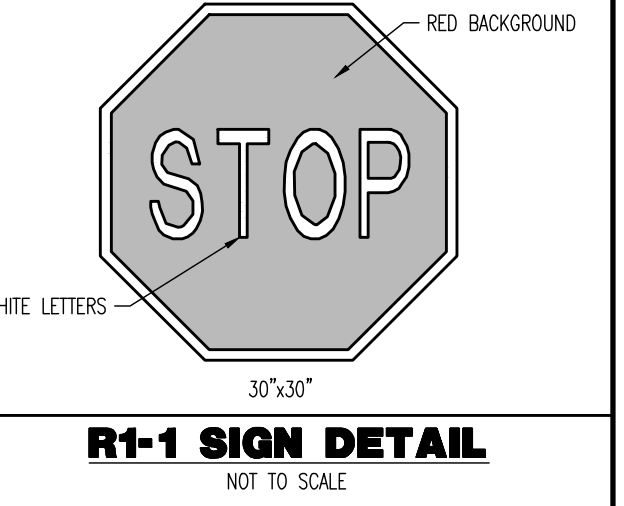
- NOTES:
1. ALL PAVEMENT SECTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2019.
  2. OWNER SHALL CONTACT AND ENGAGE DYNAMIC EARTH, LLC. TO INSPECT AND TEST SUBGRADE SOILS. CONTRACTOR SHALL CONTACT DYNAMIC EARTH, LLC. AT (908) 879-7095 (WWW.DYNAMIC-EARTH.COM) AT ONSET OF CONSTRUCTION TO CONFIRM REQUIREMENTS AND COORDINATE INSPECTIONS.
  3. SUBGRADE SOILS SHALL BE APPROVED BY DYNAMIC EARTH, LLC. APPROVED NATURAL SOILS SHALL BE COMPACTED AND PROOFROLLED WITH A LOADED TANDEM AXLE TRUCK TO A FIRM AND UNYIELDING CONDITION. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL OR STABILIZED AS DIRECTED BY DYNAMIC EARTH, LLC. ANY STRUCTURAL FILL AT OR BELOW PAVEMENT SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM-D1557.
  4. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION DESCRIPTION.

**BOROUGH OF SAYREVILLE HEAVY DUTY ASPHALT PAVEMENT DETAIL**  
NOT TO SCALE

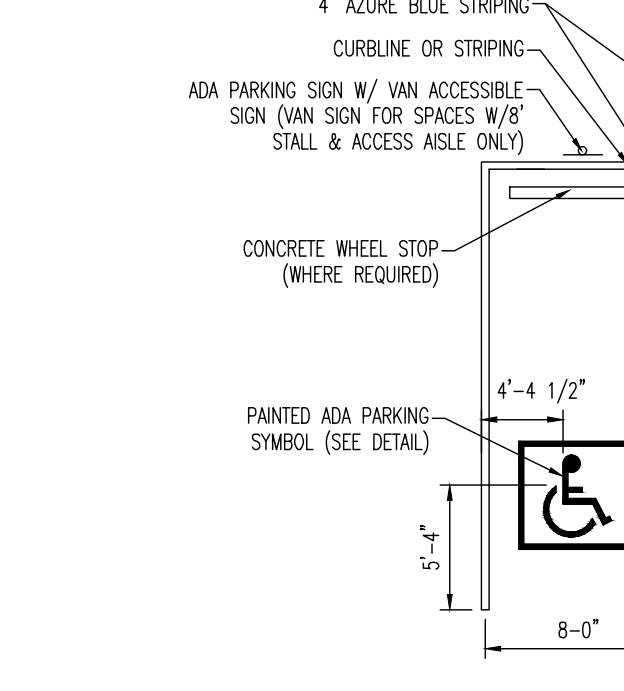


- CONTRACTOR TO CONSTRUCT DETECTABLE WARNINGS WHEN SIDEWALK INTERSECTS A VEHICULAR TRAVELED WAY.
- A.D.A. DETECTABLE WARNING SURFACES SHALL CONSIST OF FRASED TRUNCATED DOMES THAT CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT ON DARK OR DARK ON LIGHT (SEE DETAIL).
- NOTES:
1. CURB RAMPS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND.
  2. COUNTER SLOPES OF ADJOINING GUTTERS AND PAVEMENT SHALL NOT BE STEEPER THAN 1:20 WITH A MAX. CROSS SLOPE OF 2%.
  3. A LEVEL LANDING AREA (MAX. SLOPE 2% IN ANY DIRECTION) SHALL BE PROVIDED AT THE TOP OF THE RAMP. THE LANDING CLEAR LENGTH SHALL BE 36" MIN AND THE CLEAR WIDTH SHALL BE AS WIDE AS THE RAMP.
  4. CURB RAMPS, PAVEMENT MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.

**A.D.A. PARALLEL CURB RAMP DETAIL**  
NOT TO SCALE

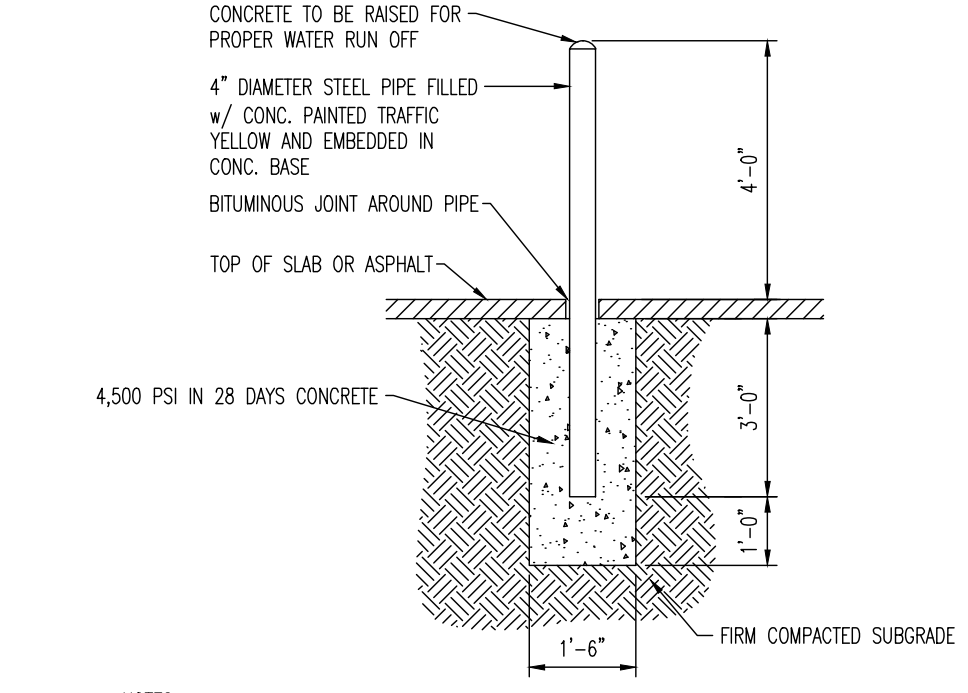


**PAINTED A.D.A. PARKING SYMBOL DETAIL**  
NOT TO SCALE



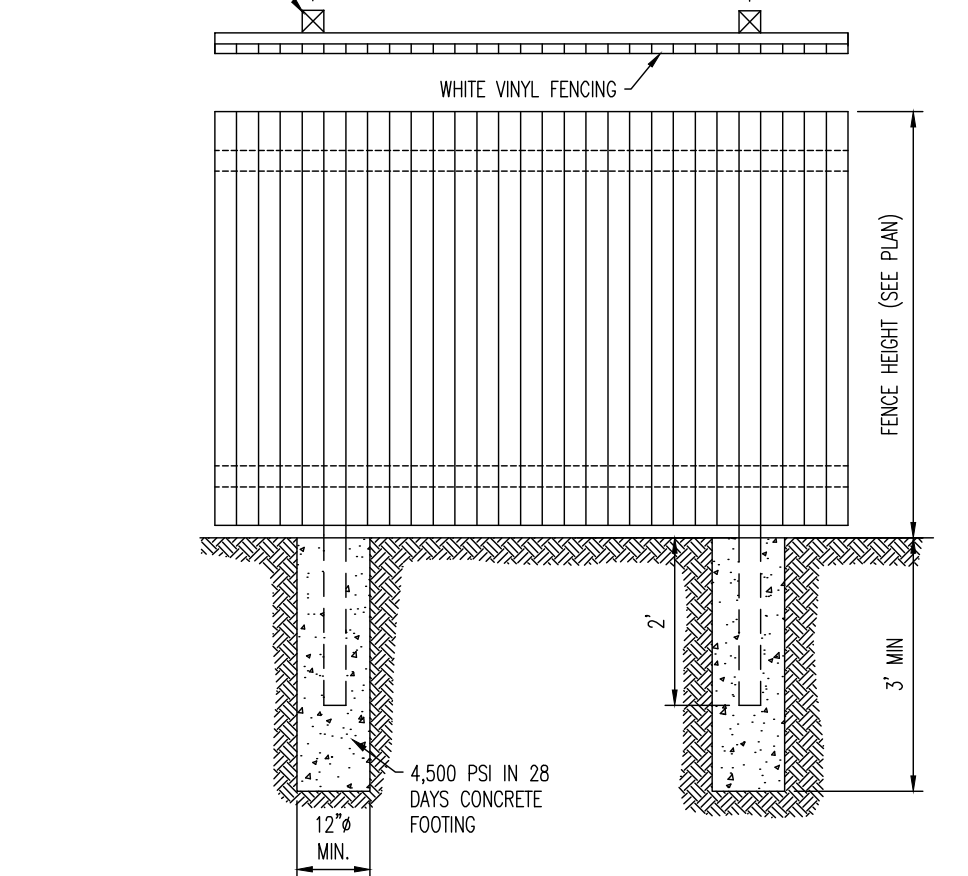
- NOTES:
1. PAVEMENT STRIPING FOR ALL ADA PARKING SPACES SHALL BE PAINTED AZURE BLUE.
  2. WHERE AN ADA PARKING STALL MEETS A STANDARD PARKING STALL, AN AZURE BLUE AND WHITE PAVEMENT STRIPE SHALL BE PAINTED.
  3. ALL PAVEMENT STRIPING, MARKINGS AND SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ADA ACCESSIBILITY GUIDELINES.

**ADA STALL MARKINGS DETAIL**  
NOT TO SCALE

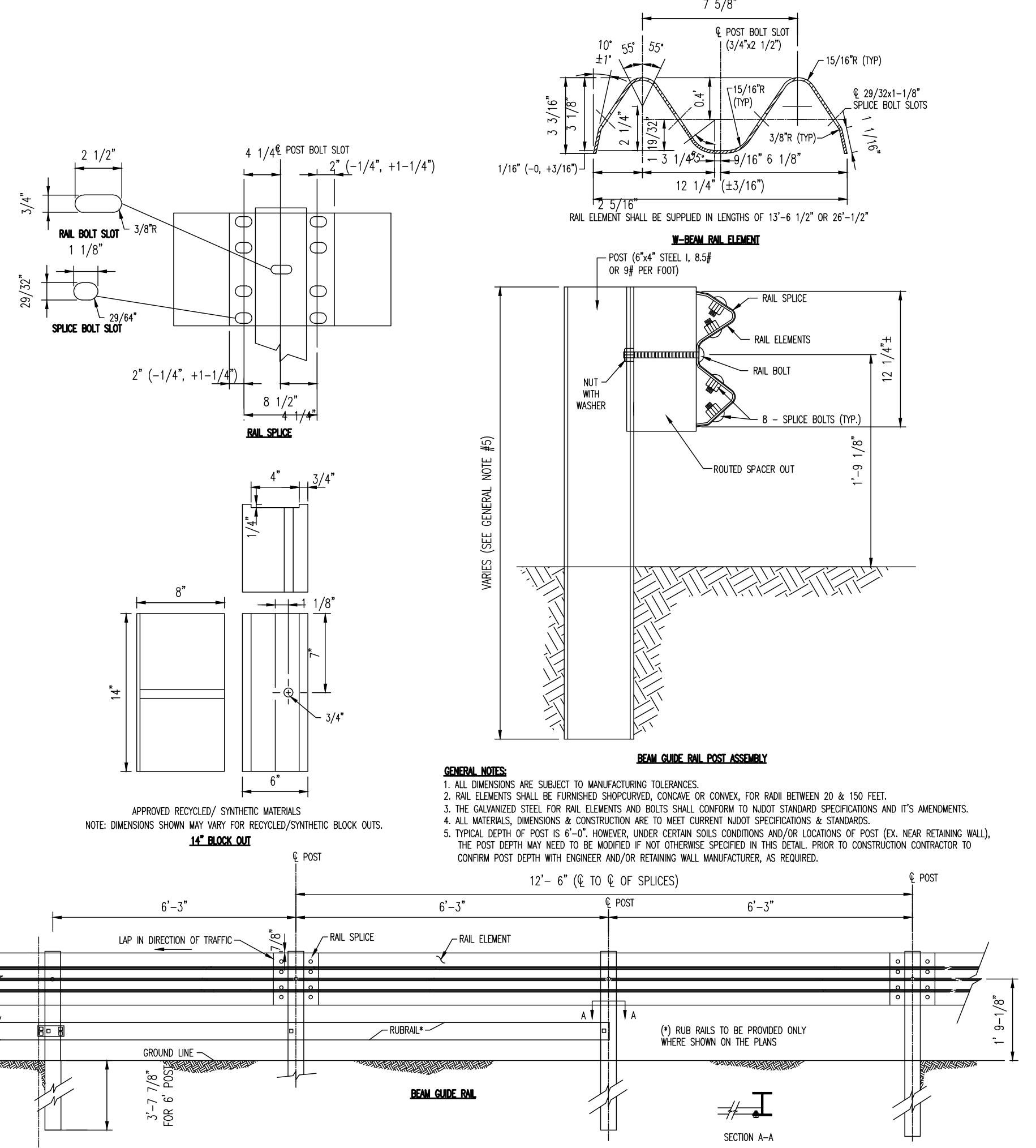


- NOTES:
1. BOLLARD MUST RESIST A FORCE OF 12,000 POUNDS APPLIED 30" ABOVE THE DRIVING SURFACE.
  2. BOLLARDS REQUIRED AS DEPICTED ON SITE PLAN DRAWINGS, TYPICALLY LOCATED AT BUILDING CORNERS, TRANSFORMERS, FIRE HYDRANTS, EXTERIOR WATER METER, GAS METER, FIRE DEPARTMENT CONNECTIONS, AND TRASH ENCLOSURES.

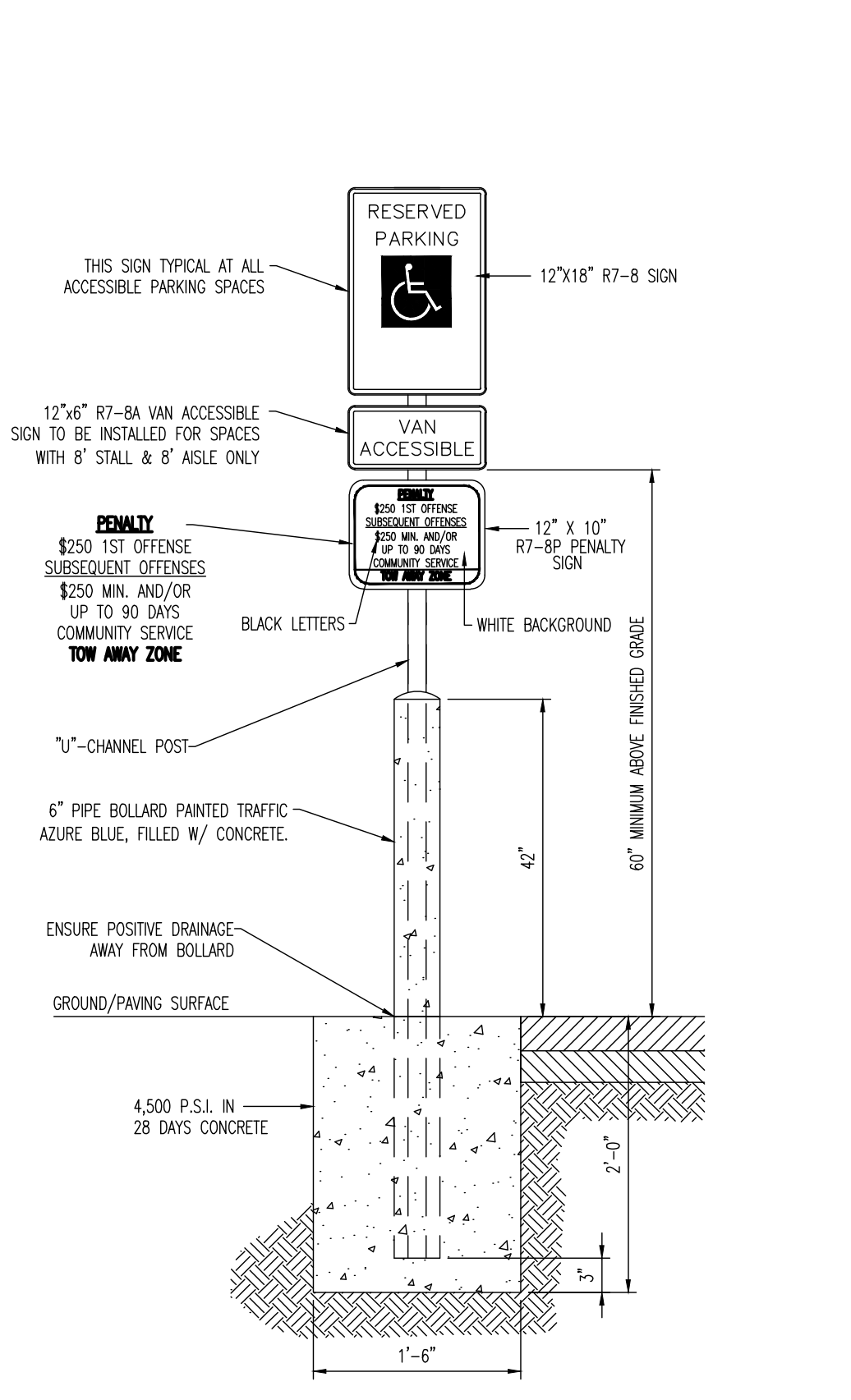
**4" BOLLARD DETAIL**  
NOT TO SCALE



**VINYL FENCE DETAIL**  
NOT TO SCALE

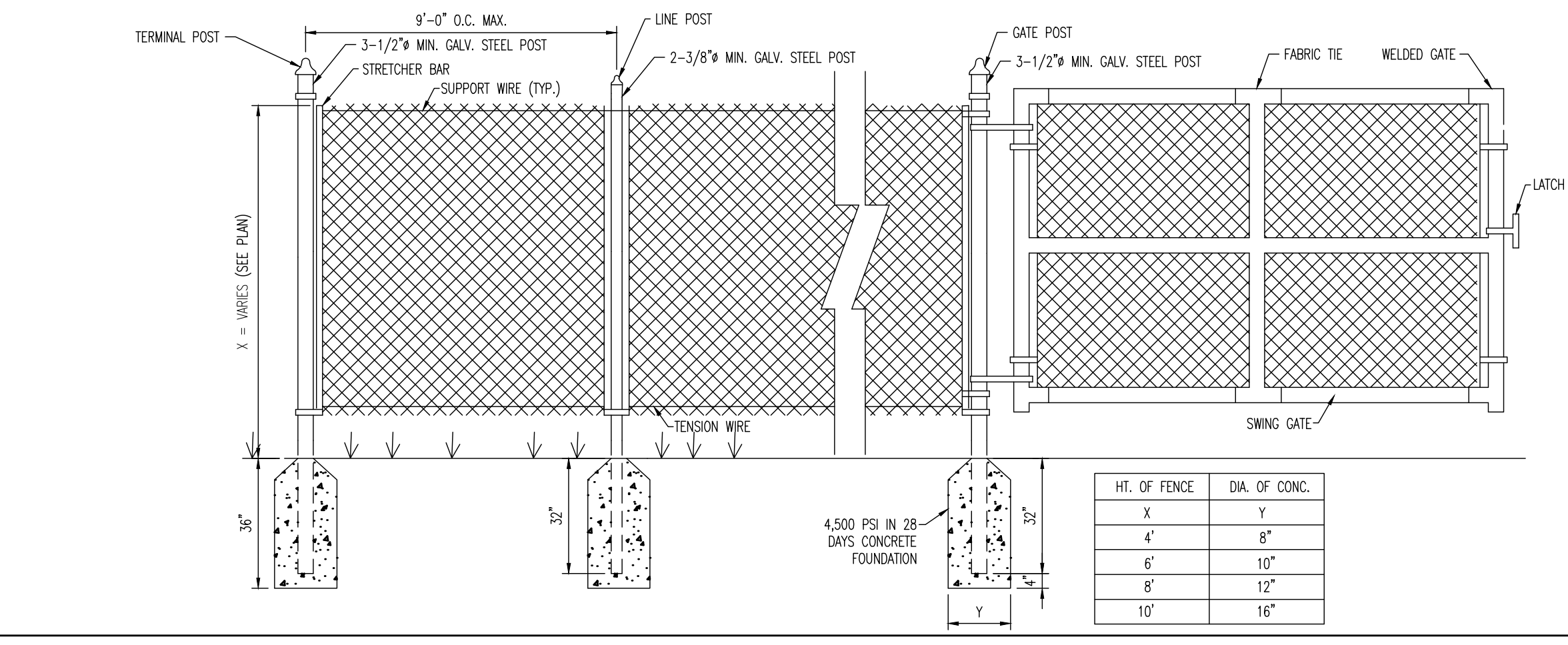


**GALVANIZED STEEL BEAM GUIDE RAIL DETAIL**  
NOT TO SCALE

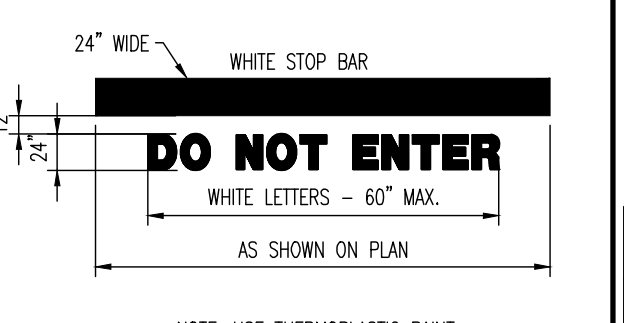


- NOTES:
1. IF AT THE TIME OF CONSTRUCTION THE STATE OF NEW JERSEY HAS APPROVED FINES/PENALTIES DIFFERENT THAN THOSE INDICATED ON THIS DETAIL, CONTRACTOR IS TO PROVIDE SIGNAGE INDICATING THE CURRENT FINES/PENALTIES AS APPROVED BY THE STATE OF NEW JERSEY.
  2. VAN ACCESSIBLE SIGN SHALL BE 60" MINIMUM ABOVE FINISHED GRADE WHERE APPLICABLE. WHEN VAN ACCESSIBLE IS NOT REQUIRED, R7-8 SIGN SHALL BE SET AT 60" MINIMUM ABOVE FINISHED GRADE.

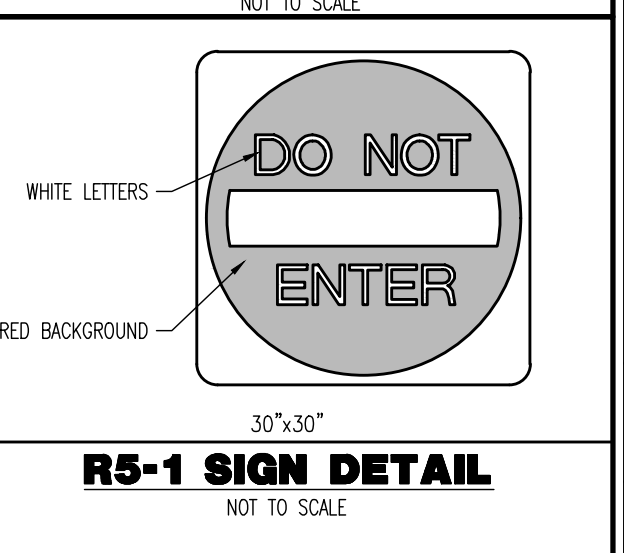
**A.D.A. PARKING SIGN ON BOLLARD DETAIL**  
NOT TO SCALE



**CHAIN LINK FENCE W/GATE DETAIL**  
NOT TO SCALE



**DO NOT ENTER STRIPING DETAIL**  
NOT TO SCALE



**R5-1 SIGN DETAIL**  
NOT TO SCALE

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F: 908.879.5521  
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PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC PROPOSED SELF-STORAGE FACILITY**  
BLOCK 425, LOT 2.01 & 2.02  
1960 & 1970 NUSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

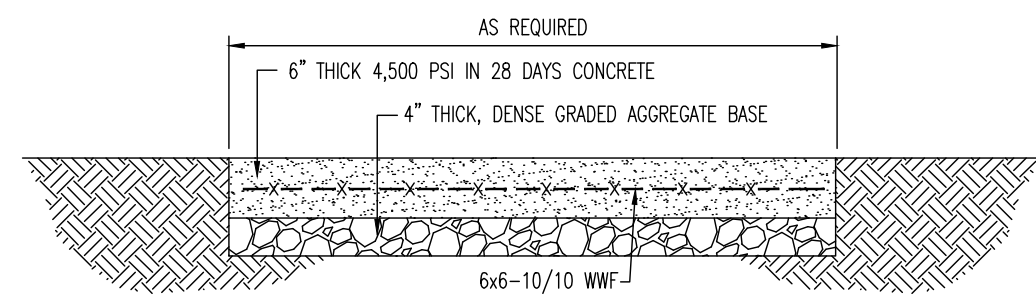
JOB No: 3041-99-008  
DATE: 09/16/2022  
DRAWN BY: JCG  
SCALE: (H) NOT TO (V) SCALE  
DESIGNED BY: LJC/MDC  
SHEET No:  
CHECKED BY: TJM  
THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
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12  
OF 22  
Rev. # 5

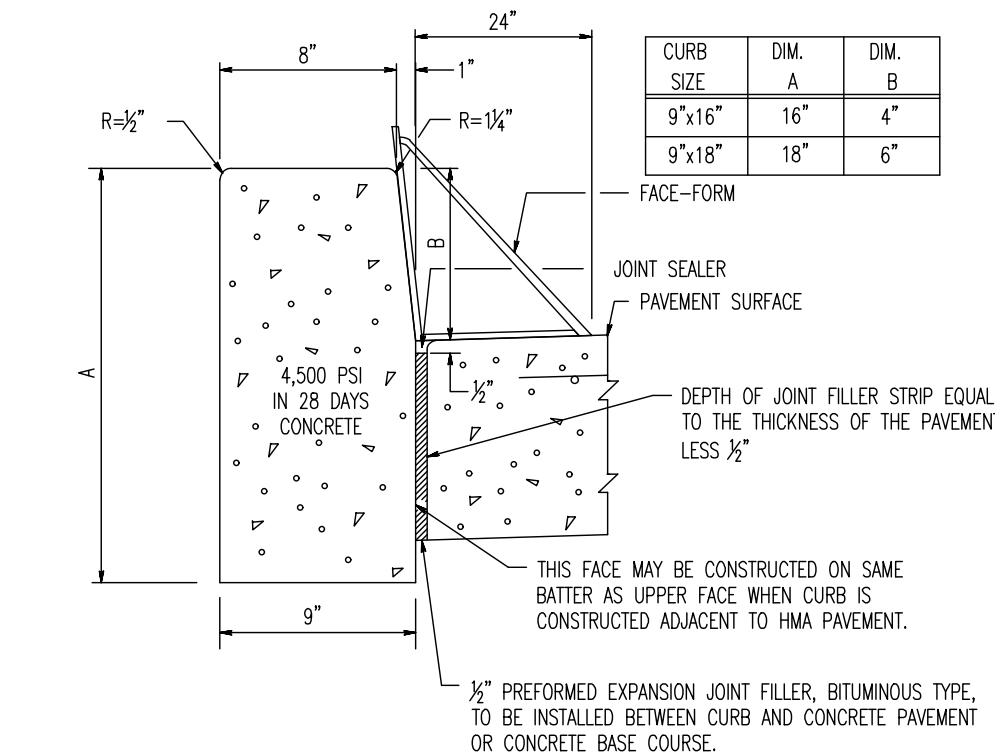
Product: Ver. 24.2a (LMS Tech)  
Group: 39-008 Sayreville Dwg Site Plans  
File: P:\VEPCF PROJECTS\3041 InSite Property Group\39-008 Sayreville Dwg Site Plans\3041-99-008-05.dwg, ----> 12 CONSTRUCTION DETAILS



- NOTES:
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
  - ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
  - ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED, (6% WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
  - REINFORCING STEEL BARS SHALL BE A MINIMUM ASTM A615, GRADE 60, AND SHALL BE FIELD WROUGHT IN PLACE.
  - ALL FRAMING AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS, AS WELL AS THE ACI AND UNIFORM BUILDING CODE.
  - EXPANSION JOINTS 1/2" WIDE OF PREMOULDED BITUMINOUS MATERIALS SHALL BE INSTALLED.

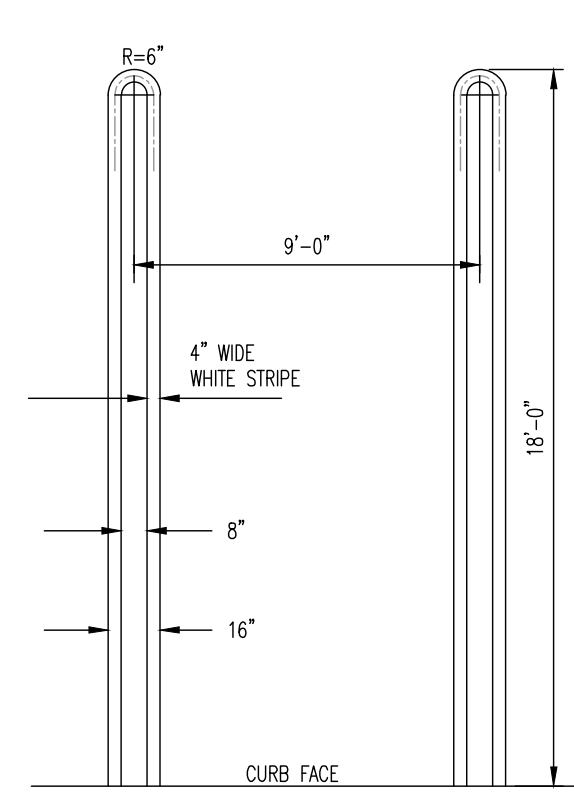
**CONCRETE PAD DETAIL**

NOT TO SCALE



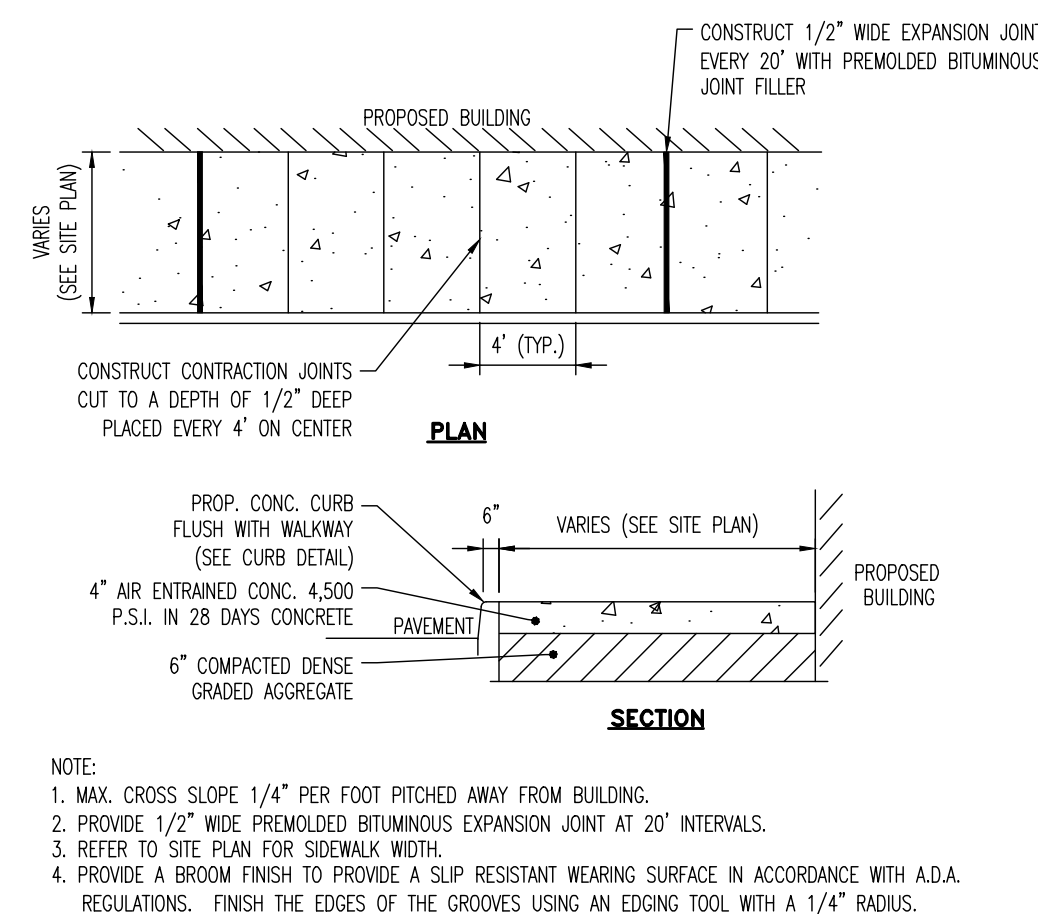
**FACE-FORM CONCRETE VERTICAL CURB**

NOT TO SCALE



**HAIRPIN PARKING STALL STRIPING DETAIL**

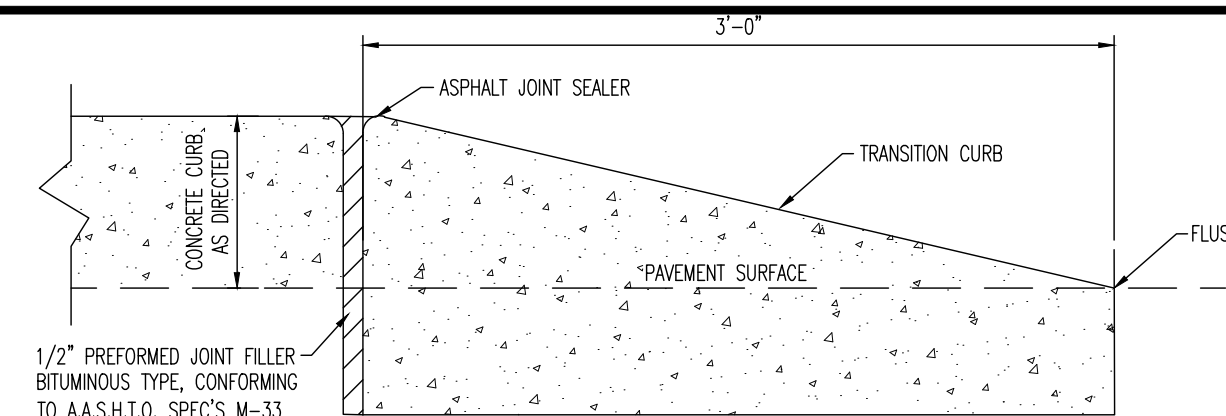
NOT TO SCALE



- NOTE:
- MAX. CROSS SLOPE 1/4" PER FOOT PITCHED AWAY FROM BUILDING.
  - PROVIDE 1/2" WIDE PREMOULDED BITUMINOUS EXPANSION JOINT AT 20' INTERVALS.
  - REFER TO SITE PLAN FOR SIDEWALK WIDTH.
  - PROVIDE A BROOM FINISH TO PROVIDE A SLIP RESISTANT WEARING SURFACE IN ACCORDANCE WITH A.D.A. REGULATIONS. FINISH THE EDGES OF THE GROOVES USING AN EDGING TOOL WITH A 1/4" RADIUS.

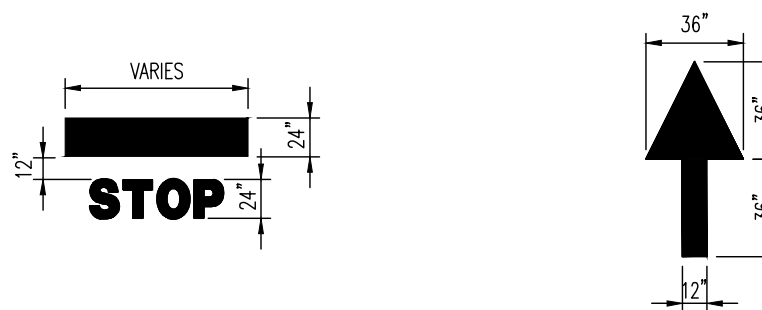
**CURB AND WALK DETAIL AT BUILDING**

NOT TO SCALE



**VERTICAL CURB TAPER DETAIL**

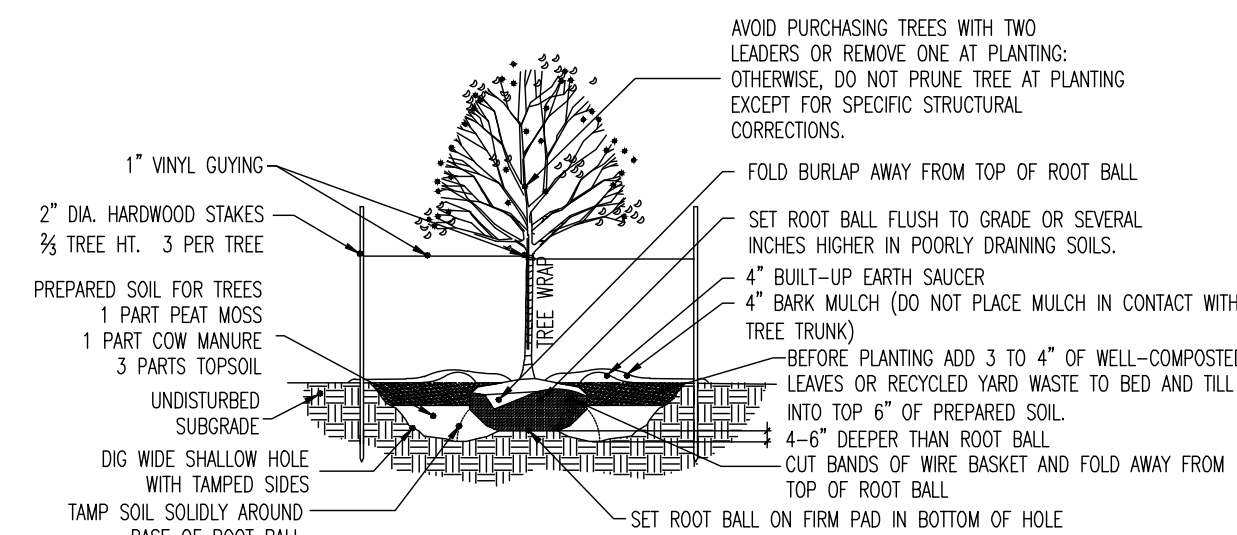
NOT TO SCALE



**PAINTED MARKING DETAILS**

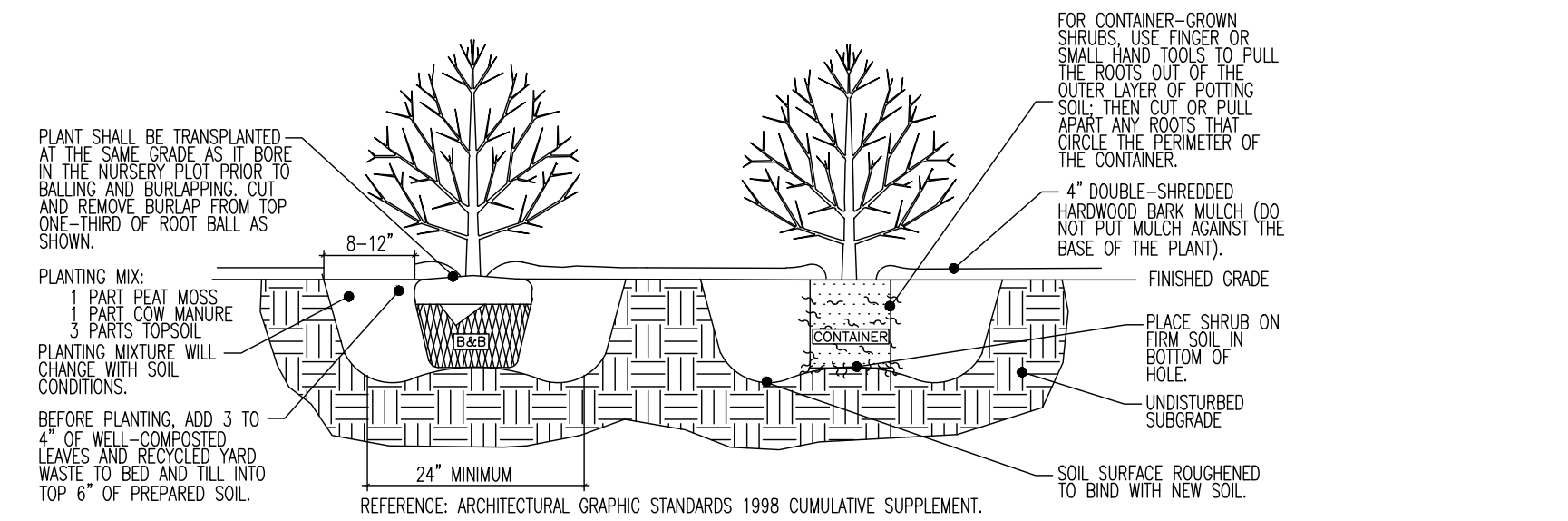
NOT TO SCALE

- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  - REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
  - PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
  - THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
  - THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



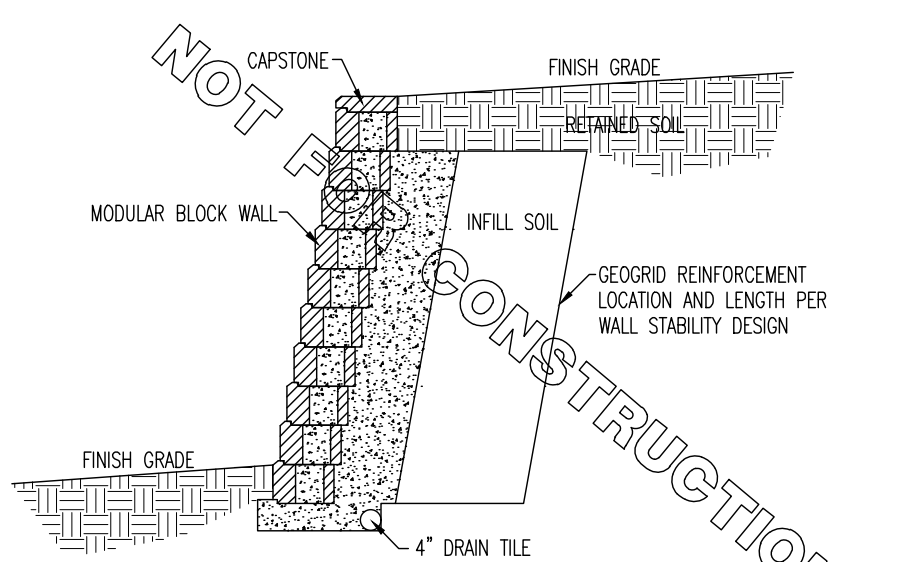
**DECIDUOUS TREE PLANTING DETAIL**

NOT TO SCALE



**DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL**

NOT TO SCALE



**TYPICAL MODULAR BLOCK WALL DETAIL**

NOT TO SCALE



**ELECTRIC CHARGING STATION SIGN DETAIL**

NOT TO SCALE



**MORGAN FIRST AID PARKING SIGN DETAIL**

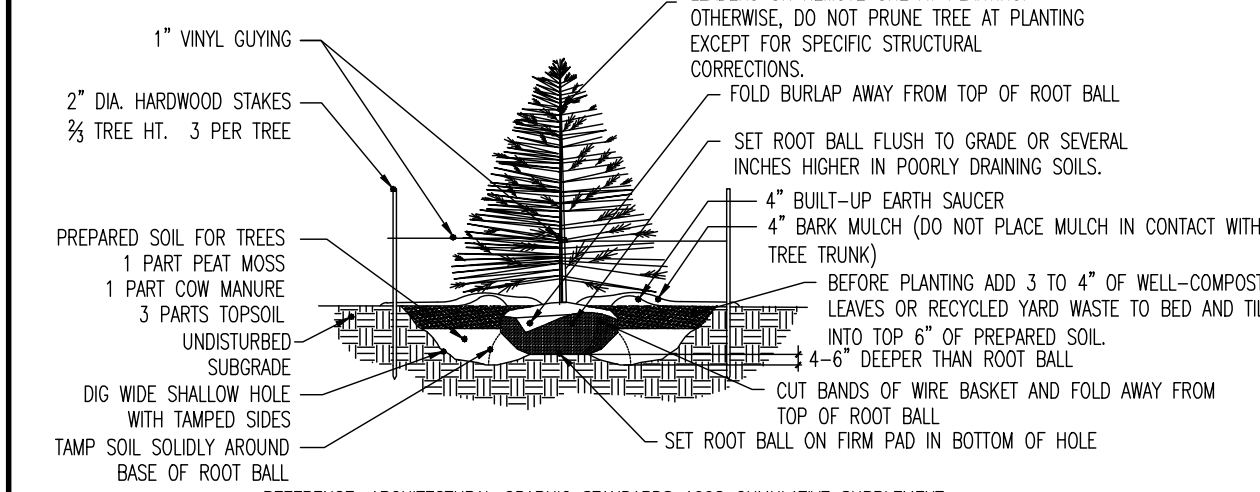
NOT TO SCALE



**FIRE LANE SIGN DETAIL**

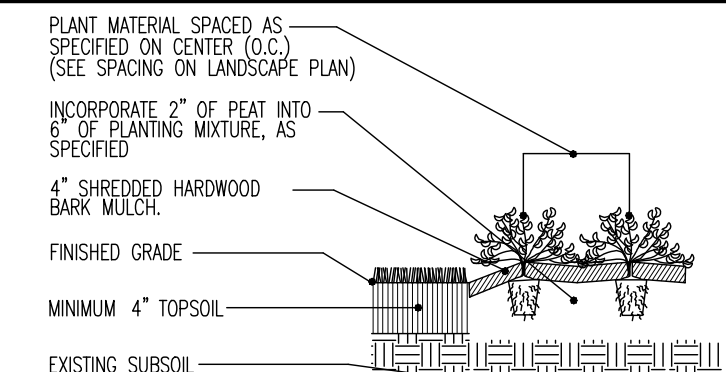
NOT TO SCALE

- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  - REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
  - PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
  - THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
  - THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



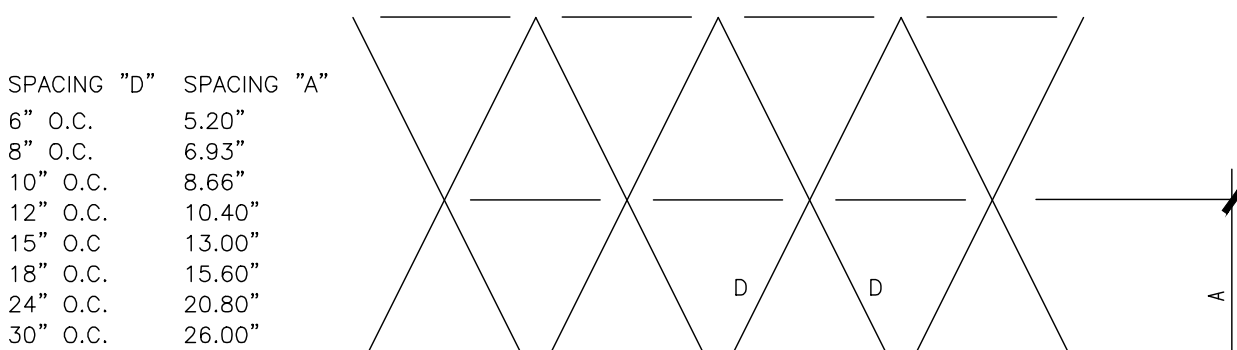
**EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE



**PERENNIAL/GROUND COVER PLANTING DETAIL**

NOT TO SCALE



**PERENNIAL GROUNDCOVER/SPACING DETAIL**

NOT TO SCALE

- NOTES:
- CONTRACTOR SHALL PROVIDE SIGNED AND SEALED DRAWINGS AND CALCULATIONS FOR RETAINING WALL DESIGN FOR REVIEW AND APPROVAL BY ENGINEER AND TOWNSHIP BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
  - WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

**TYPICAL MODULAR BLOCK WALL DETAIL**

NOT TO SCALE

- NOTE:
- TOTAL HEIGHT OF THE ELECTRIC VEHICLE CHARGING SPOT SIGN SHALL BE NO MORE THAN 7 FEET FROM GRADE.

- NOTE: SIGN MUST COMPLY WITH ALL LOCAL FIRE DEPT. REQUIREMENTS.

- NOTE: SIGN MUST COMPLY WITH ALL LOCAL FIRE DEPT. REQUIREMENTS.

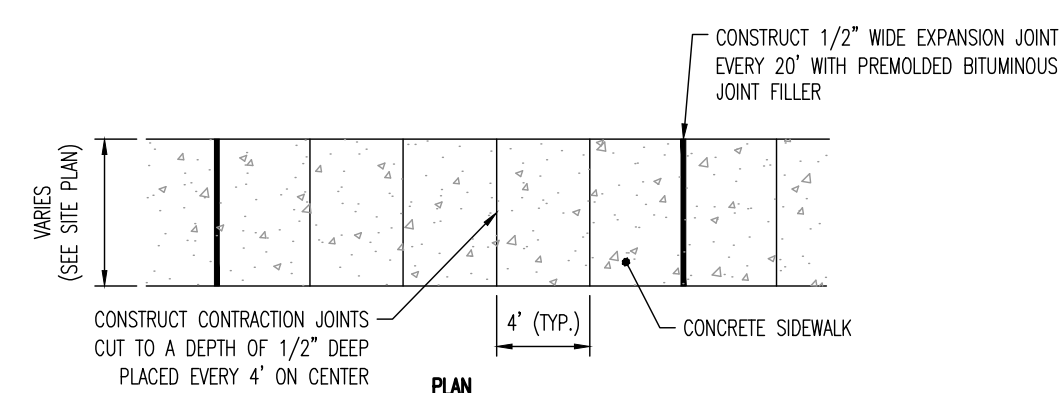
- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  - REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
  - PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
  - THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
  - THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

**EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE

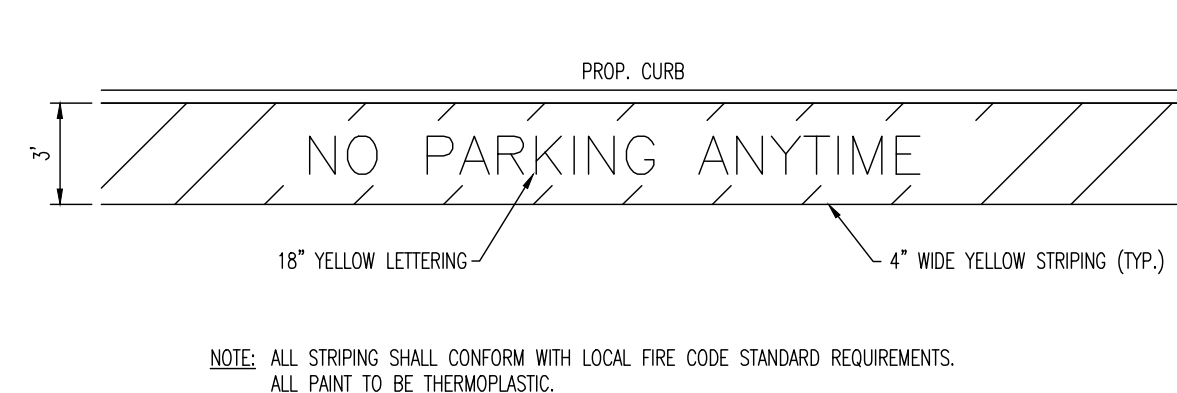
**PERENNIAL GROUNDCOVER/SPACING DETAIL**

NOT TO SCALE



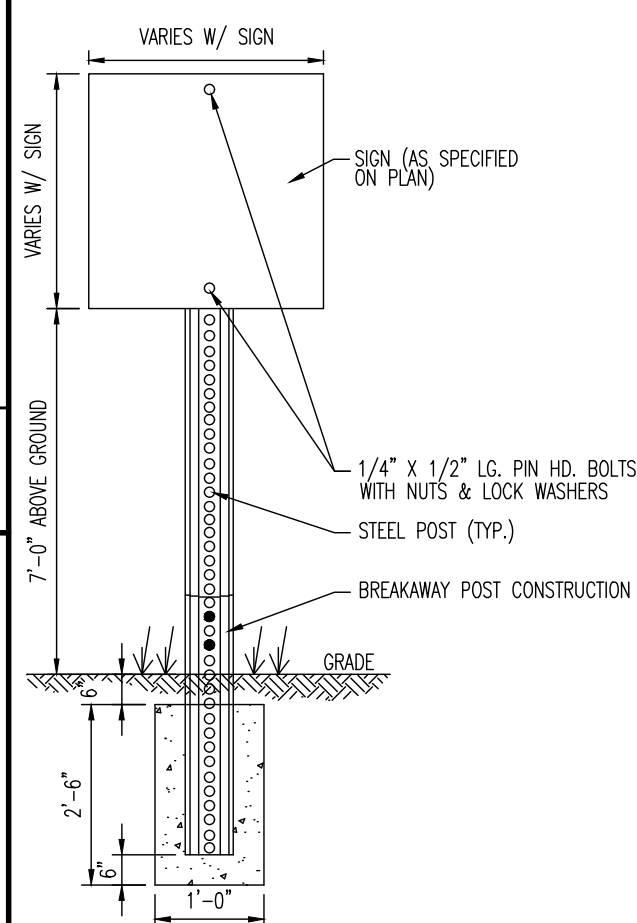
**PAINTED ELECTRIC VEHICLE CHARGE STATION PARKING SYMBOL DETAIL**

NOT TO SCALE



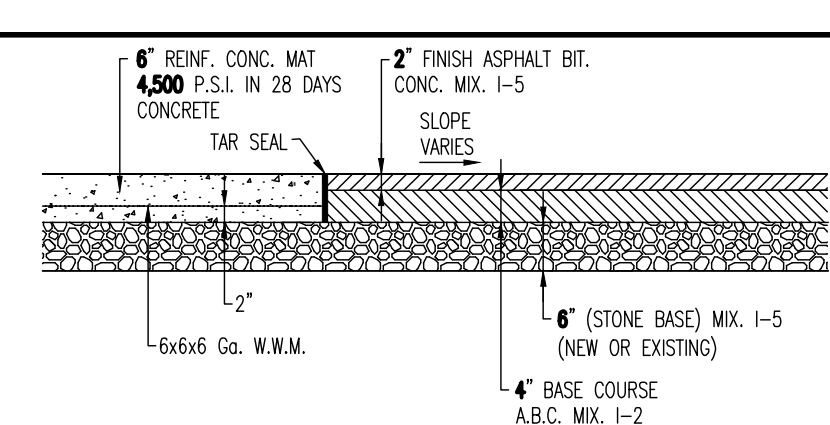
**FIRE ZONE STRIPING DETAIL**

NOT TO SCALE



**SIGN POST & FOOTING DETAIL**

NOT TO SCALE



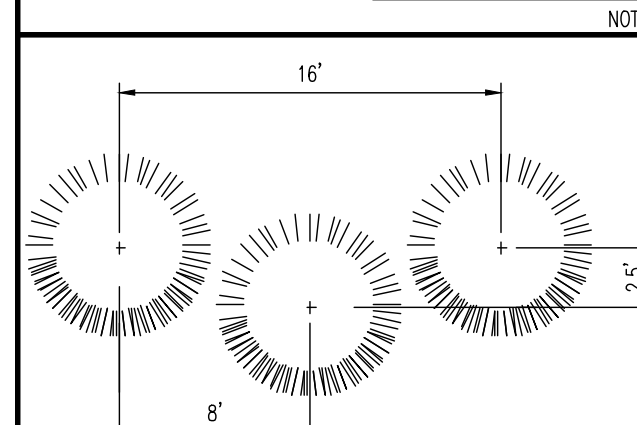
**CONCRETE & PAVING DETAIL**

NOT TO SCALE

- NOTE:
- MAX. CROSS SLOPE 1/4" PER FOOT PITCHED TOWARDS ROADWAY.
  - PROVIDE 1/2" WIDE PREMOULDED BITUMINOUS EXPANSION JOINT AT 20' INTERVALS.
  - REFER TO SITE PLAN FOR SIDEWALK WIDTH.
  - PROVIDE A BROOM FINISH TO PROVIDE A SLIP RESISTANT WEARING SURFACE IN ACCORDANCE WITH A.D.A. REGULATIONS. FINISH THE EDGES OF THE GROOVES USING AN EDGING TOOL WITH A 1/4" RADIUS.

**SIDEWALK DETAIL**

NOT TO SCALE



**EVERGREEN SCREENING SPACING DETAIL**

NOT TO SCALE

Product: 03/24/23 - 201 PM, By: krazimr, File: P:\VECCF PROJECTS\3041 mSite Property Group\99-008 Soyreville\DWG\Site Plans\3041-190008S05.dwg, ---> 13 CONSTRUCTION DETAILS

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PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC PROPOSED SELF-STORAGE FACILITY**  
BLOCK #25, LOT 2.01 & 2.02  
1960 & 1970 NUSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 3041-99-008  
DATE: 09/16/2022  
DRAWN BY: JCG  
SCALE: (H) NOT TO (V) SCALE  
DESIGNED BY: LJC/MDC  
SHEET No:  
CHECKED BY: TJM  
THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52179  
JOHN A. PALUS  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

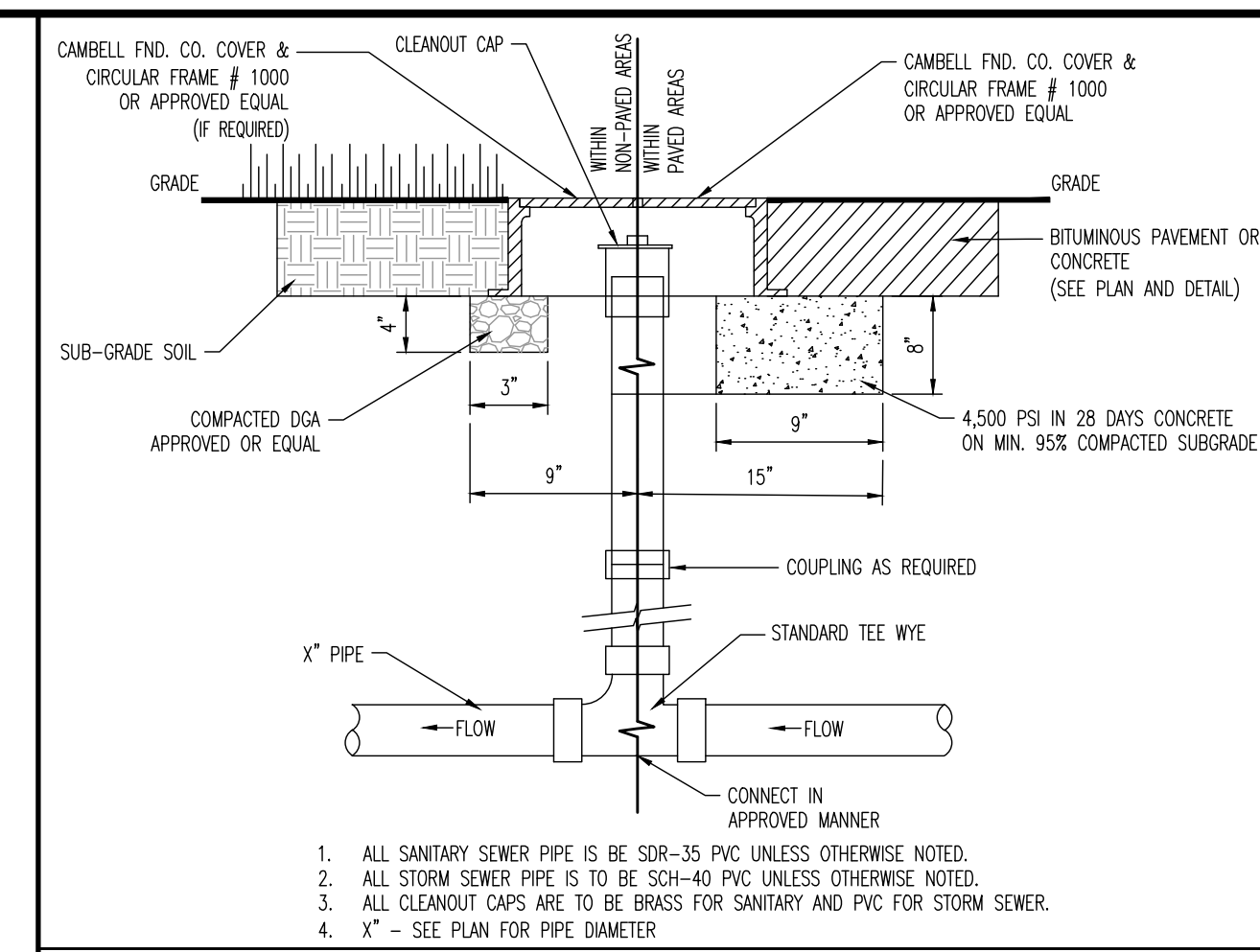
REVISIONS:

Rev.	Date	Comments
5	03/17/23	REV PER BOROUGH & NJDOT COMMENTS
4	12/29/22	REV PER BOROUGH COMMENTS
3	12/09/22	REV PER COUNTY COMMENTS
2	10/25/22	REV PER NJDOT SUBMISSION
1	10/17/22	REV PER BOROUGH COMMENTS

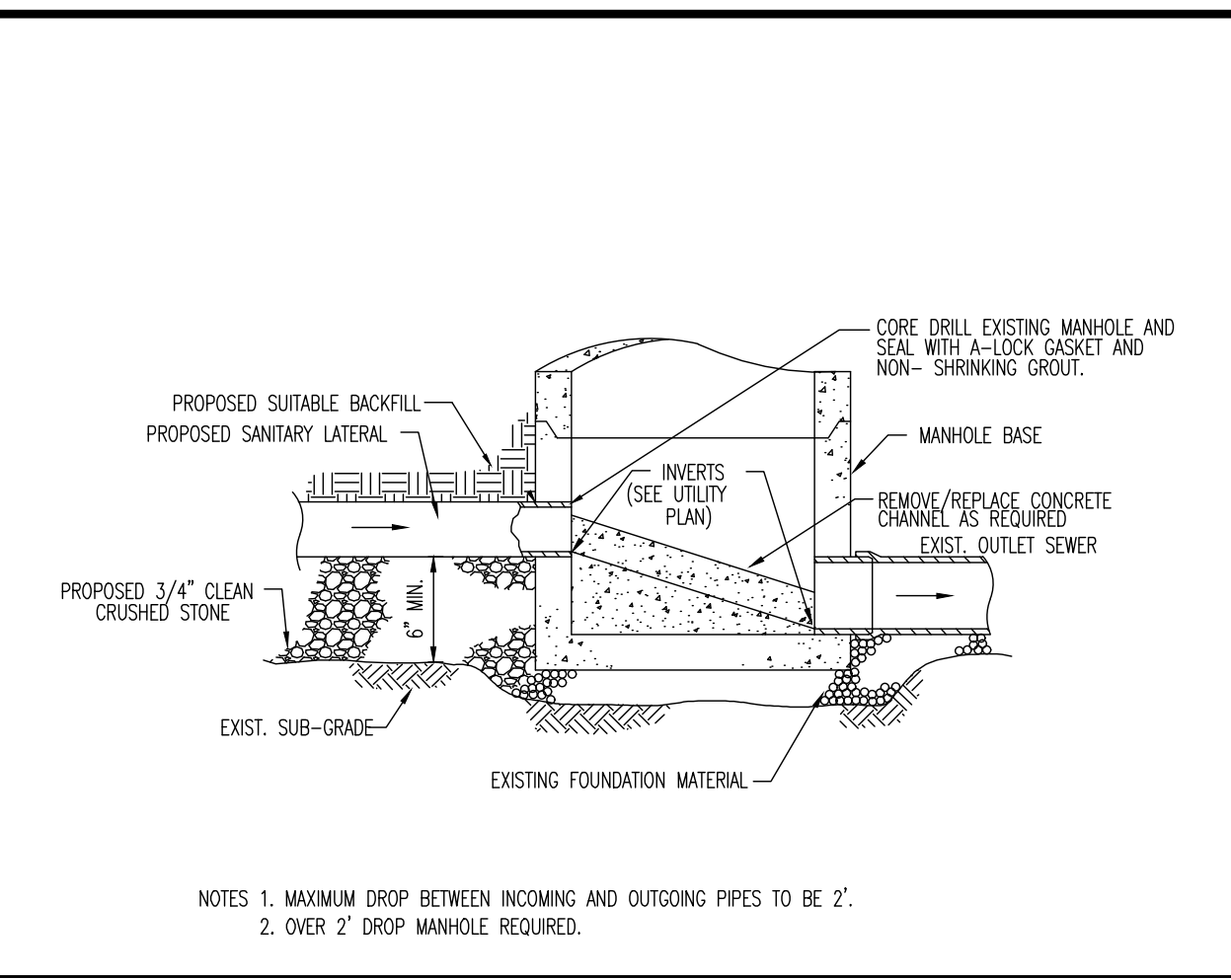
811 PROTECT YOURSELF  
ALL UTILITIES REQUIRE NOTIFICATION OF  
CONCRETE OPERATIONS. IF ANY UTILITY  
PREPARED TO ADDRESS THE SERVICE  
OFFICE NUMBER IS 811.  
FOR STATE-OPERATED DIRECT PHONE NUMBERS VISIT:  
WWW.CALL811.COM

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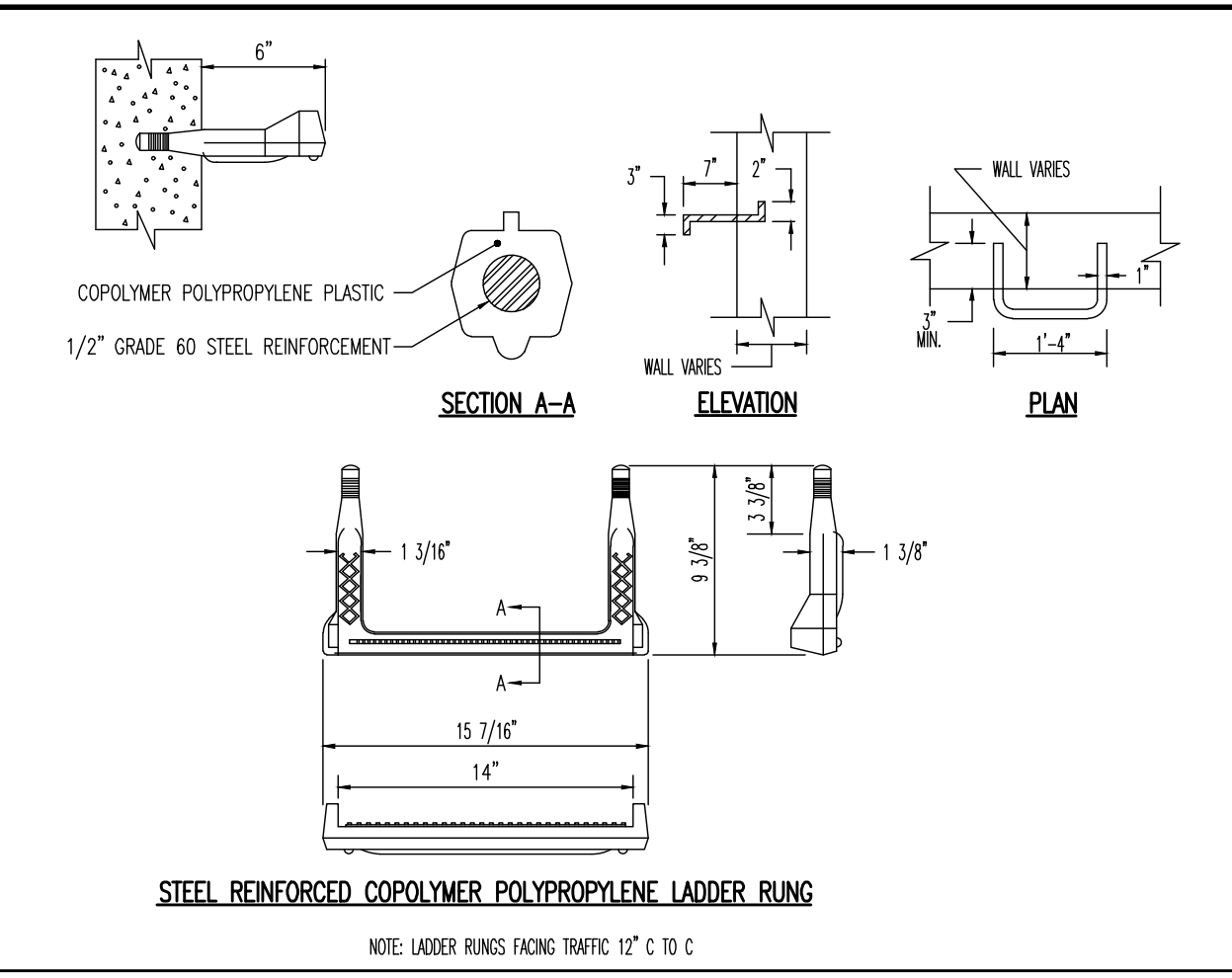
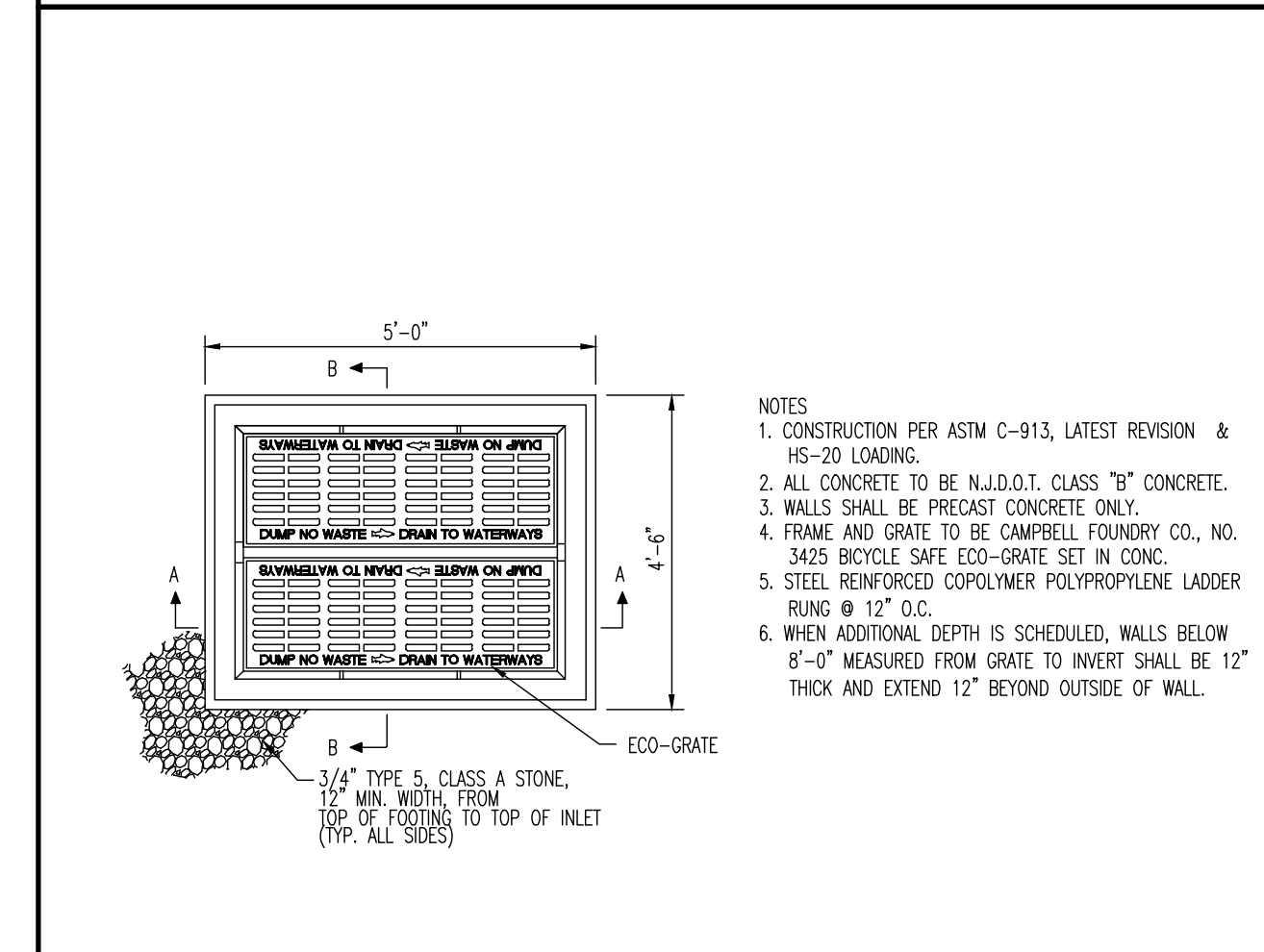
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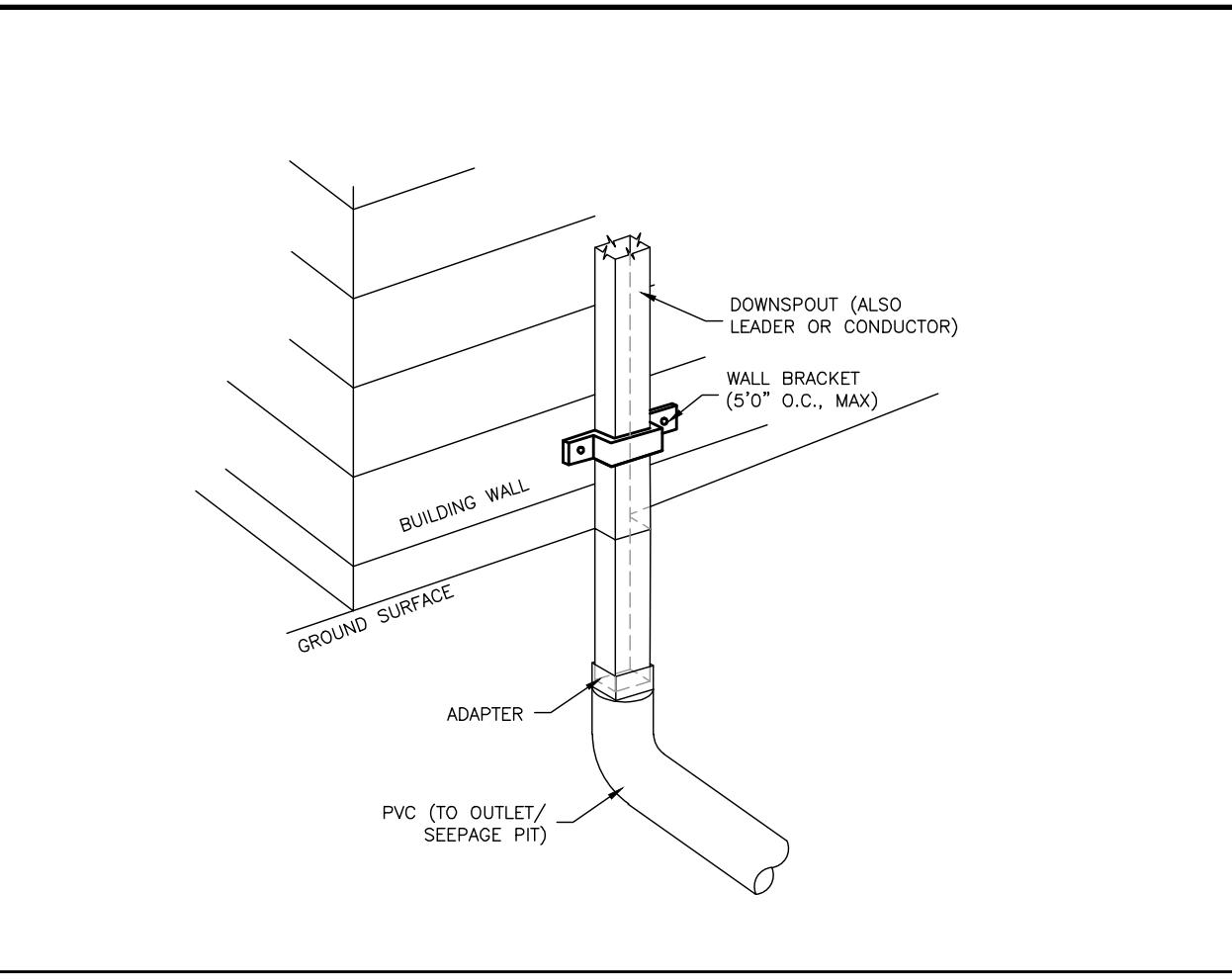
**CLEANOUT DETAIL**  
NOT TO SCALE



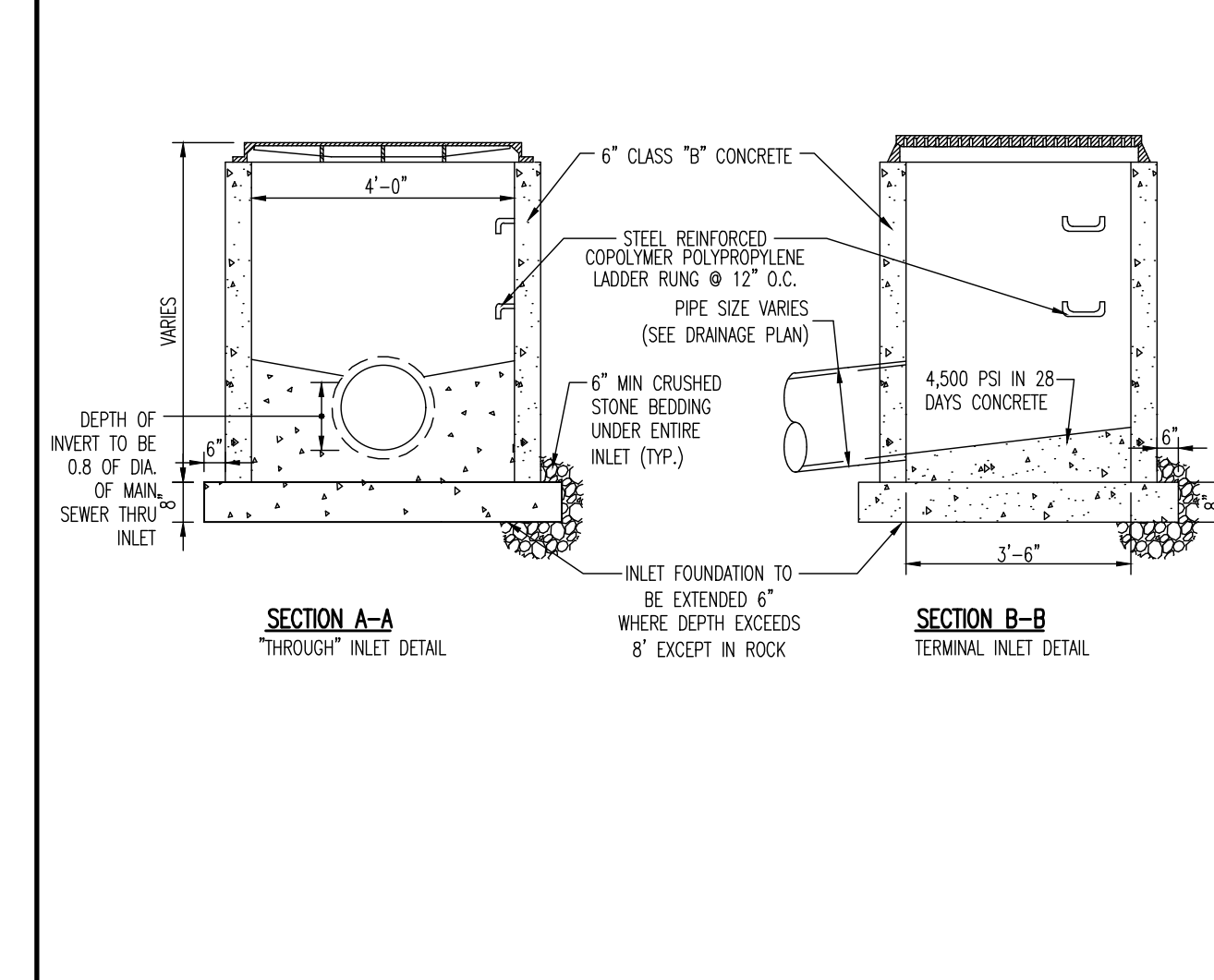
**SAN. LATERAL TO MH CONNECTION DETAIL**  
NOT TO SCALE



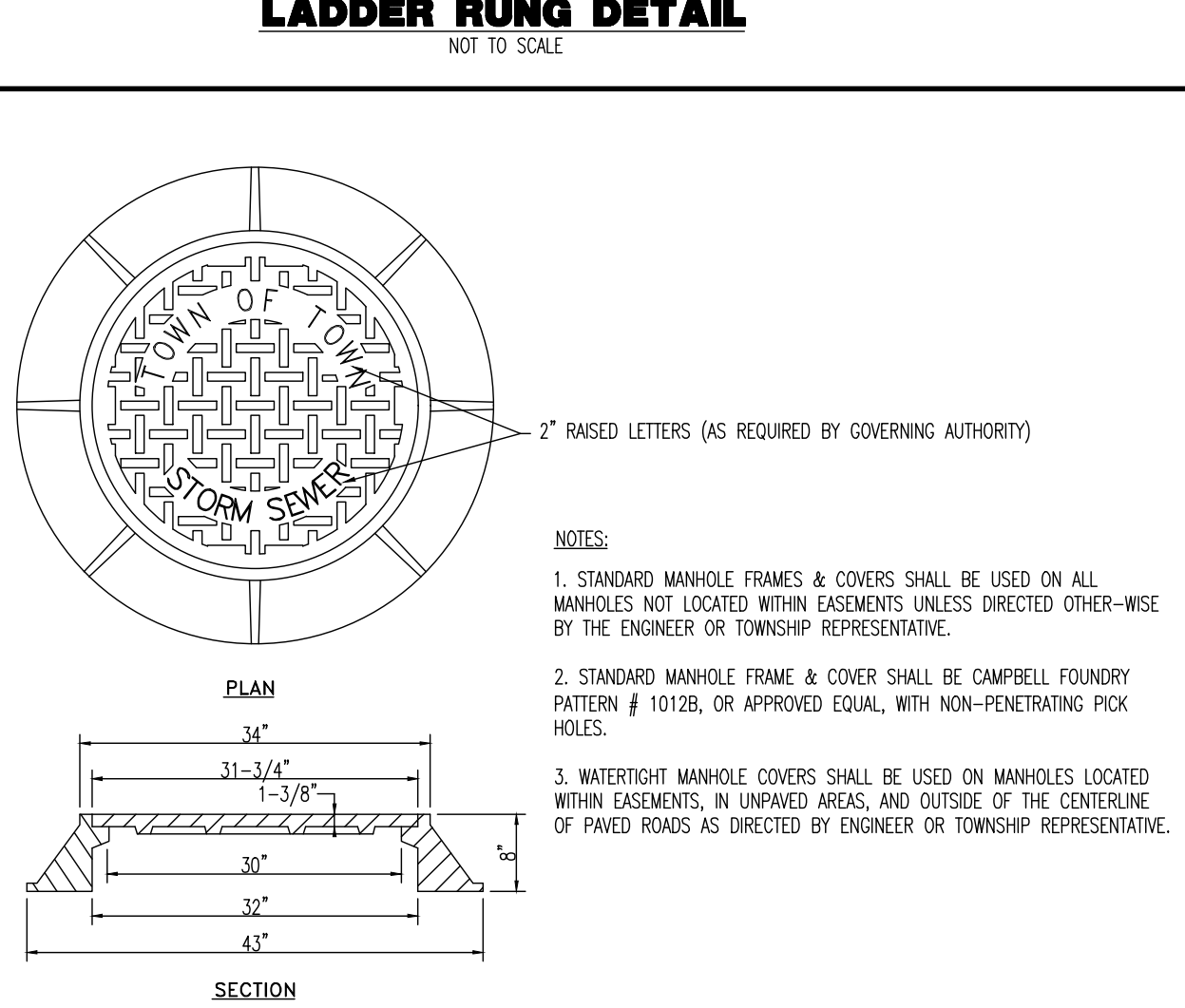
**LADDER RUNG DETAIL**  
NOT TO SCALE



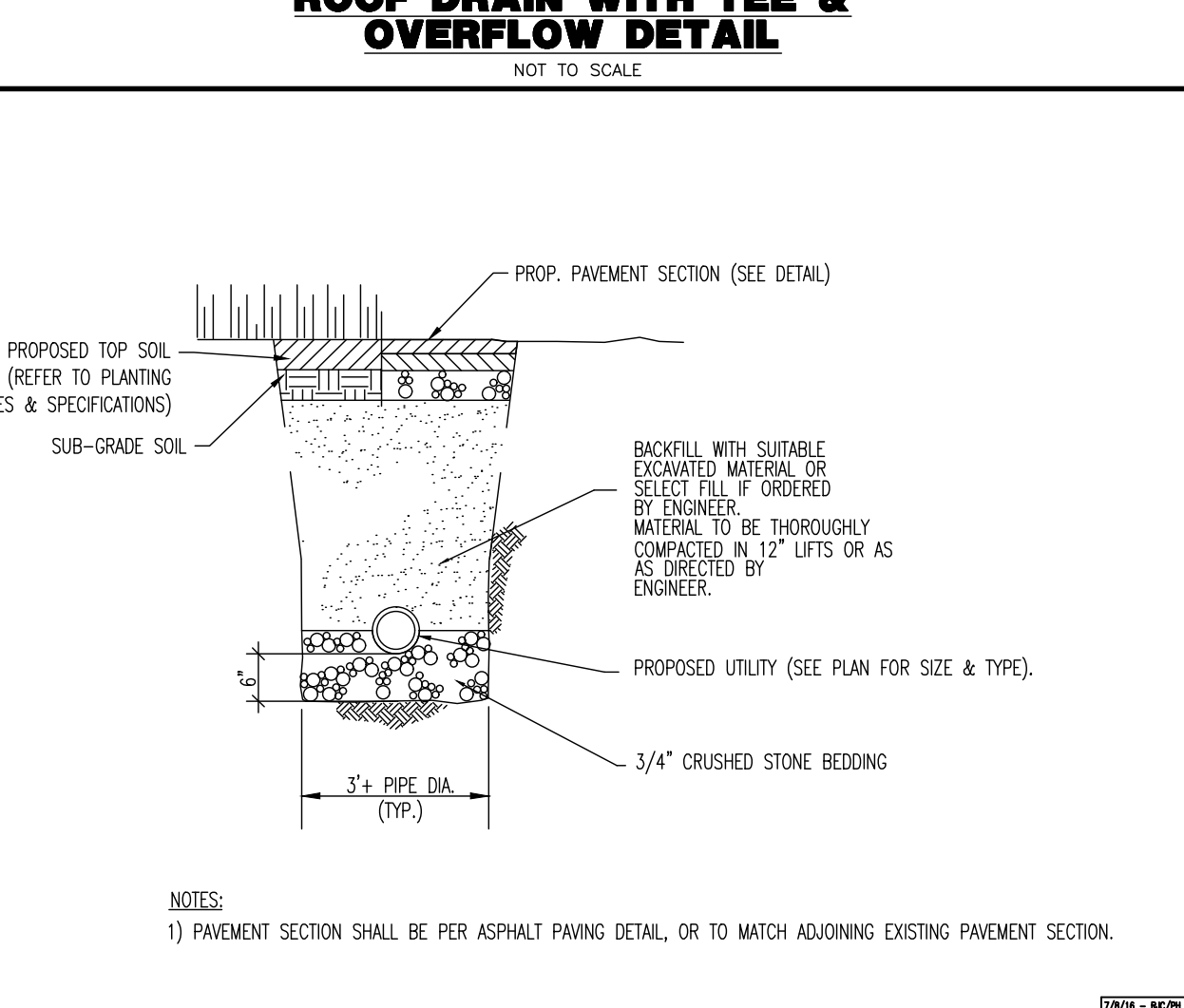
**ROOF DRAIN WITH TEE & OVERFLOW DETAIL**  
NOT TO SCALE



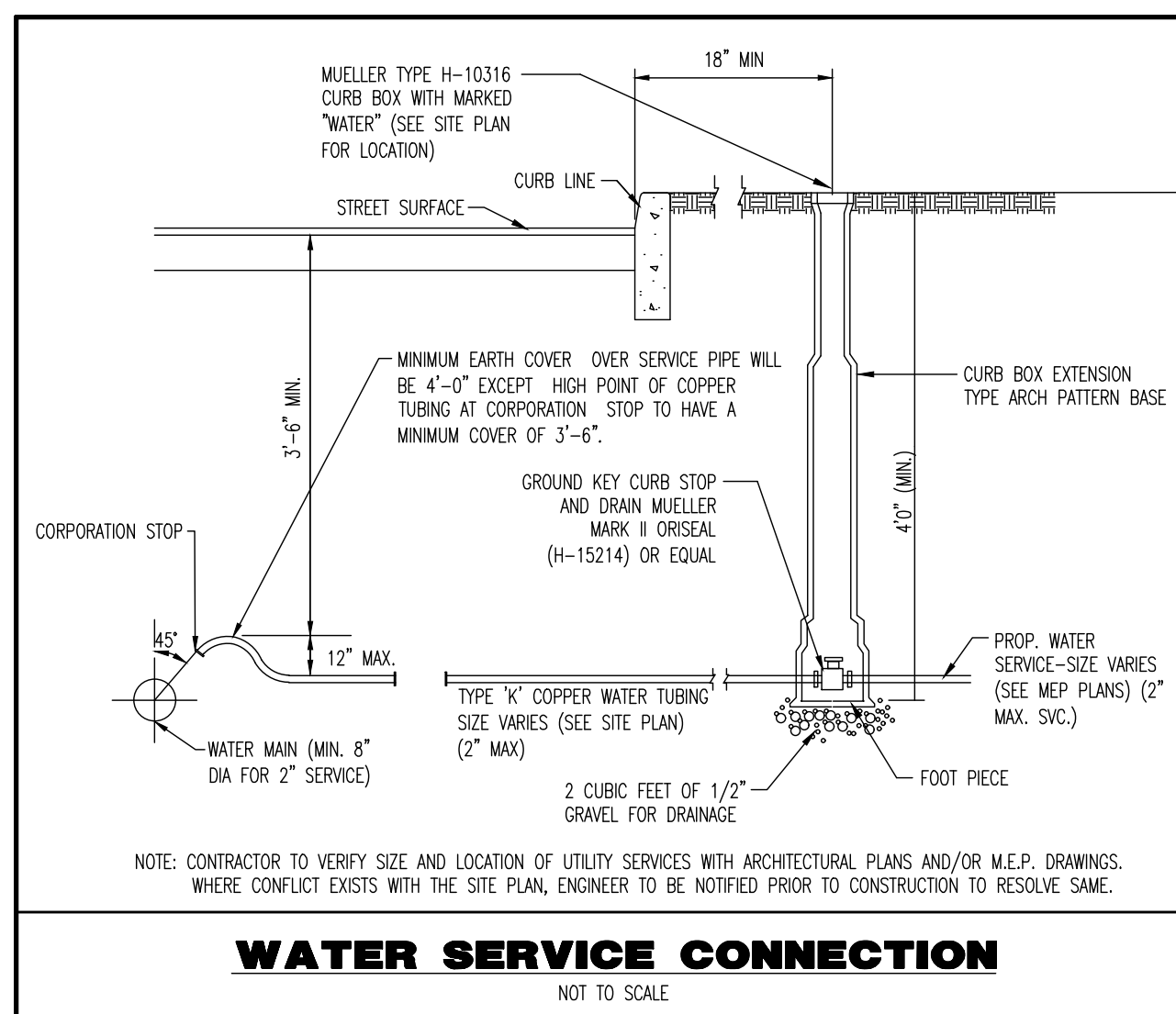
**TYPE 'E' INLET**  
NOT TO SCALE



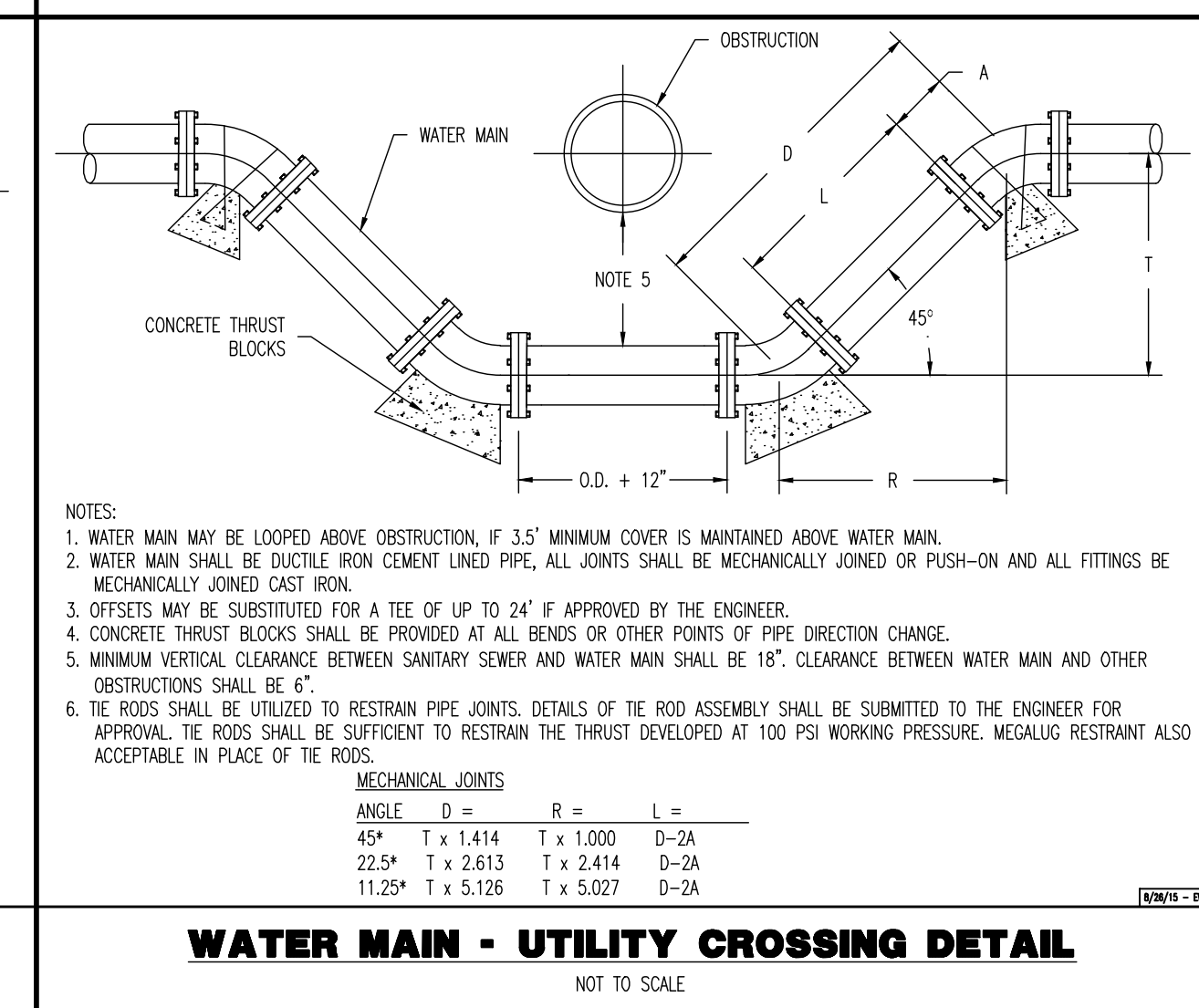
**STORM MANHOLE FRAME DETAIL**  
NOT TO SCALE



**UTILITY SERVICE TRENCH DETAIL**  
NOT TO SCALE



**WATER SERVICE CONNECTION**  
NOT TO SCALE



**WATER MAIN - UTILITY CROSSING DETAIL**  
NOT TO SCALE

Rev.	Date	Comments	By
1	10/17/22	REV. PER BOROUGH COMMENTS	CMC
2	10/25/22	REV. PER BOROUGH COMMENTS	CMC
3	12/29/22	REV. PER BOROUGH COMMENTS	CMC
4	12/29/22	REV. PER BOROUGH COMMENTS	CMC
5	03/17/23	REV. PER BOROUGH & A/DOT COMMENTS	MTD

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Allen, TX: 732.234.2100 | Austin, TX: 732.234.2100 | Houston, TX: 732.789.4400 | Selma Beach, NC: 732.974.0198  
Newtown, PA: 732.234.2100 | Philadelphia, PA: 732.234.2100 | Pittsburgh, PA: 732.234.2100

TITLE: **CONSTRUCTION DETAILS**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC  
PROPOSED SELF-STORAGE FACILITY**  
BLOCK 425, LOT 2.01 & 2.02  
1960 & 1970 NUSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 3041-99-008  
DATE: 09/16/2022  
DRAWN BY: JCG  
SCALE: (H) NOT TO SCALE  
DESIGNED BY: LPC/MDC  
SHEET No:  
CHECKED BY: TJM  
CHECKED BY:

**THOMAS J. MULLER**  
PROFESSIONAL ENGINEER  
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Rev. # 5

FACE LIT & HALO LIT CHANNEL LETTERS - LIGHT BLUE

Model	A	B	C	D	E	F	G	Sq. Ft.
SLL18P12	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	0'-5 5/8"	10'-0 1/2"	105
SLL18P18	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	0'-5 5/8"	12'-0 1/2"	135
SLL18P24	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	0'-5 5/8"	14'-0 1/2"	165
SLL18P30	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	0'-5 5/8"	16'-0 1/2"	195
SLL18P36	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	0'-5 5/8"	18'-0 1/2"	225
SLL18P42	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	0'-5 5/8"	20'-0 1/2"	255
SLL18P48	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	0'-5 5/8"	22'-0 1/2"	285
SLL18P54	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	0'-5 5/8"	24'-0 1/2"	315
SLL18P60	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	0'-5 5/8"	26'-0 1/2"	345

**SPECIFICATION**

- 5" FABRICATED .063" ALUMINUM LETTER RETURNS PRE-PAINTED WHITE
- TRIM CAP RETAINER - STANDARD WHITE
- 3/16" #7328 WHITE ACRYLIC FACE
- 2" METAL STAND-OFFS WITH 1/2" THRU-BOLTS NON-CORROSIVE GALVANIZED
- PERFORATED ALUMINUM BACK
- WHITE LED
- 1/2" WEEP HOLES (2) TWO PER LETTER WITH LIGHT BAFFLES
- GROUNDING WALL PASS-THRU SEALED WATER TIGHT
- LOW VOLTAGE ELECTRONIC POWER SUPPLY LOCATED IN INTERIOR WALL AREA INSIDE A PROTECTIVE CASE BOX
- VISIBLE DISCONNECT SWITCH

**COLOR SCHEDULE**

3M #9330-227 AZURE BLUE

**MOUNTING DETAILS**

01 SIGN TYPE 1 - WALL-MOUNTED ILLUMINATED CHANNEL LETTERS  
SCALE: N.T.S.

FACE LIT & HALO LIT CHANNEL LETTERS - LIGHT BLUE

Model	A	B	C	D	E	Sq. Ft.
SLL18P12	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	16
SLL18P18	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	24
SLL18P24	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	32
SLL18P30	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	40
SLL18P36	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	48
SLL18P42	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	56
SLL18P48	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	64
SLL18P54	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	72
SLL18P60	1'-0"	8'-0 1/2"	2'-5 5/8"	0'-5 5/8"	0'-5 5/8"	80

**SPECIFICATION**

- 5" FABRICATED .063" ALUMINUM LETTER RETURNS PRE-PAINTED WHITE PAINT INTERIOR WITH LIGHT ENHANCING PAINT
- TRIM CAP RETAINER - STANDARD WHITE
- 3/16" #7328 WHITE ACRYLIC FACE WITH APPLIED VINYL AS SHOWN
- 2" METAL STAND-OFFS WITH 1/2" THRU-BOLTS NON-CORROSIVE GALVANIZED
- FLAT CLEAR POLYCARBONATE LENS
- WHITE LED
- 1/2" WEEP HOLES (2) TWO PER LETTER WITH LIGHT BAFFLES
- GROUNDING WALL PASS-THRU SEALED WATER TIGHT
- LOW VOLTAGE ELECTRONIC POWER SUPPLY LOCATED IN INTERIOR WALL AREA INSIDE A PROTECTIVE CASE BOX
- VISIBLE DISCONNECT SWITCH

**COLOR SCHEDULE**

3M #9330-227 AZURE BLUE

**MOUNTING DETAILS**

02 SIGN TYPE 2 - WALL-MOUNTED ILLUMINATED CHANNEL LETTERS  
SCALE: N.T.S.

PROPOSED SIGNAGE SCHEDULE

#	TYPE	DESCRIPTION/ LOCATION	DIMENSIONS	COMMENTS
1	BUILDING SIGN - WALL-MOUNTED	"SECURE SPACE" LOGO SOUTH FACADE (FACING NUSH ROUTE 35)	• AREA: 231 SF • WIDTH: 38'-7" • HEIGHT: 6'-0"	• INTERNALLY ILLUMINATED • HEIGHT TO TOP OF SIGN ABOVE GRADE = 31'-0"
2	BUILDING SIGN - WALL-MOUNTED	"SELF STORAGE" EAST FACADE (FACING NUSH ROUTE 35)	• AREA: 97 SF • WIDTH: 15'-9 1/8" • HEIGHT: 6'-2 1/4"	• INTERNALLY ILLUMINATED • HEIGHT TO TOP OF SIGN ABOVE GRADE = 31'-0"
3	BUILDING SIGN - CANOPY-MOUNTED	"LEASING" SOUTH FACADE @ LEASING OFFICE ENTRANCE	• AREA: 3.6 SF • WIDTH: 3'-10 3/8" • HEIGHT: 11 1/2"	• INTERNALLY ILLUMINATED • HEIGHT TO TOP OF SIGN ABOVE GRADE = 13'-8"
4	BUILDING SIGN - CANOPY-MOUNTED	"LOADING" (1) NORTH FACADE (2) WEST FACADE @ LOADING ENTRANCES	• AREA: 5.0 SF • WIDTH: 5'-10 3/8" • HEIGHT: 11 1/2"	• INTERNALLY ILLUMINATED • 1 LOADING SIGN @ EACH LOADING ENTRANCE • HEIGHT TO TOP OF SIGN ABOVE GRADE = 13'-8"
5	FREESTANDING SIGN - TOWER PYLON	"SECURE SPACE" LOGO SOUTH FACADE (FACING NUSH ROUTE 35)	• AREA: 85 SF • WIDTH: 4'-0" • HEIGHT: 15'-10 7/8" (SIGN FACE) 16'-0" (INCLUDING BASE)	• INTERNALLY ILLUMINATED • AREA INCLUDES FRONT FACE AND SIDE FACE (OPPOSITE SIDES SAME)

CANOPY LEASING SIGN - ILLUMINATED SCALE 1"=1' 3/8 SQ/FT

**SPECIFICATIONS**

- NON-CORROSIVE 1/2" PITCH SCREW GALVANIZED
- 5" FABRICATED ALUMINUM LETTER RETURNS PRE-PAINTED WHITE
- TRIM CAP RETAINER - STANDARD WHITE
- 5" ALUMINUM BACK MOUNTED TO LED WEIGHT ALUMINUM PLATE ATTACHED BY NON-CORROSIVE 1/2" PITCH SCREW - GALVANIZED
- WHITE LED
- 1/2" #7328 ACRYLIC FACE
- LOW VOLTAGE ELECTRONIC POWER SUPPLY MOUNTED IN A 30" X 30" ALUM. RACKWAY SUPPORT / WIRING BOX (P.P. & 40 B.P.) PAINTED (MATCH SIGN COLOR)
- VISIBLE DISCONNECT SWITCH
- DETERMINED ELECTRICAL IN FIELD CONDUIT SEALED WATER TIGHT AT WALL PENETRATIONS

**COLOR SCHEDULE**

3M #9330-227 AZURE BLUE

**MOUNTING DETAILS**

03 SIGN TYPE 3 - CANOPY MOUNTED ILLUMINATED CHANNEL LETTERS  
SCALE: N.T.S.

CANOPY LOADING SIGN - ILLUMINATED SCALE 1"=1' 5/8 SQ/FT

**SPECIFICATIONS**

- NON-CORROSIVE 1/2" PITCH SCREW GALVANIZED
- 5" FABRICATED ALUMINUM LETTER RETURNS PRE-PAINTED WHITE
- TRIM CAP RETAINER - STANDARD WHITE
- 5" ALUMINUM BACK MOUNTED TO LED WEIGHT ALUMINUM PLATE ATTACHED BY NON-CORROSIVE 1/2" PITCH SCREW - GALVANIZED
- WHITE LED
- 1/2" #7328 ACRYLIC FACE
- LOW VOLTAGE ELECTRONIC POWER SUPPLY MOUNTED IN A 30" X 30" ALUM. RACKWAY SUPPORT / WIRING BOX (P.P. & 40 B.P.) PAINTED (MATCH SIGN COLOR)
- VISIBLE DISCONNECT SWITCH
- DETERMINED ELECTRICAL IN FIELD CONDUIT SEALED WATER TIGHT AT WALL PENETRATIONS

**COLOR SCHEDULE**

3M #9330-227 AZURE BLUE

**MOUNTING DETAILS**

04 SIGN TYPE 3 - CANOPY MOUNTED ILLUMINATED CHANNEL LETTERS  
SCALE: N.T.S.

**MOUNTABLE CONCRETE/WHITE CONCRETE ISLAND**  
NOT TO SCALE

JOINT SEALER AND 1/2" PREFORMED EXPANSION JOINT FILLER (TYP.)

SLOPING CURB

VARIABLE

LAYER OF #45 SMOOTH ROLL ROOFING

4,500 PSI IN 28 DAYS CONCRETE

(FOR USE WITH NUDOT ROW ONLY)

**12"x13" CONCRETE SLOPING CURB DETAIL**  
NOT TO SCALE

R=3/4"

12"

1/2" PREFORMED BITUMINOUS JOINT FILLER DEPTH OF FILLER STRIP EQUALS PAVEMENT THICKNESS LESS 1/2". TO BE INSTALLED BETWEEN CURB AND CONCRETE PAVEMENT OR CONCRETE BASE COURSE

JOINT SEALER

PAVEMENT SURFACE

(FOR USE WITHIN DOT ROW ONLY)

**WEIR WALL SECTION A-A**

2.5" WEIR INV. 61.00

6" ORIFICE INV. 58.50

2.75" ORIFICE INV. 56.45

15" ORIFICE INV. 55.00

15" HDPE CONNECTION TO R-TANK BASIN

PROP. 15" HDPE TO INLET INV. 55.00

**OUTLET STRUCTURE DETAIL**  
NOT TO SCALE

PROP. MANHOLE FRAME AND COVER (CAMPELL PATTERN # 1111 OR EQUAL)

RIM 63.57 GRADE

PROP. GRADE

8" REIN. CONC. LID TO SUPPORT H=20 VEHICULAR LOADING

BASIN BACKFILL

SPARING (TYP.)

8" SOLID CONCRETE BLOCK WALLS (TYP.) OR PRECAST

2.5" WEIR INV. 61.00

6" ORIFICE INV. 58.50

2.75" ORIFICE INV. 56.45

STEEL REINFORCED COPOLYMER POLYPROPYLENE LADDER RUNG Ø 12" O.C.

PROP. 15" HDPE TO INLET INV. 55.00

6"-3/4" CLEAN STONE

APPROVED SUBGRADE

8" REIN. CONC. FOOTING (4# @ 12" O.C. E.A.R.)

PEAK WATER SURFACE ELEVATIONS

WATER QUALITY	56.54
2 YR STORM	58.17
10 YR STORM	59.31
100 YR STORM	61.36

TOWER PYLON SIGN  
see scaled comparisons

**SPECIFICATIONS**

- INTERNAL STEEL STRUCTURE
- THRU CENTER POLE
- ROUNDED ALUMINUM FACE PAINTED SW 7067 CITYSCAPE GREY
- SIDES TO BE 3/16" WHITE LEAN WITH APPLIED REVERSE CUT VINYL
- REINFORCED FOR 50 LB. SQUARE ANGLE MOUNTED BEHIND FACES, PAINTED SW 7067 CITYSCAPE
- WHITE LED

**SECTION (FROM TOP)**

**COLOR SCHEDULE**

3M #9330-137 EUROPEAN BLUE

SW 7067 Cityscape

**DAY VIEW**

**NIGHT VIEW**

Model	A	B	C	D	E	Label	Label	Sq. Ft.
TWP16	2'-0"	0'-7 7/8"	2'-11 1/2"	0'-0 1/2"	2'-4 1/8"	2'-3 1/2"	0'-7 7/8"	16
TWP24	2'-0"	0'-7 7/8"	2'-11 1/2"	0'-0 1/2"	2'-4 1/8"	2'-3 1/2"	0'-7 7/8"	24
TWP30	2'-0"	0'-7 7/8"	2'-11 1/2"	0'-0 1/2"	2'-4 1/8"	2'-3 1/2"	0'-7 7/8"	30
TWP36	2'-0"	0'-7 7/8"	2'-11 1/2"	0'-0 1/2"	2'-4 1/8"	2'-3 1/2"	0'-7 7/8"	36
TWP42	2'-0"	0'-7 7/8"	2'-11 1/2"	0'-0 1/2"	2'-4 1/8"	2'-3 1/2"	0'-7 7/8"	42
TWP48	2'-0"	0'-7 7/8"	2'-11 1/2"	0'-0 1/2"	2'-4 1/8"	2'-3 1/2"	0'-7 7/8"	48
TWP54	2'-0"	0'-7 7/8"	2'-11 1/2"	0'-0 1/2"	2'-4 1/8"	2'-3 1/2"	0'-7 7/8"	54
TWP60	2'-0"	0'-7 7/8"	2'-11 1/2"	0'-0 1/2"	2'-4 1/8"	2'-3 1/2"	0'-7 7/8"	60

05 SIGN TYPE 5 - ILLUMINATED FREESTANDING TOWER PYLON  
SCALE: N.T.S.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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1964 Main Street  
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T: 732.974.0198  
F: 732.974.3521  
www.dynamicco.com

**CONSTRUCTION DETAILS**

PROJECT: INSITE DEVELOPMENT PARTNERS, LLC PROPOSED SELF-STORAGE FACILITY  
BLOCK 425, LOT 2.01 & 2.02  
1960 & 1970 NUSH ROUTE 35  
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

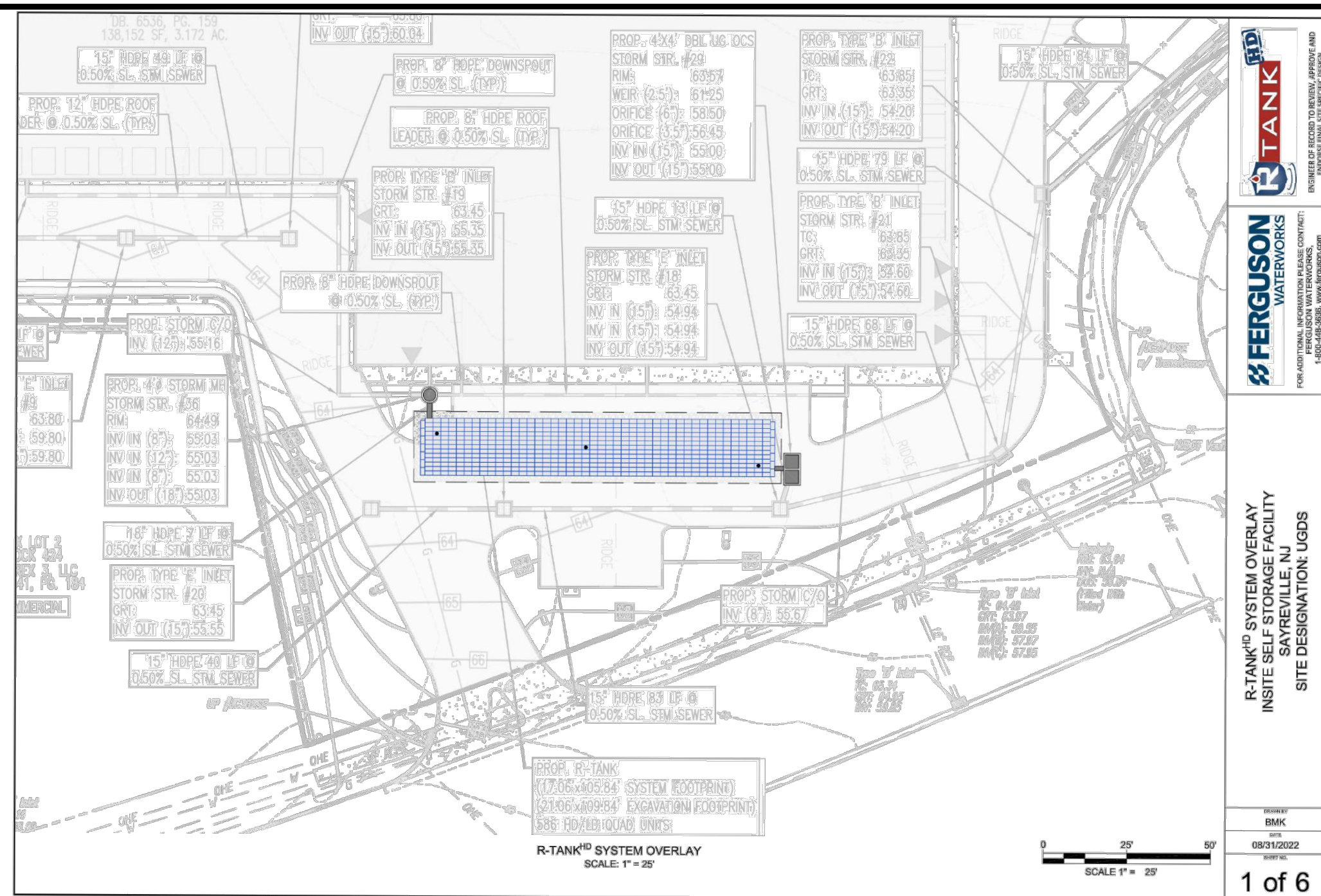
JOB No: 3041-99-008  
DATE: 09/16/2022  
DRAWN BY: JCG  
SCALE: (H) NOT TO (V) SCALE  
DESIGNED BY: LPC/MDC  
SHEET No:  
CHECKED BY: TJM  
THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

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ALL UTILITIES REQUIRE METHOD OF TRENCH PROTECTION OR ANY OTHER PREPARING TO EXPOSE THE UTILITIES.  
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

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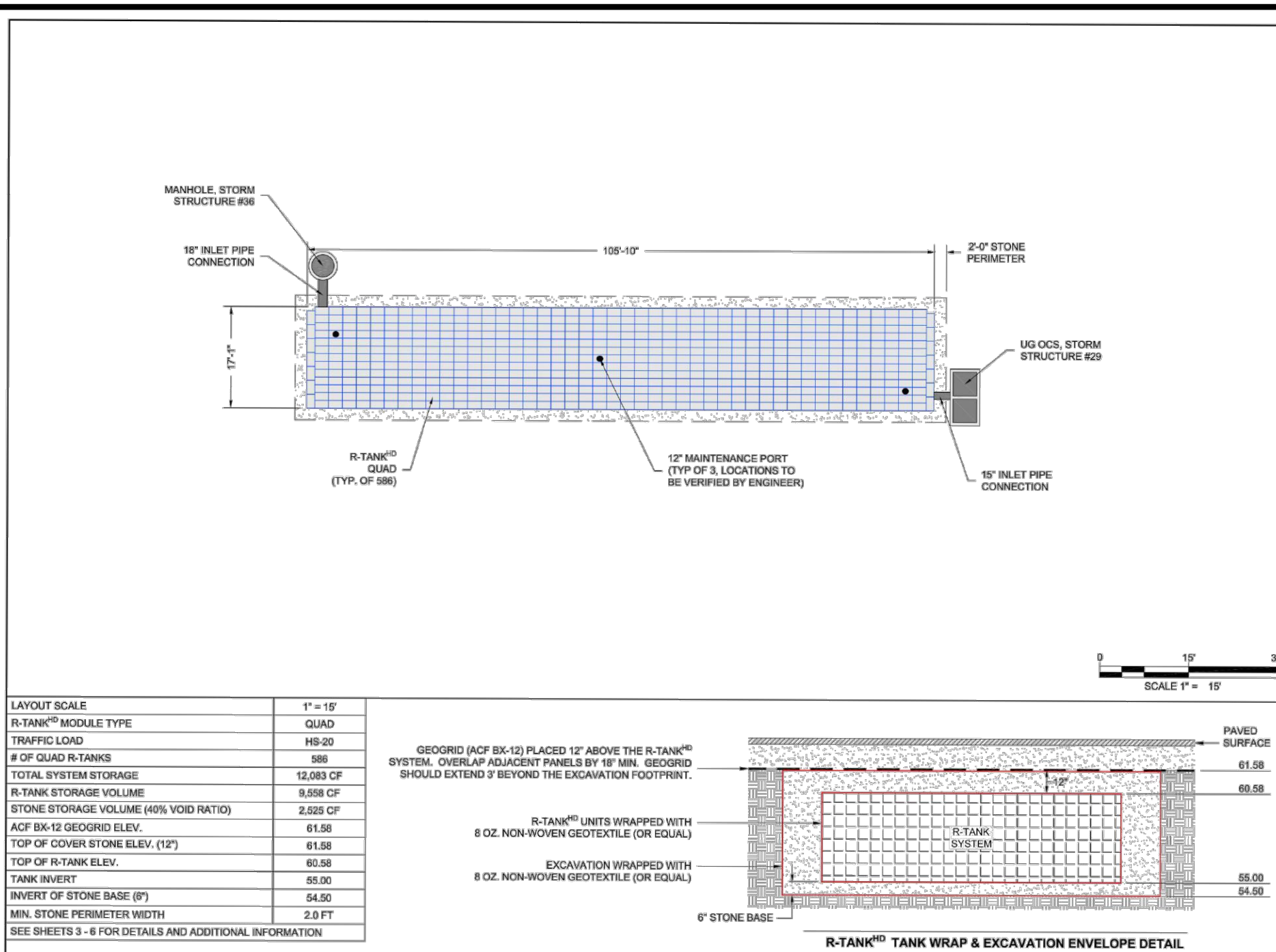
Product: 03/24/23 - 24.2a (LMS Tech)  
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**R-TANK SYSTEM OVERLAY**  
INSITE SELF-STORAGE FACILITY  
SITE DESIGNATION UGDS

DATE: 09/10/2022  
SCALE: 1" = 20'

1 of 6



**LAYOUT SCALE**

1" = 10'
----------

**R-TANK MODULE TYPE**

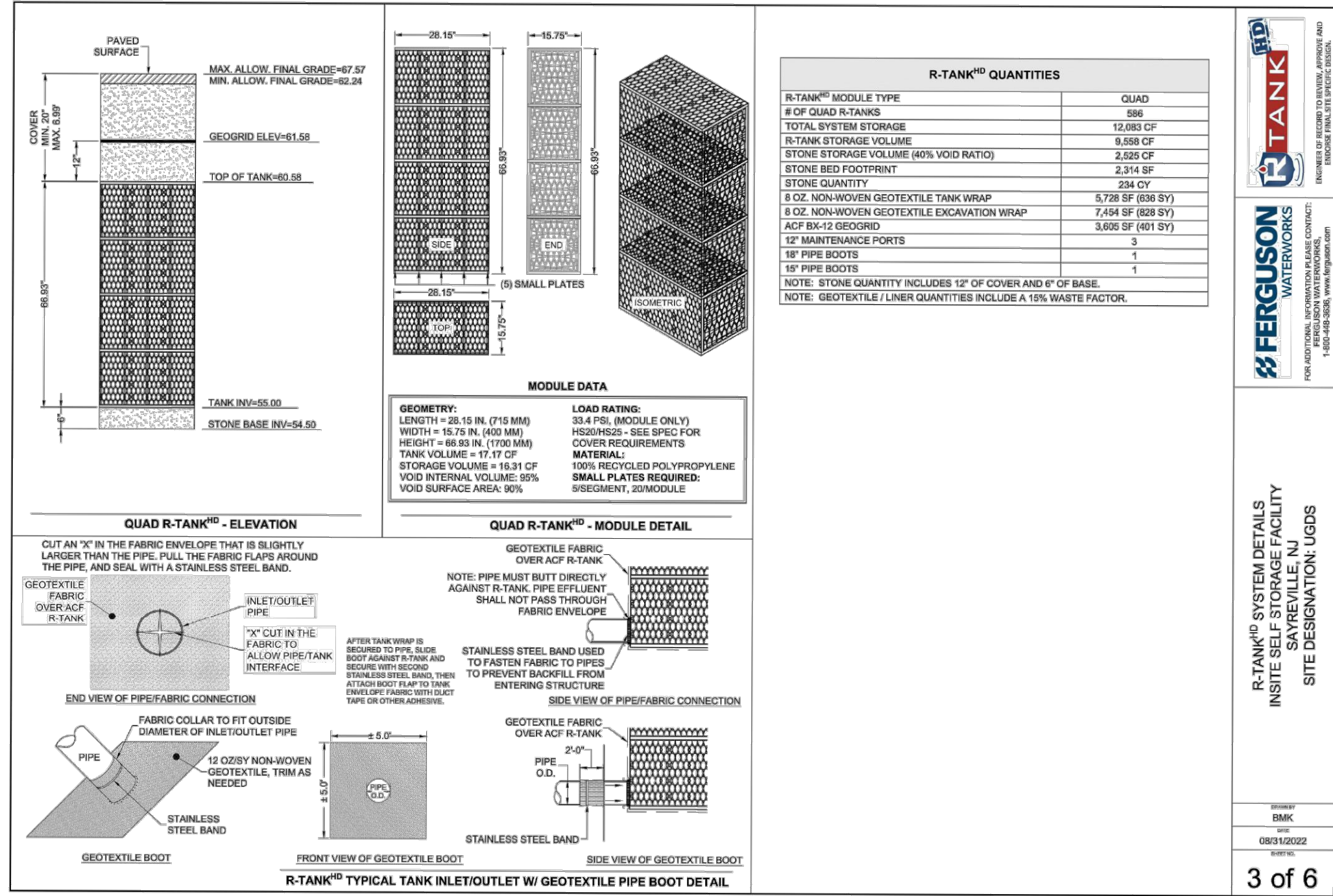
QUAD	
TRAFFIC LOAD	HS-20
# OF QUAD R-TANKS	988
TOTAL SYSTEM STORAGE	12,883 CF
R-TANK STORAGE VOLUME	8,938 CF
STONE STORAGE VOLUME (40% VOID RATIO)	2,558 CF
ACF 88-12 GEOTEXTILE	61.58
ACF 88-12 GEOTEXTILE (1/2")	61.58
TOP OF COVER STONE ELEV.	65.58
TANK INVERT	55.00
FRONT OF STONE BACK (1/2")	64.92
MIN. STONE PERMITS WIDTH	2.0 FT

**SEE SHEETS 3-6 FOR DETAILS AND ADDITIONAL INFORMATION**

**R-TANK SYSTEM LAYOUT**  
INSITE SELF-STORAGE FACILITY  
SITE DESIGNATION UGDS

DATE: 09/10/2022  
SCALE: 1" = 10'

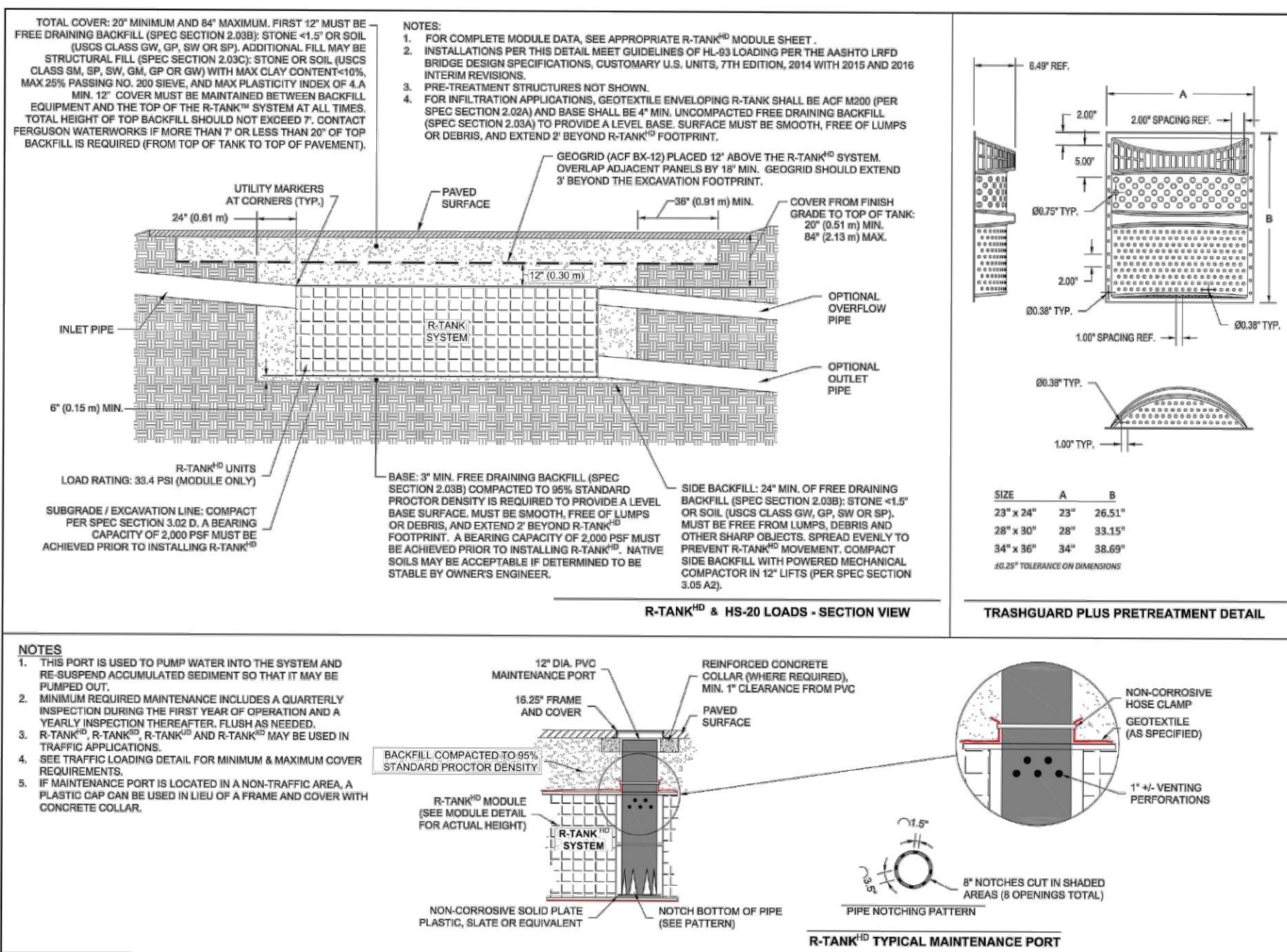
2 of 6



**R-TANK SYSTEM DETAILS**  
INSITE SELF-STORAGE FACILITY  
SITE DESIGNATION UGDS

DATE: 09/10/2022  
SCALE: 1" = 10'

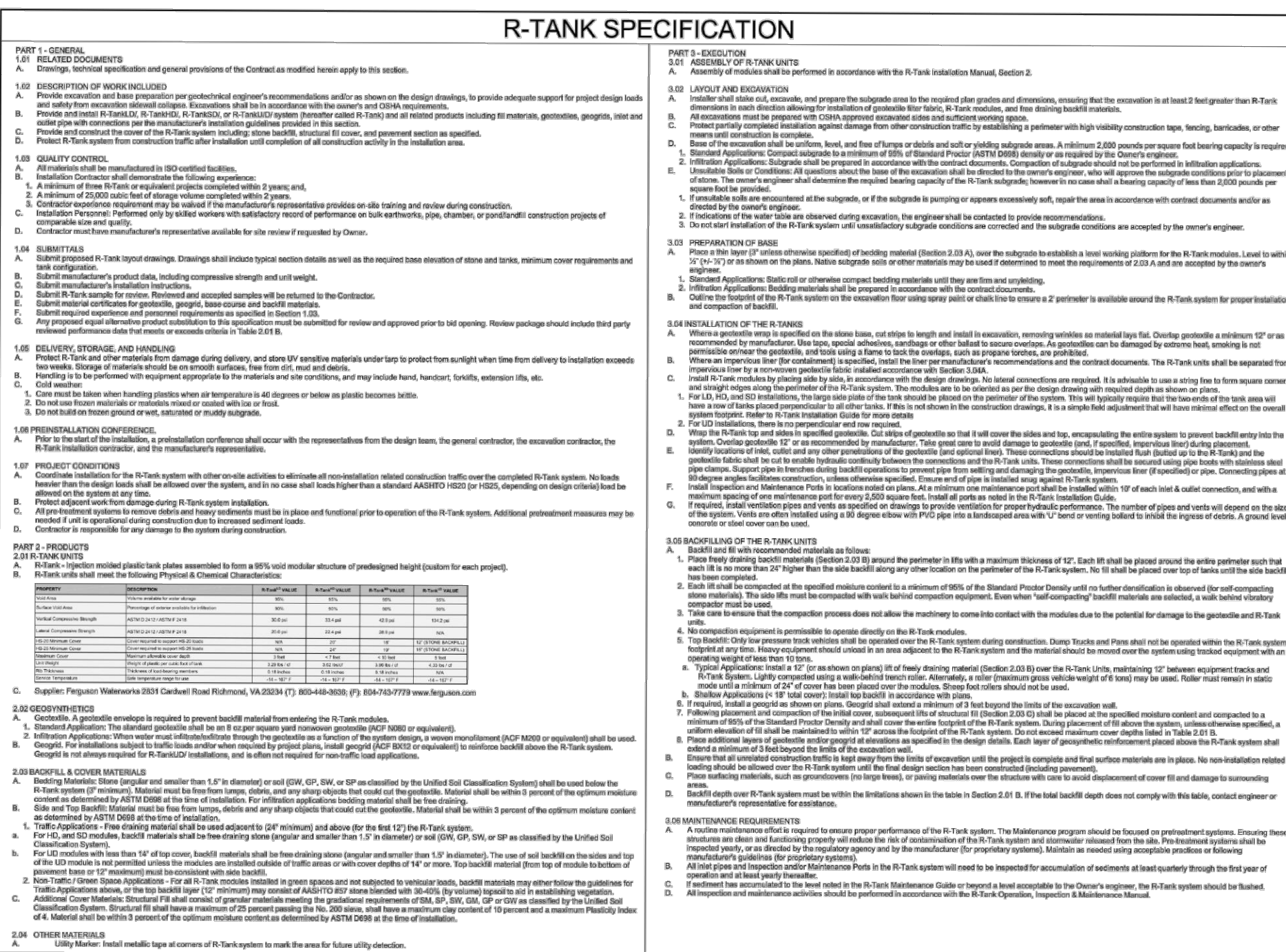
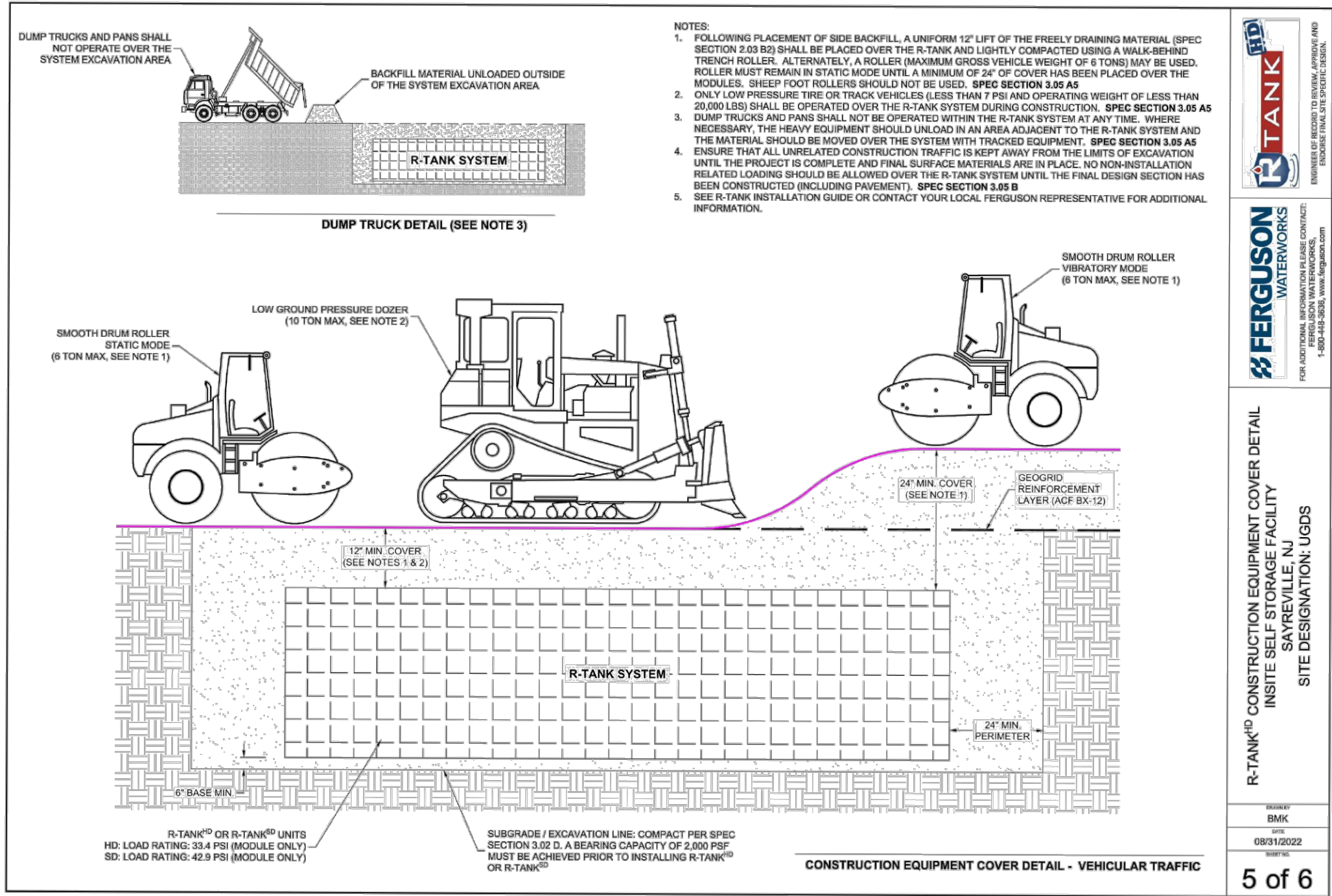
3 of 6



**R-TANK SYSTEM DETAILS**  
INSITE SELF-STORAGE FACILITY  
SITE DESIGNATION UGDS

DATE: 09/10/2022  
SCALE: 1" = 10'

4 of 6



**R-TANK SPECIFICATION**  
INSITE SELF-STORAGE FACILITY  
SITE DESIGNATION UGDS

DATE: 09/10/2022  
SCALE: 1" = 10'

6 of 6

**R-TANK SYSTEM NOTES**

- IN ACCORDANCE WITH BMP MANUAL REQUIREMENTS, POST-CONSTRUCTION TESTING MUST BE PERFORMED ON THE AS-BUILT SUBGRADE AT THE BOTTOM OF THE INFILTRATION BASIN IN ACCORDANCE WITH THE CONSTRUCTION AND POST-CONSTRUCTION OVERSIGHT AND SOIL PERMEABILITY TESTING SECTION 4 OF CHAPTER 12 OF THE BMP MANUAL WHERE AS-BUILT TESTING SHOWS A LONGER DRAIN TIME THAN DESIGN, CORRECTIVE ACTION MUST BE TAKEN.
- DESIGN DRAIN TIME 103.8 MINUTES (1.73 HOURS).

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**CONSTRUCTION DETAILS**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC**  
**PROPOSED SELF-STORAGE FACILITY**  
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THOMAS J. MULLER  
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Rev. # 5



**ALPHATECH™ X Linear LED Lighting**  
Specification Sheet

**ALPHATECH™ X 250/400**  
Linear LED Lighting

Full Diffusion, precision light quality, and physical durability for every application. Buy American Act compliant and made in the USA.

**FEATURES**

- Tight binning for objectively superior CRI, CQS, and fidelity
- Seamless end-to-end mounting for seamless linear runs
- Top-hatting and side-hatting options with multiple output levels
- UV stabilizable for outdoor use
- IP68 for submersible applications
- UL875 listed for pools, spas, saunas and steam rooms
- 100% component approved
- 5-year warranty

**ORDERING CODES**  
Features built to order

Diode LED	Voltage	Model	Length	Mounting	Output
28V	58-67-550 (50W Beam)	ALPHATECH™ X 250/400	15'-0" (4.57m)	Surface Mount	3700K
	15'-0" (4.57m)			Surface Mount	3000K
	15'-0" (4.57m)			Surface Mount	5000K

**24V-SE-ATX-250**    **24V-TE-ATX-400**    **COLOR VECTOR GRAPHIC**    **BEND OPTIONS**

Top Bend  
Side Bend

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**PRIORITY LIGHTING**

JOB NAME: Secure Space College Point  
CATALOG # Project Specific - Confirm With Site Engineer  
TYPE: Wallpack  
V7/V1

**ELECTRICAL**

- 120/277 Volt (LV)
- 0-10V dimming driver by Philips Advance
- LED maximum load is 15A
- All internal wiring UL certified for 600 VAC and 100°C
- All drivers, controls, and sensors housed in enclosed IP-65 compartment
- Luminaire Lumen MX LEDs
- CRI > 90
- Temperature: 3000K, 4000K, 5000K

**OPTIONS**

- MAJOR GRADE FINISH (MGP)** - A multi-step process creating protective finish against harsh environments
- Chemically resistant enamel finish
- Engineered for optimum thermal management
- Low-impedance cable
- IP68 for submersible applications
- UL875 listed for pools, spas, saunas and steam rooms
- 100% component approved
- 5-year warranty

**EMERGENCY BATTERY AND 7-PIN EXTENSION BOX DIMENSIONS**

**EMERGENCY BATTERY BACKUP LUMINaires**

**WARRANTY**  
5-year limited warranty for drivers and LEDs.

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**NLS LIGHTING**

JOB NAME: Secure Space College Point  
CATALOG # Project Specific - Confirm With Site Engineer  
TYPE: Wallpack  
V7/V1

**VSS-S**  
SITE LIGHTING

**FORM AND FUNCTION**

- Black, low-profile housing
- Engineered for optimum thermal management
- Low-impedance cable
- Optical system designed for:
  - Flanking Light
  - Commercial Applications

**CONSTRUCTION**

- Die formed heavy duty Aluminum
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP-65 seal for electronics compartment
- Temperature sensitive Micro Dynamic system ensures IP-67 seal around each PCB

**FINISH**

- 3-5 mil electrocoat powder coat
- NLS standard high quality finishes prevent corrosion against extreme environmental conditions

**LISTINGS**

- UL Listed
- CSA C22.2 No. 250.0
- Design Light Consortium® (DLC)
- Design Light Consortium Premium® (DLCP)
- IP68 (IP67 Bezel)

**WARRANTY**  
5-year limited warranty for drivers and LEDs.

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**EVr-Gr™ 4000**  
Level 2 Networked Public Use Charging Stations

Integrating design and functionality with superior reliability and durability, EVr-Gr™ charging stations are ideal for workplaces, commercial or outdoor public charging.

**FEATURES**

- ChargePoint™ Network Services let you control access, set pricing, display scheduling, monitor station status, and generate usage reports while providing 24/7 365 call center support to drivers.

**ChargePoint™ Network Services**

**Gateway Design**

- Removes the need for distance restrictions between chargers
- Stations are configured with optimal signal paths for better communication

**Designed for Accessibility**

- Buttons provide audio feedback
- Multiple languages supported (English, French, Spanish)

**Energy and Power Management**

- Dual head stations allow a single 40-A circuit to be shared between two parking spaces
- Power select options to limit to 20-A or 30-A dual pole circuit
- Single vehicle charge at full 6.2-7.2 kW (20-A @ 300/240V) and two vehicles simultaneously charge at 3.3-3.6 kW (15-A @ 208/240 V) each
- Real-time energy measurement controlled within the meter and communicated through the cloud
- 15 minute interval recording of energy use and station status
- Time of day (TOD) pricing

**Common Applications**

- City buildings
- HOV settings
- Public parking
- Educational institutions

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**AREA LIGHT FOUNDATION DETAIL**  
NOT TO SCALE

Diagram showing foundation details for area lighting, including mounting height, pole size, and foundation dimensions.

**LIGHT POLE FOUNDATION SCHEDULE**

Mounting Height Above Grade 'X'	Pole Dia. 'B'	Foundation Components
24'-26'	6" SQUARE (OR PER MANUFACTURER)	Single Head Free-Standing, CP4U1, CP4M1, CP4P1, CP4B1, CP4K1
24'-26'	6" SQUARE (OR PER MANUFACTURER)	Single Head Free-Standing, CP4U1, CP4M1, CP4P1, CP4B1, CP4K1

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**ALPHATECH™ X Linear LED Lighting**  
Specification Sheet

**ALPHATECH™ X 250/400**  
Linear LED Lighting

Full Diffusion, precision light quality, and physical durability for every application. Buy American Act compliant and made in the USA.

**MECHANICAL DIAGRAMS**

FLAT CLIP (MTC/L)

ROTATING CLIP (MTC/R)

90° CLIP (MTC/S)

**WIRE MANAGEMENT SYSTEMS**

**CHANNEL LENGTHS (MTC/R / FPMR)**

**CONNECTIONS**

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**PRIORITY LIGHTING**

JOB NAME: Secure Space College Point  
CATALOG # Project Specific - Confirm With Site Engineer  
TYPE: Wallpack  
V7/V1

**NLS LIGHTING**

JOB NAME: Secure Space College Point  
CATALOG # Project Specific - Confirm With Site Engineer  
TYPE: Wallpack  
V7/V1

**NV-W**  
HIGH PERFORMANCE FULL CUTOFF WALL PACK

**FORM AND FUNCTION**

- Black, low-profile housing
- Engineered for optimum thermal management
- Low-impedance cable
- IP68 for submersible applications
- UL875 listed for pools, spas, saunas and steam rooms
- 100% component approved
- 5-year warranty

**CONSTRUCTION**

- Die formed heavy duty Aluminum
- Corrosion resistant enamel finish
- Engineered for optimum thermal management
- Low-impedance cable
- IP68 for submersible applications
- UL875 listed for pools, spas, saunas and steam rooms
- 100% component approved
- 5-year warranty

**FINISH**

- 3-5 mil electrocoat powder coat
- NLS standard high quality finishes prevent corrosion against extreme environmental conditions

**LISTINGS**

- UL Listed
- CSA C22.2 No. 250.0
- Design Light Consortium® (DLC)
- Design Light Consortium Premium® (DLCP)
- IP68 (IP67 Bezel)

**WARRANTY**  
5-year limited warranty for drivers and LEDs.

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**NLS LIGHTING**

JOB NAME: Secure Space College Point  
CATALOG # Project Specific - Confirm With Site Engineer  
TYPE: Wallpack  
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SITE LIGHTING

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Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

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**Gateway Design**

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- Multiple languages supported (English, French, Spanish)

**Energy and Power Management**

- Dual head stations allow a single 40-A circuit to be shared between two parking spaces
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- HOV settings
- Public parking
- Educational institutions

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

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NOT TO SCALE

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Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**ALPHATECH™ X Linear LED Lighting**  
Specification Sheet

**ALPHATECH™ X 250/400**  
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Full Diffusion, precision light quality, and physical durability for every application. Buy American Act compliant and made in the USA.

**MECHANICAL DIAGRAMS**

FLAT CLIP (MTC/L)

ROTATING CLIP (MTC/R)

90° CLIP (MTC/S)

**WIRE MANAGEMENT SYSTEMS**

**CHANNEL LENGTHS (MTC/R / FPMR)**

**CONNECTIONS**

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**PRIORITY LIGHTING**

JOB NAME: Secure Space College Point  
CATALOG # Project Specific - Confirm With Site Engineer  
TYPE: Wallpack  
V7/V1

**NLS LIGHTING**

JOB NAME: Secure Space College Point  
CATALOG # Project Specific - Confirm With Site Engineer  
TYPE: Wallpack  
V7/V1

**NV-W**  
HIGH PERFORMANCE FULL CUTOFF WALL PACK

**FORM AND FUNCTION**

- Black, low-profile housing
- Engineered for optimum thermal management
- Low-impedance cable
- IP68 for submersible applications
- UL875 listed for pools, spas, saunas and steam rooms
- 100% component approved
- 5-year warranty

**CONSTRUCTION**

- Die formed heavy duty Aluminum
- Corrosion resistant enamel finish
- Engineered for optimum thermal management
- Low-impedance cable
- IP68 for submersible applications
- UL875 listed for pools, spas, saunas and steam rooms
- 100% component approved
- 5-year warranty

**FINISH**

- 3-5 mil electrocoat powder coat
- NLS standard high quality finishes prevent corrosion against extreme environmental conditions

**LISTINGS**

- UL Listed
- CSA C22.2 No. 250.0
- Design Light Consortium® (DLC)
- Design Light Consortium Premium® (DLCP)
- IP68 (IP67 Bezel)

**WARRANTY**  
5-year limited warranty for drivers and LEDs.

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**NLS LIGHTING**

JOB NAME: Secure Space College Point  
CATALOG # Project Specific - Confirm With Site Engineer  
TYPE: Wallpack  
V7/V1

**VSS-S**  
SITE LIGHTING

**FORM AND FUNCTION**

- Black, low-profile housing
- Engineered for optimum thermal management
- Low-impedance cable
- Optical system designed for:
  - Flanking Light
  - Commercial Applications

**CONSTRUCTION**

- Die formed heavy duty Aluminum
- Corrosion resistant enamel finish
- Engineered for optimum thermal management
- Low-impedance cable
- IP68 for submersible applications
- UL875 listed for pools, spas, saunas and steam rooms
- 100% component approved
- 5-year warranty

**FINISH**

- 3-5 mil electrocoat powder coat
- NLS standard high quality finishes prevent corrosion against extreme environmental conditions

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- IP68 (IP67 Bezel)

**WARRANTY**  
5-year limited warranty for drivers and LEDs.

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

**EVr-Gr™ 4000**  
Level 2 Networked Public Use Charging Stations

Integrating design and functionality with superior reliability and durability, EVr-Gr™ charging stations are ideal for workplaces, commercial or outdoor public charging.

**FEATURES**

- ChargePoint™ Network Services let you control access, set pricing, display scheduling, monitor station status, and generate usage reports while providing 24/7 365 call center support to drivers.

**ChargePoint™ Network Services**

**Gateway Design**

- Removes the need for distance restrictions between chargers
- Stations are configured with optimal signal paths for better communication

**Designed for Accessibility**

- Buttons provide audio feedback
- Multiple languages supported (English, French, Spanish)

**Energy and Power Management**

- Dual head stations allow a single 40-A circuit to be shared between two parking spaces
- Power select options to limit to 20-A or 30-A dual pole circuit
- Single vehicle charge at full 6.2-7.2 kW (20-A @ 300/240V) and two vehicles simultaneously charge at 3.3-3.6 kW (15-A @ 208/240 V) each
- Real-time energy measurement controlled within the meter and communicated through the cloud
- 15 minute interval recording of energy use and station status
- Time of day (TOD) pricing

**Common Applications**

- City buildings
- HOV settings
- Public parking
- Educational institutions

Qualification Sheet: ALPHATECH™ X Linear LED Lighting | 05/11/2022 | V18

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1904 Main Street  
Lake Como, NJ 07719  
T: 202.910.9188  
F: 202.910.9189  
E: info@dynamiceng.com

**CONSTRUCTION DETAILS**

TITLE: **INSITE DEVELOPMENT PARTNERS, LLC PROPOSED SELF-STORAGE FACILITY**

PROJECT: **BLOCK 425, LOT 2.01 & 2.02 1960 & 1970 NUSH ROUTE 35 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY**

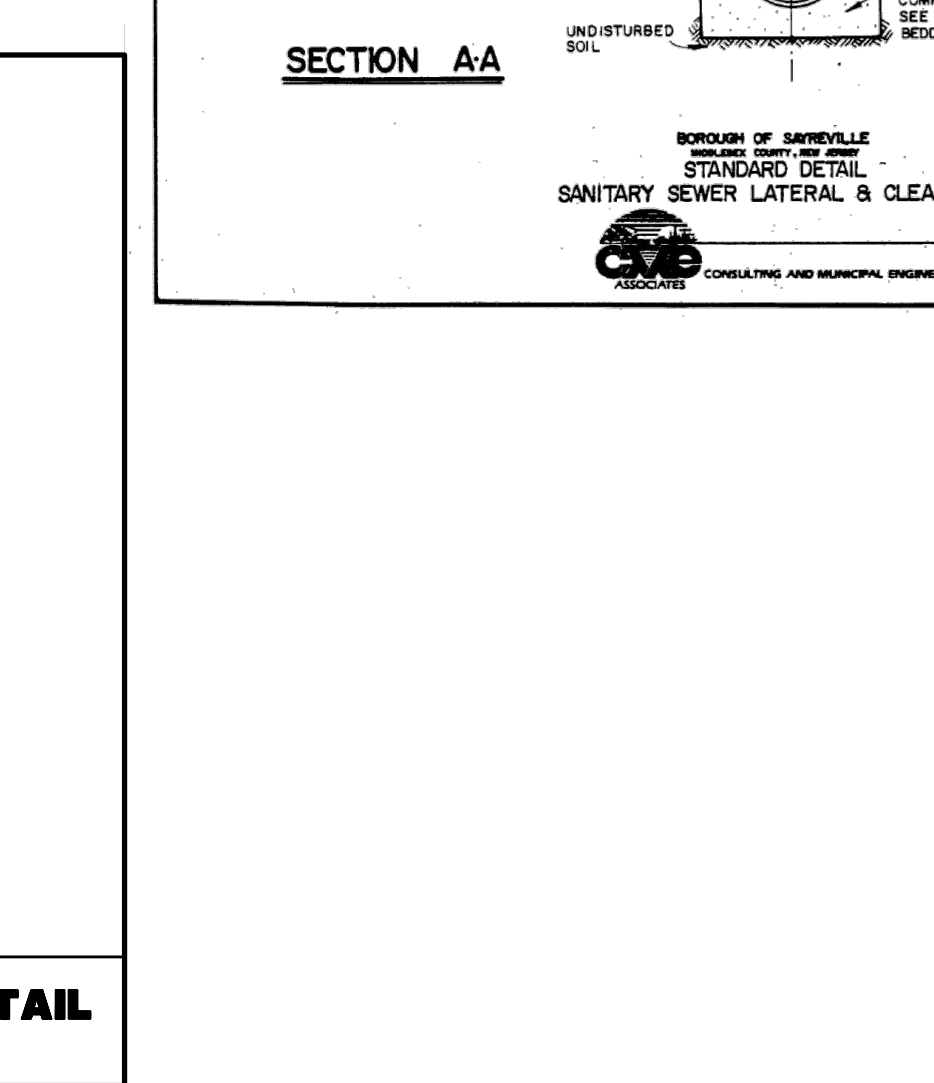
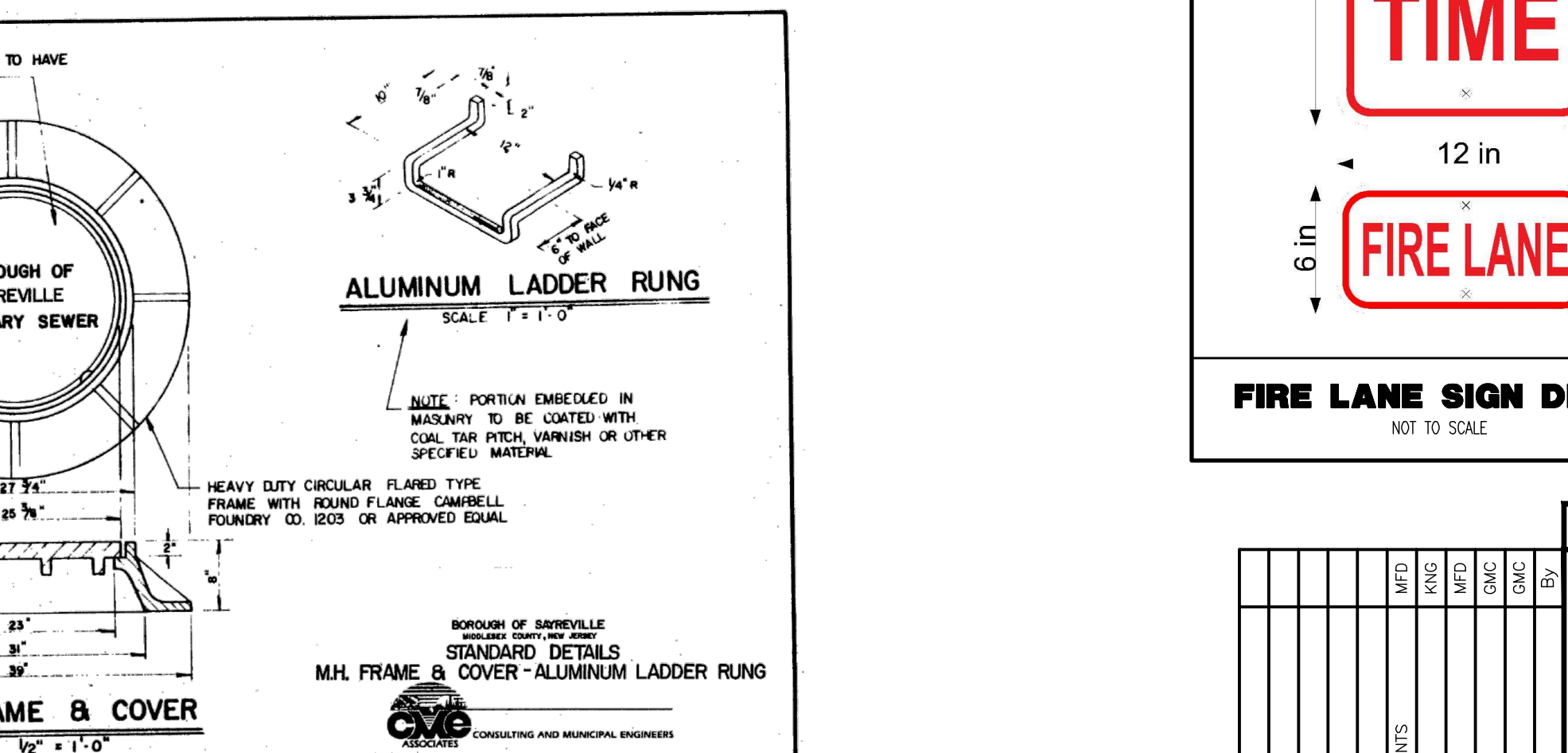
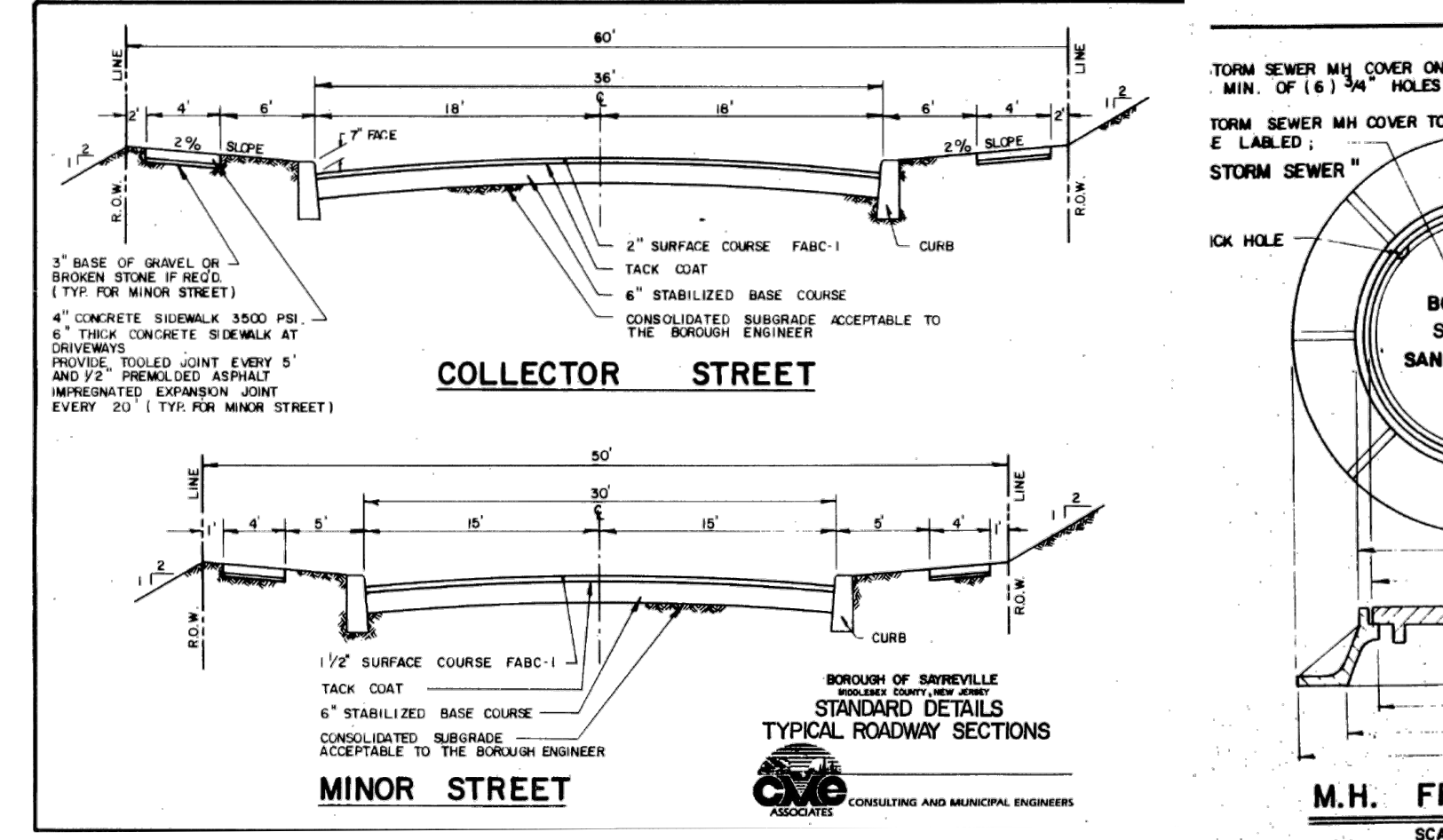
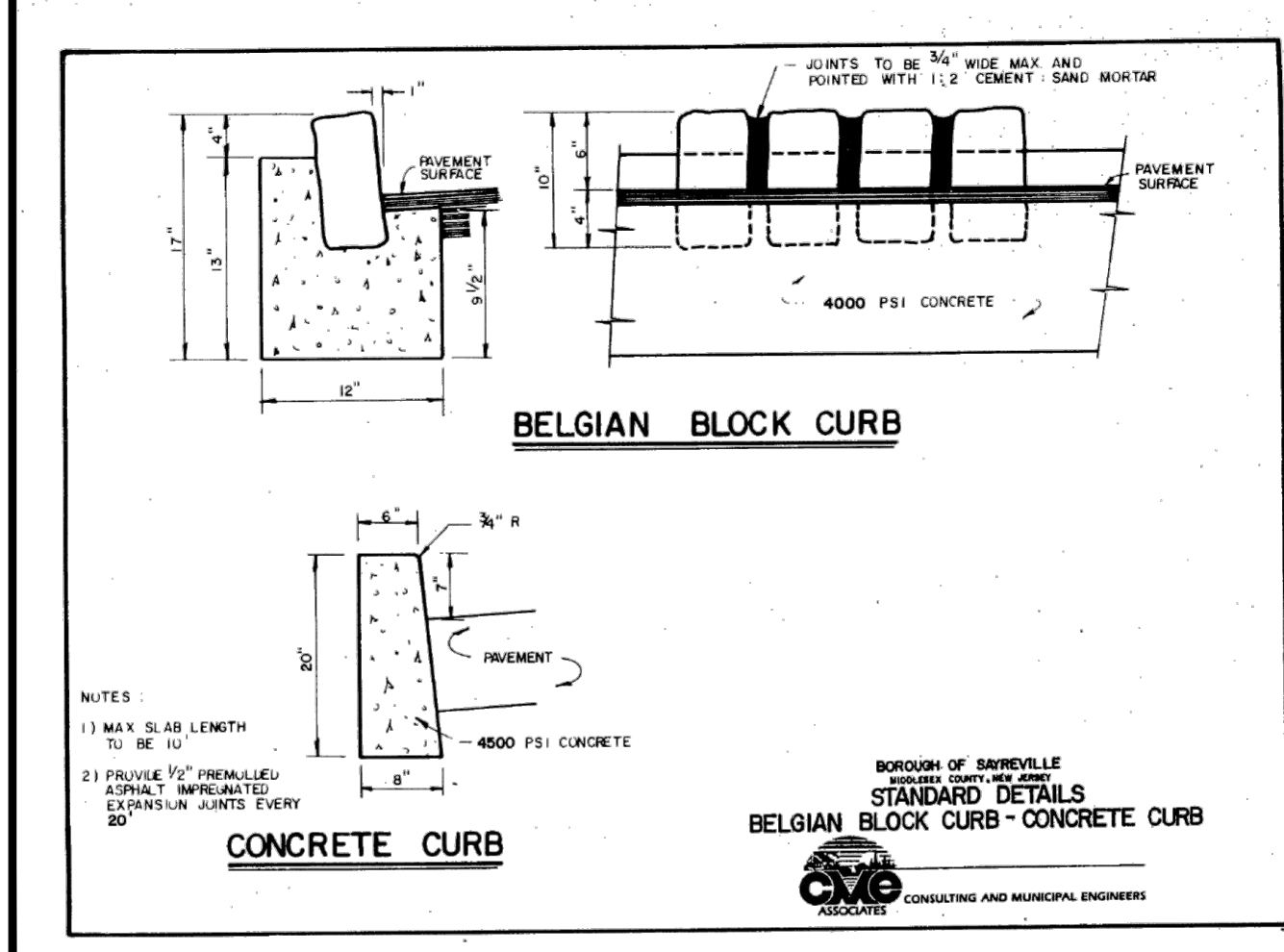
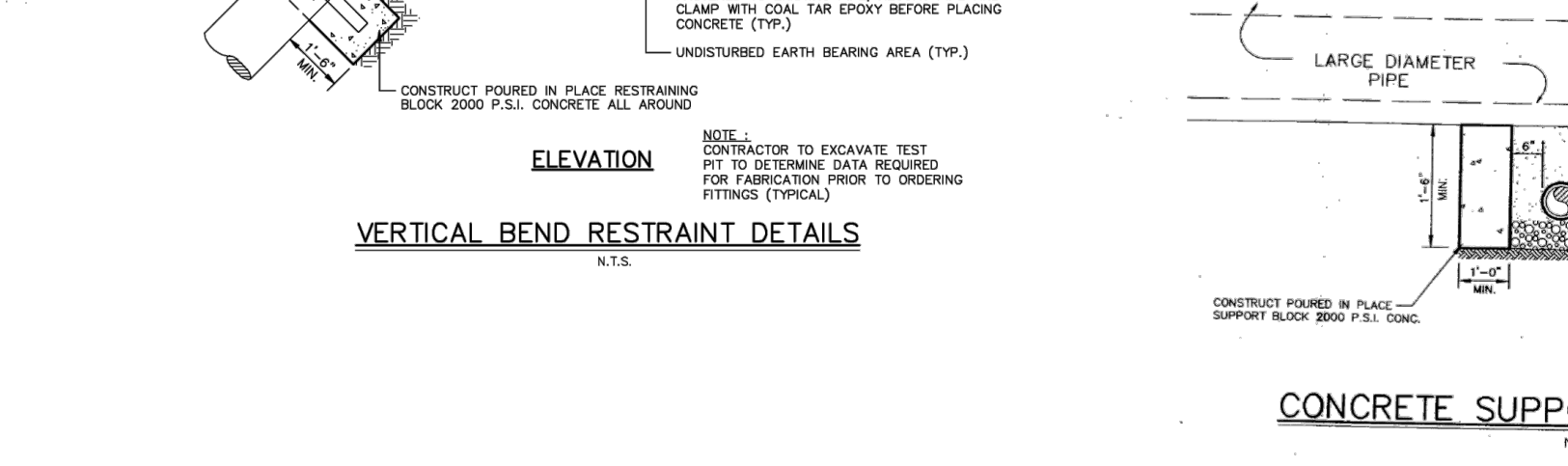
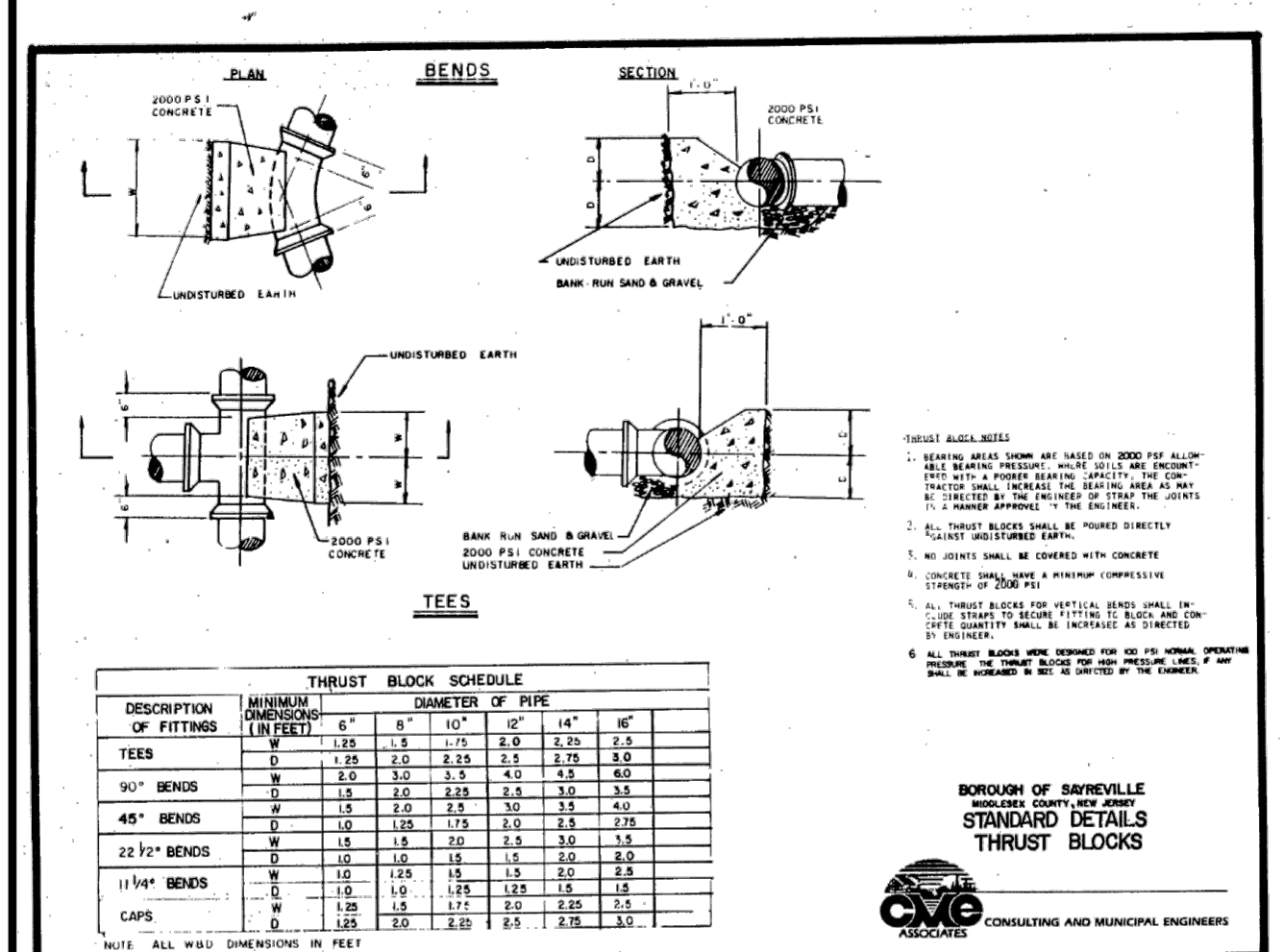
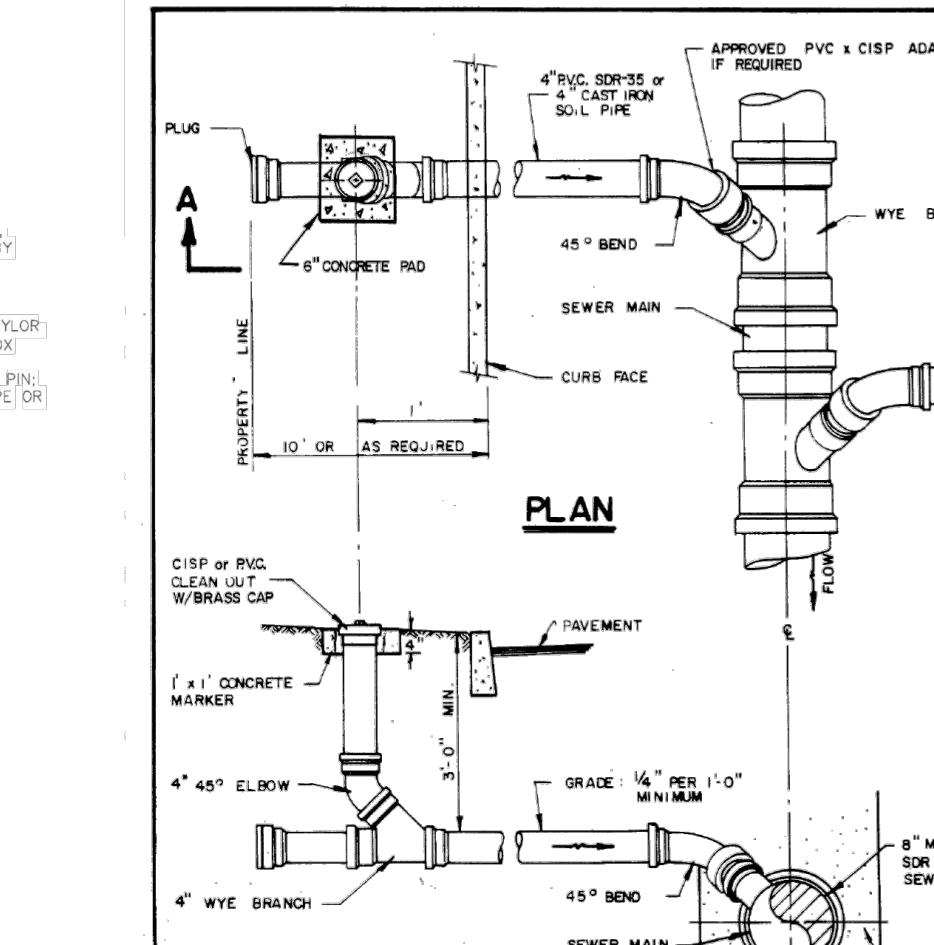
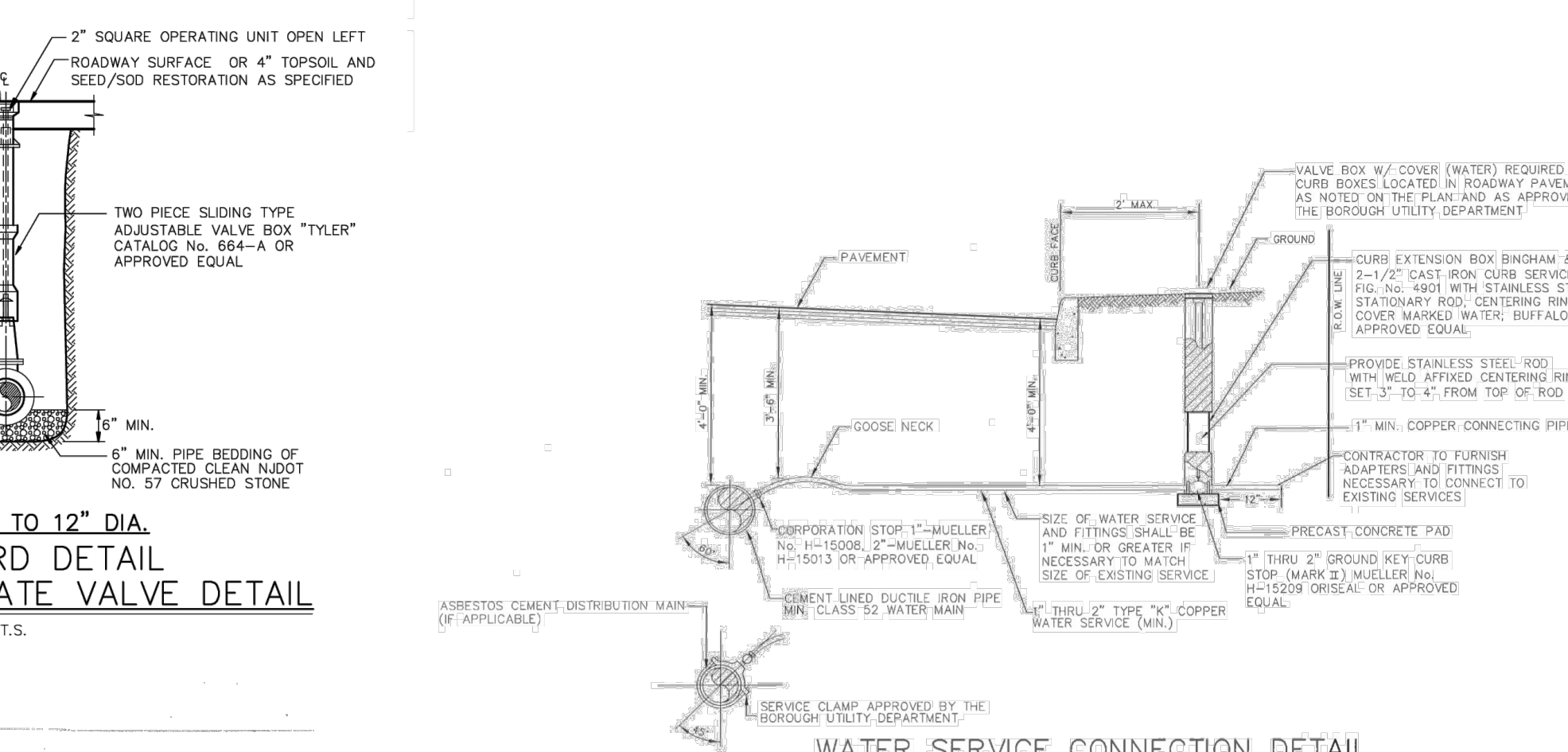
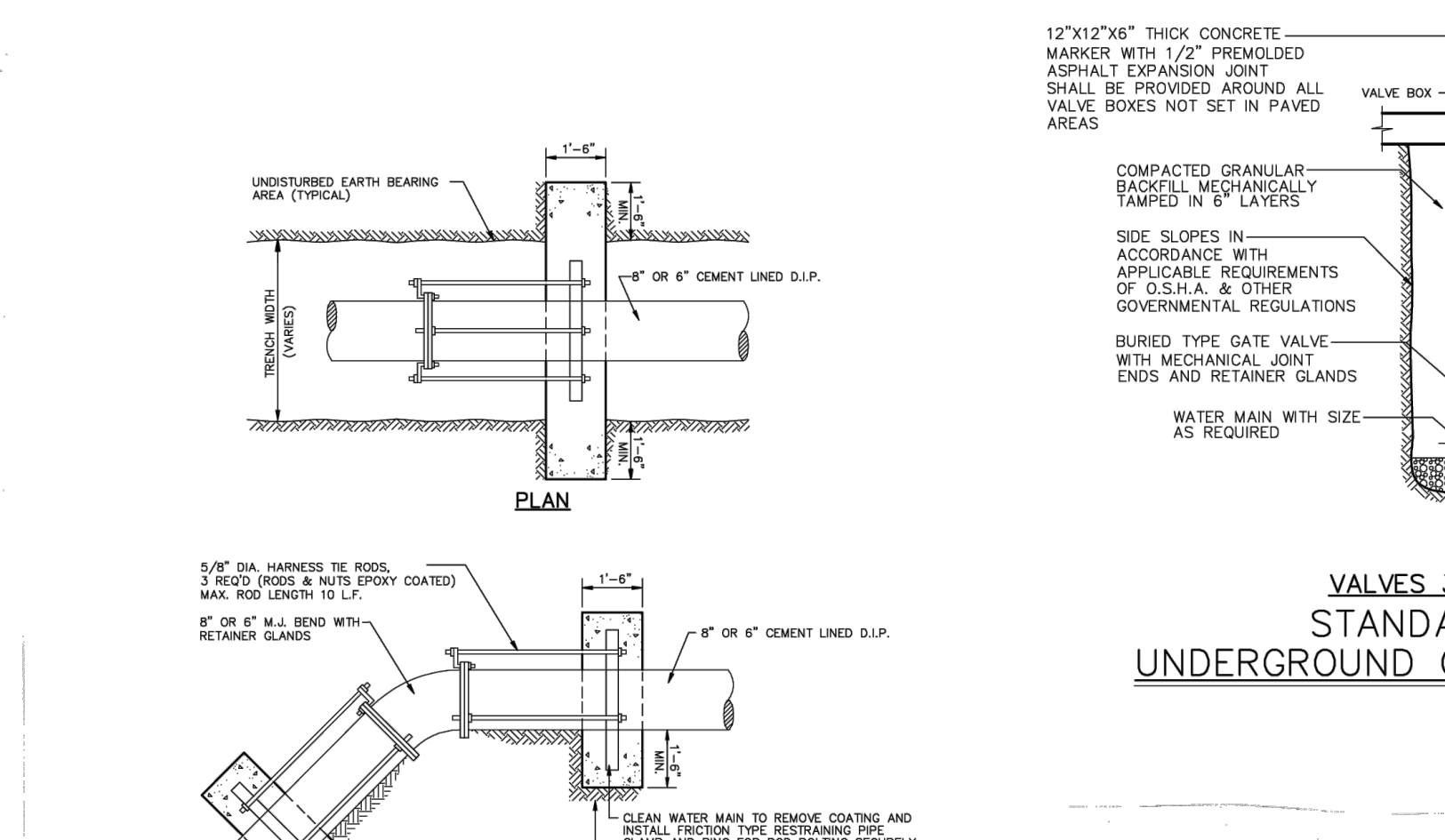
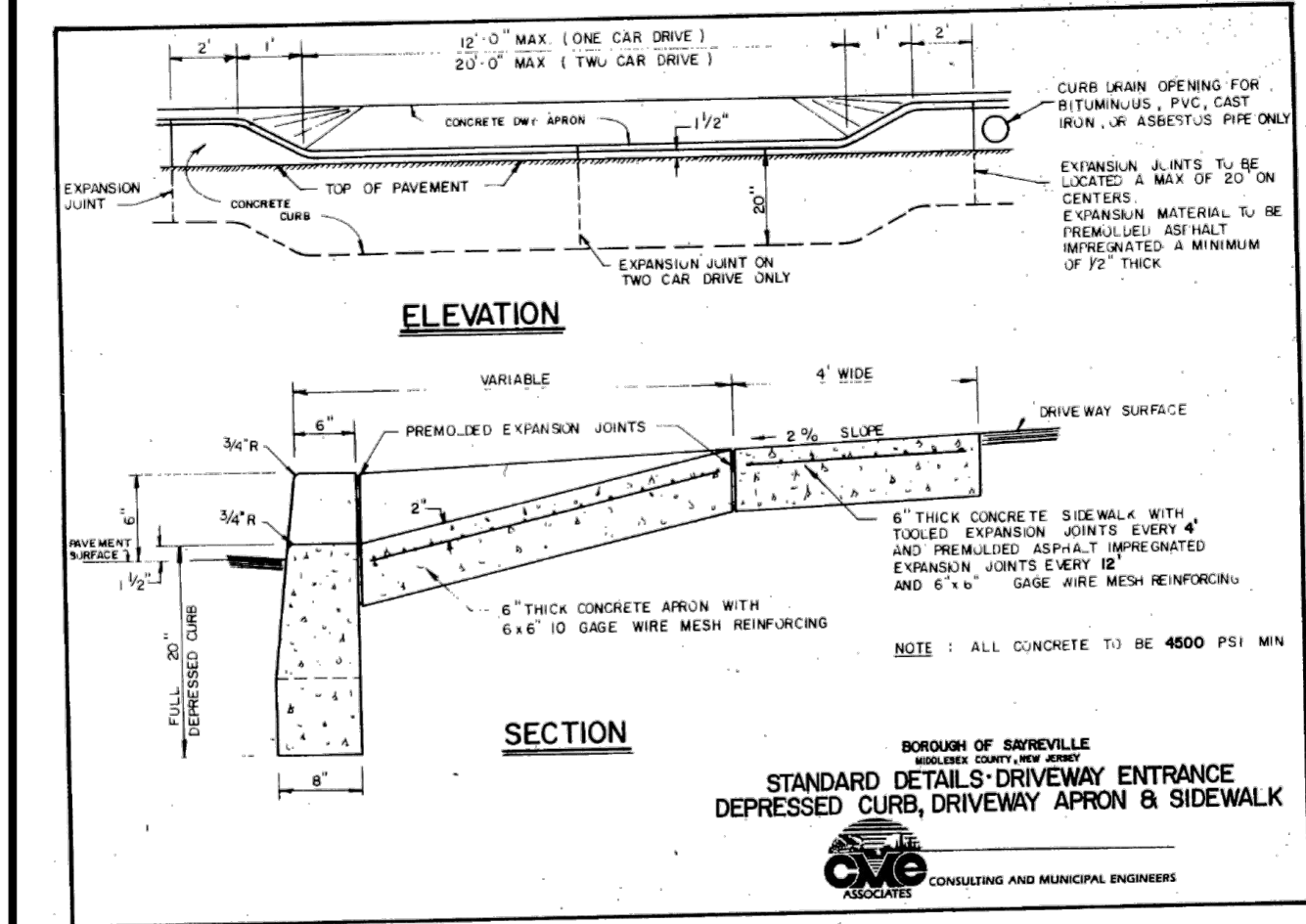
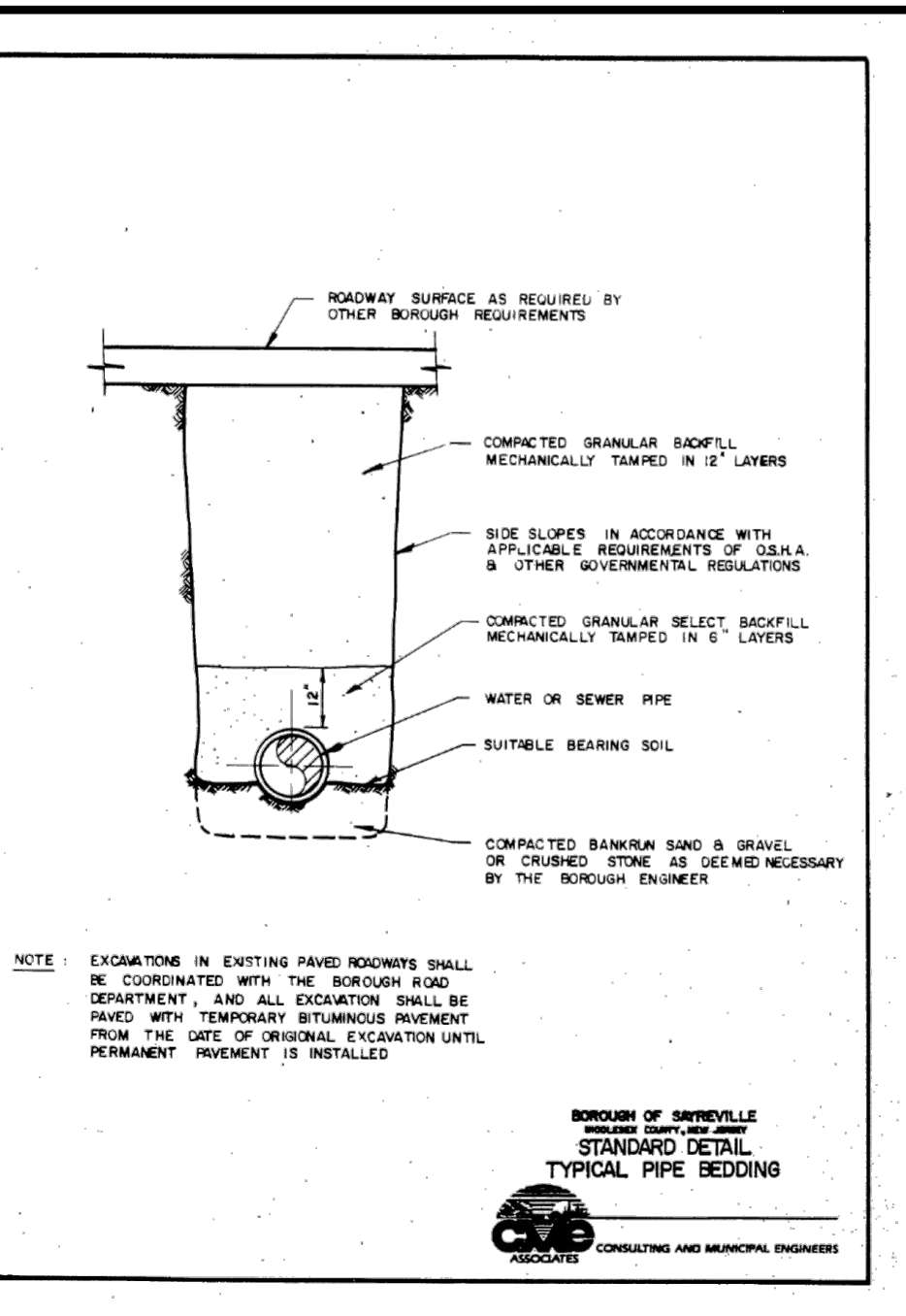
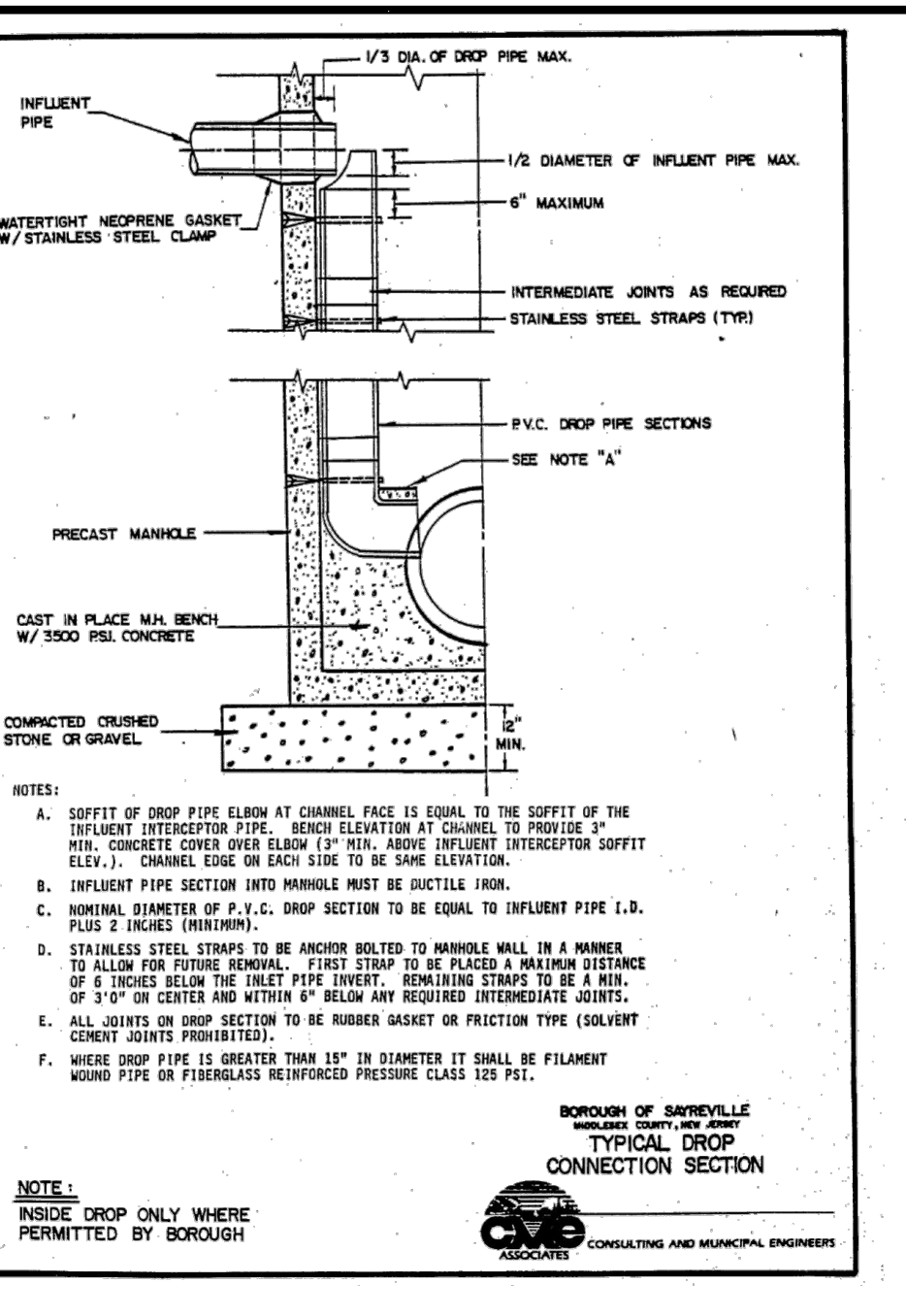
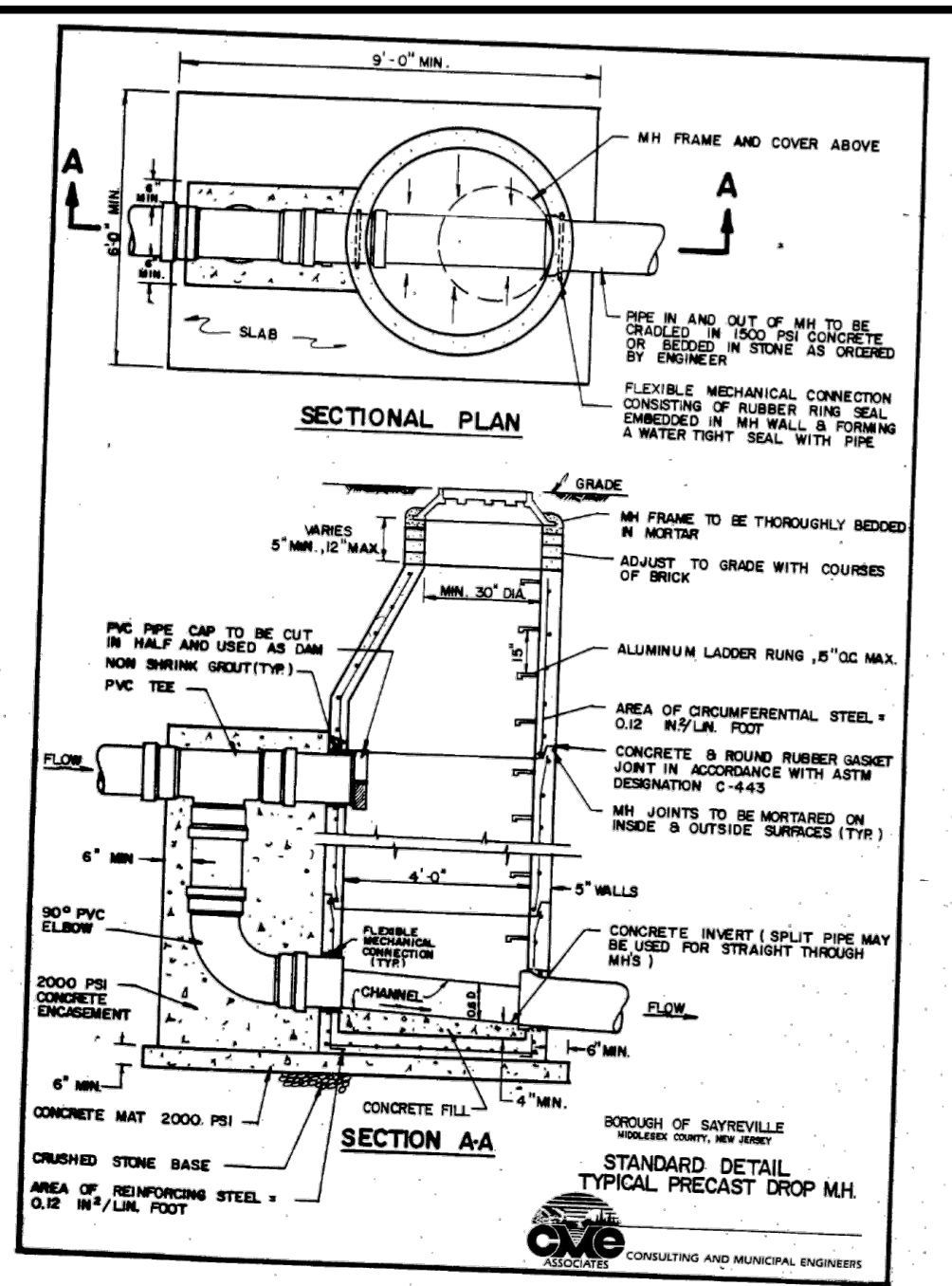
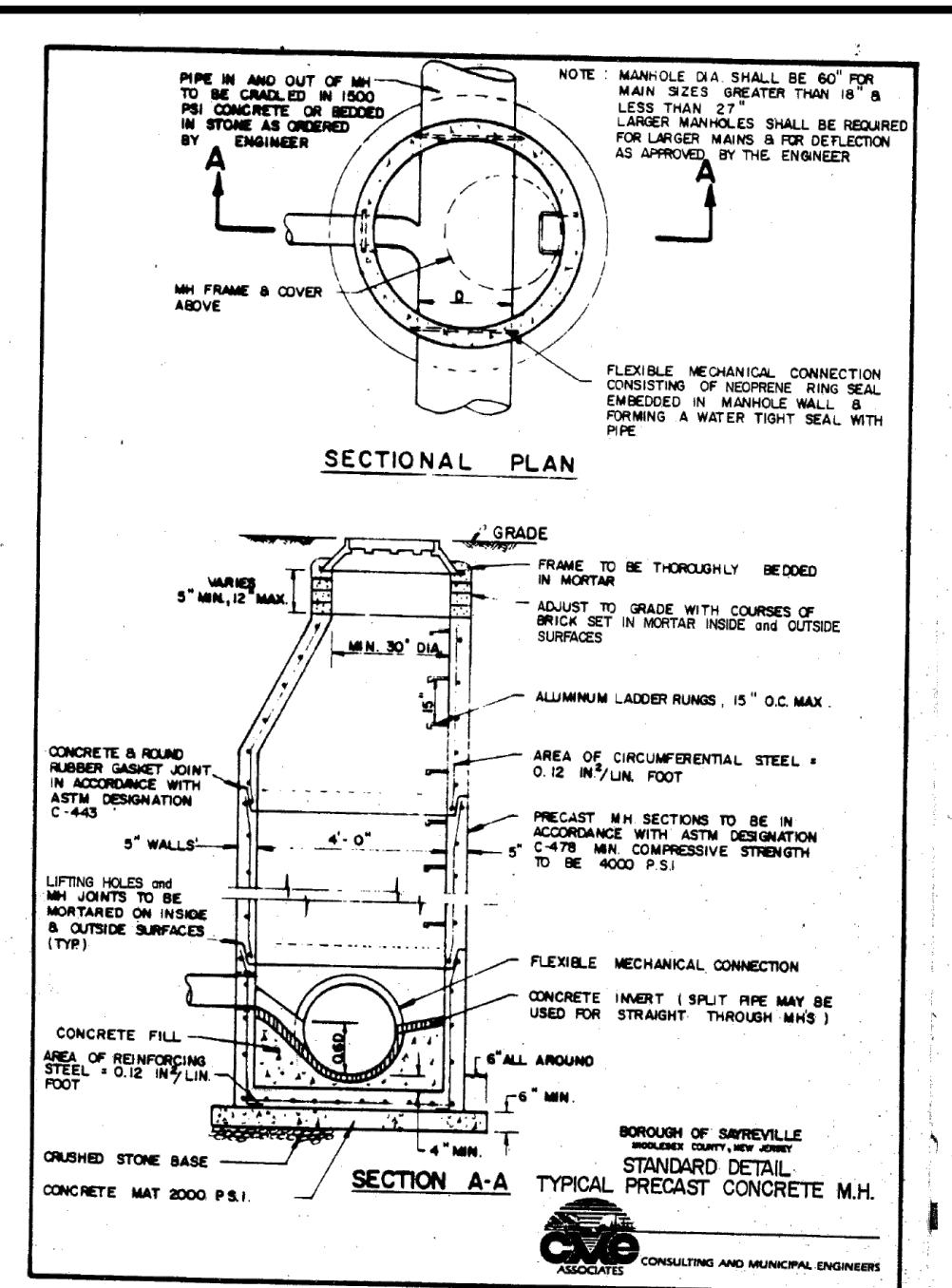
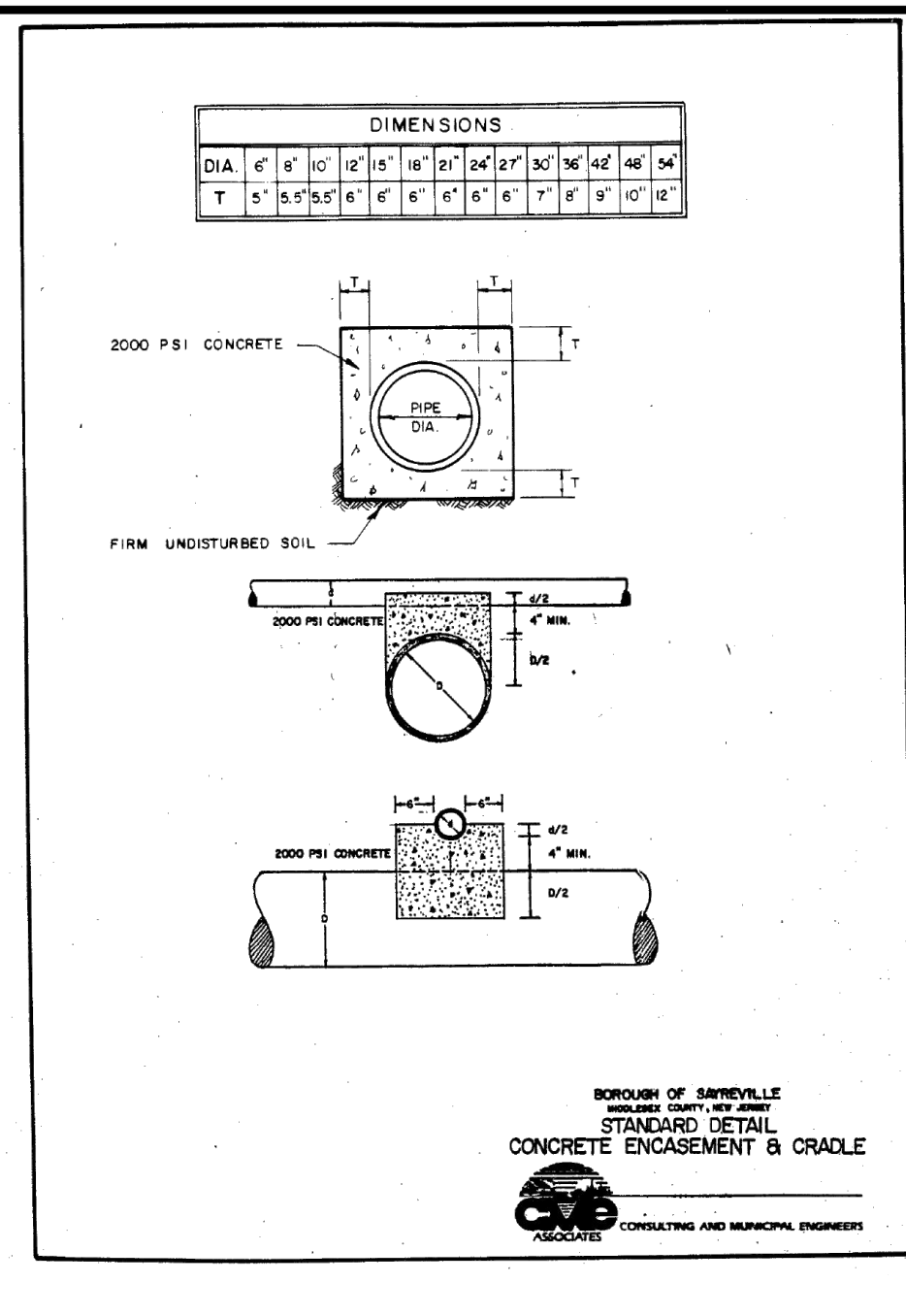
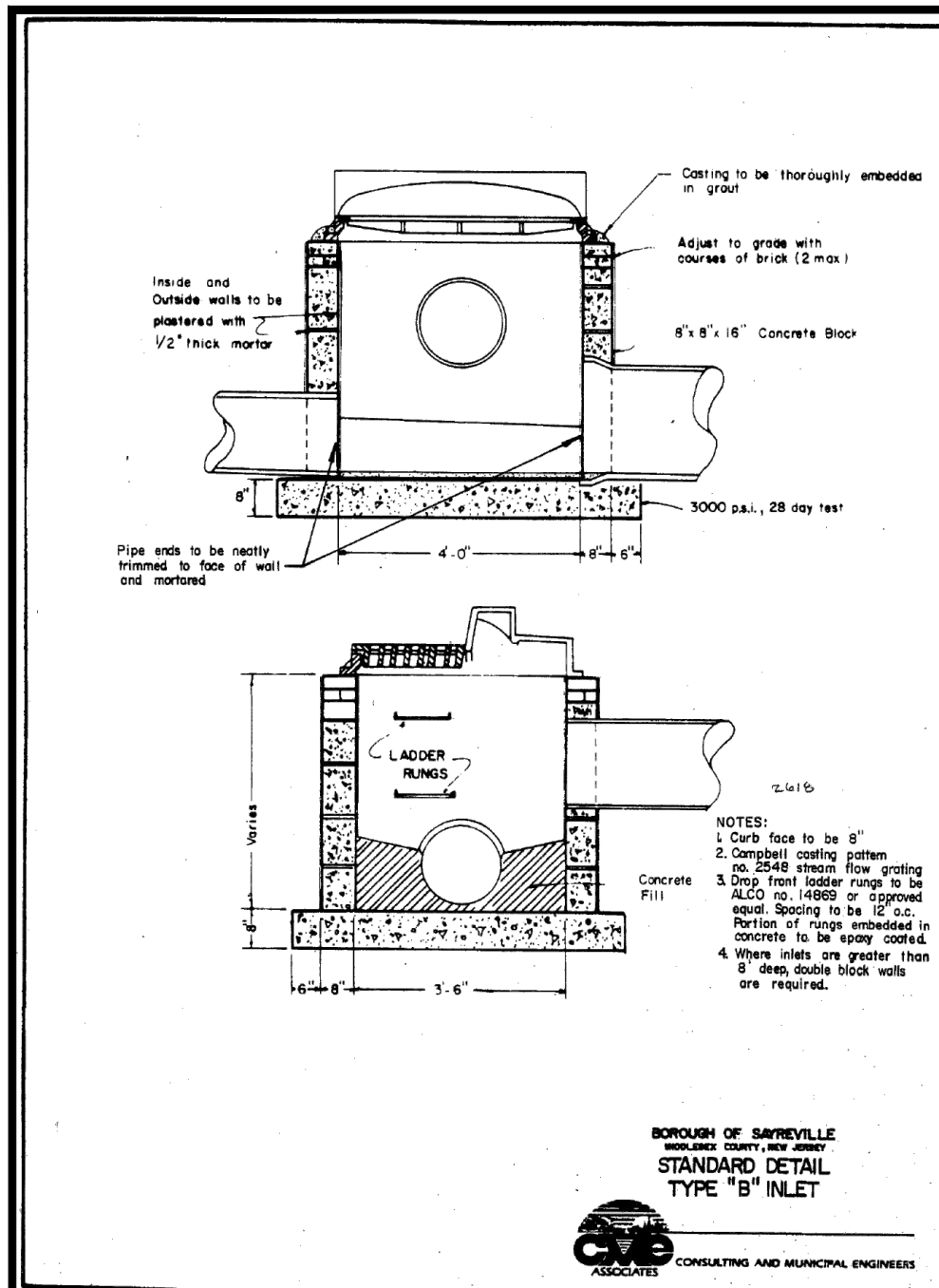
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DATE: 09/16/2022  
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SCALE: (H) NOT TO SCALE  
DESIGNED BY: LJC/MDC  
CHECKED BY: TJM  
SHEET NO: 17

**THOMAS J. MULLER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52179

**JOHN A. PALUS**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 41975

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Rev. # 5



Product: Ver. 24.2a (LMS Tech)  
 Group: 99-008  
 Project: 03/24/23 - 2022 PM, By: krazimir, File: P:\VEPC PROJECTS\3041 inSite Property Group\99-008 Sayreville\DWG\Site Plans\3041-199080805.dwg, 17 CONSTRUCTION DETAILS

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1950 Main Street  
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PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC**  
**PROPOSED SELF-STORAGE FACILITY**  
 BLOCK 425, LOT 2.01 & 2.02  
 1960 & 1970 NUSH ROUTE 35  
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

TITLE: **CONSTRUCTION DETAILS**

DATE: 09/16/2022  
 SCALE: (H) NOT TO SCALE  
 SHEET No: 18 OF 22

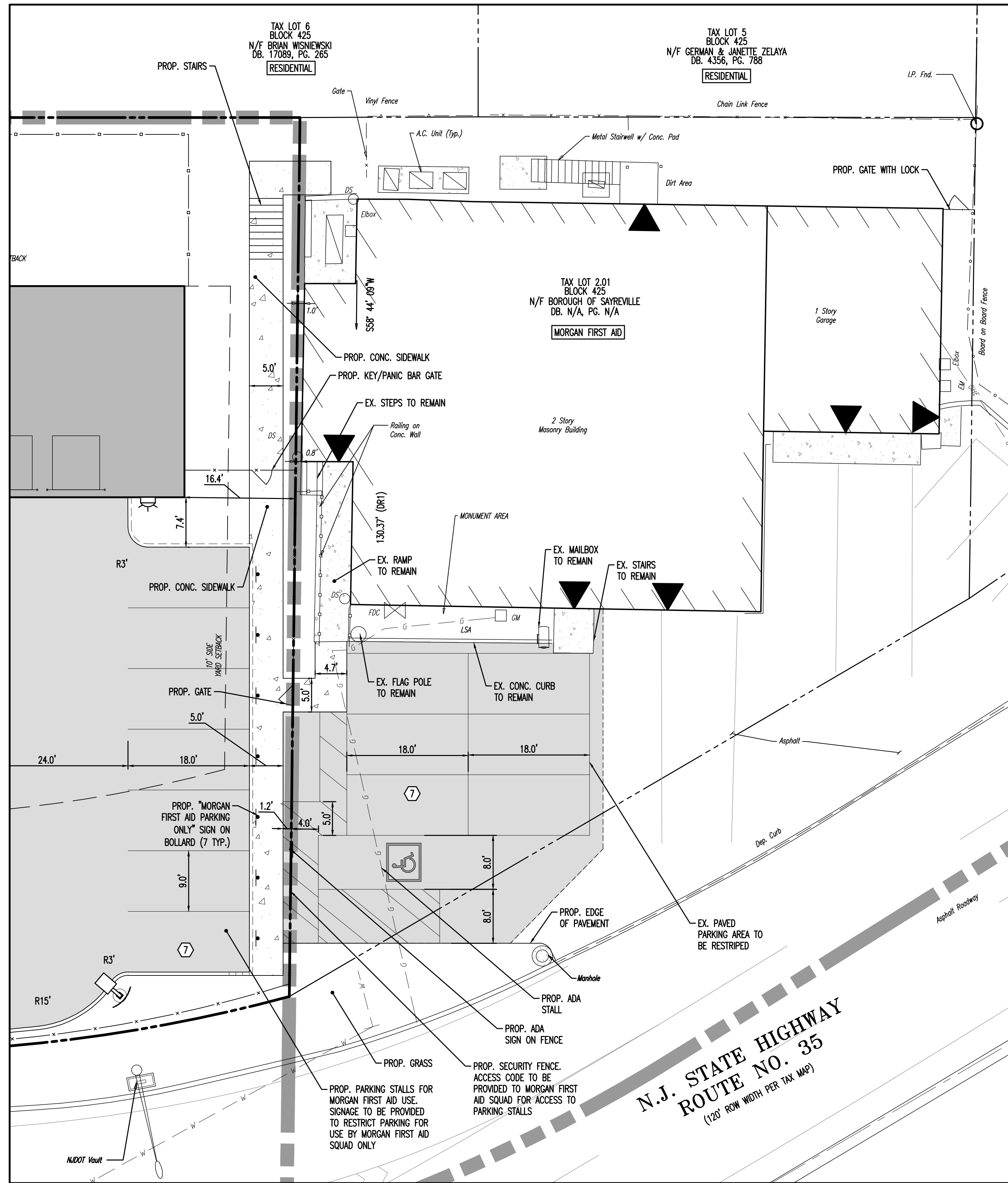
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 CHECKED BY: TJM

THOMAS J. MULLER  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52179

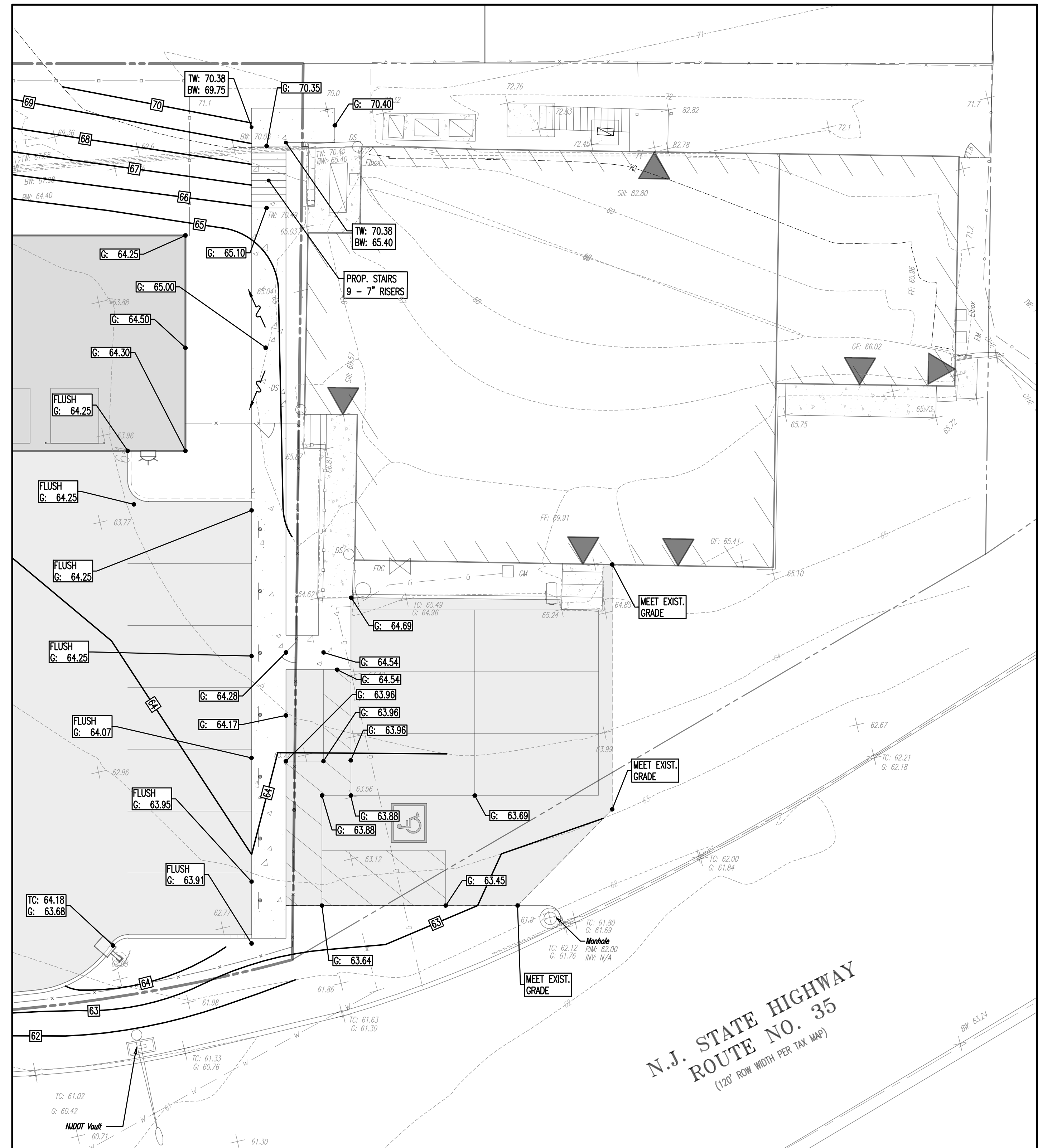
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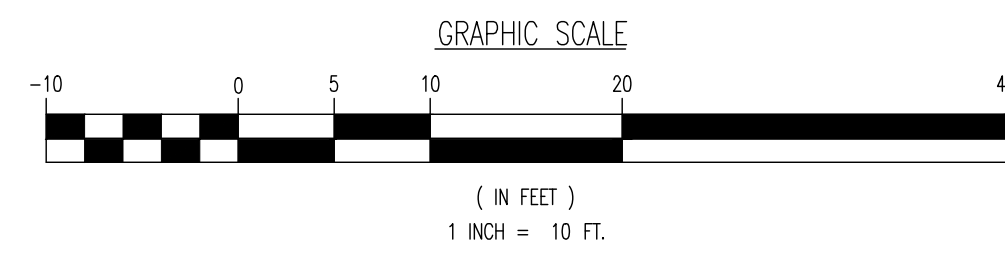
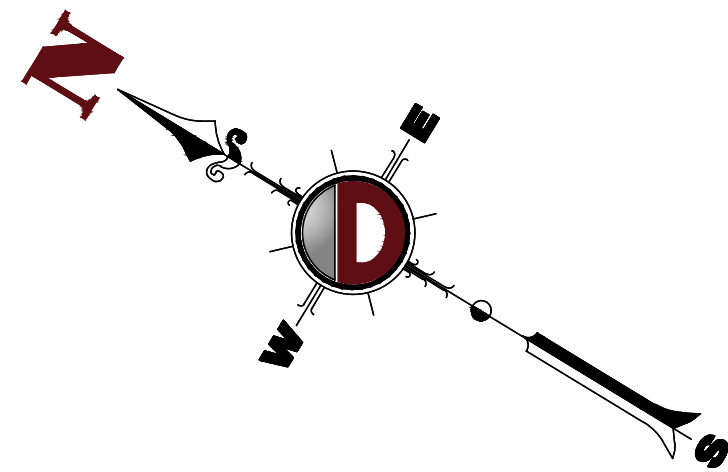
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**SITE PLAN INSET**



**GRADING PLAN INSET**



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TITLE: **MORGAN FIRST AID INSETS**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC  
 PROPOSED SELF-STORAGE FACILITY**

BLOCK 425, LOT 2.01 & 2.02  
 1960 & 1970 NJSH ROUTE 35  
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 3041-99-008 DATE: 09/16/2022

DRAWN BY: GMC SCALE: (H) 1"=10' (V)

DESIGNED BY: LJC/MDC SHEET No:

CHECKED BY: TJM

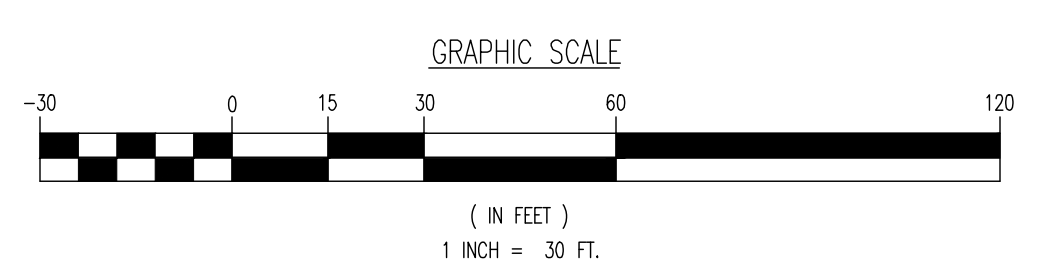
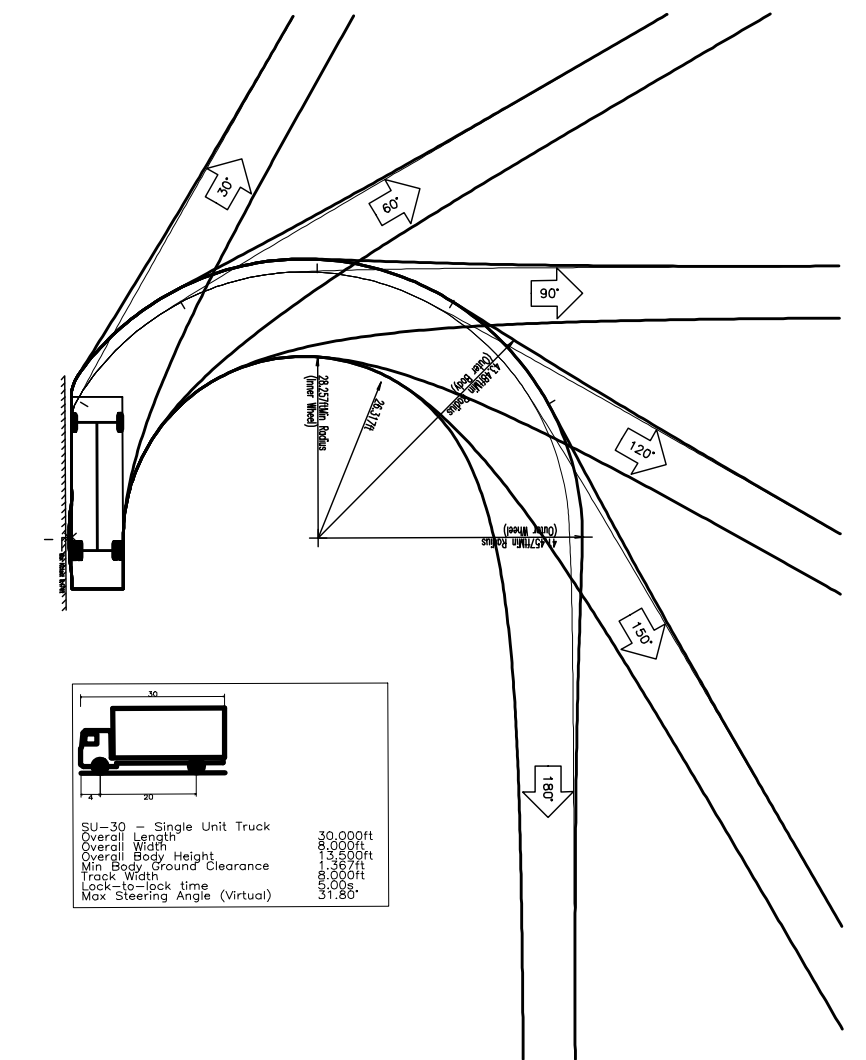
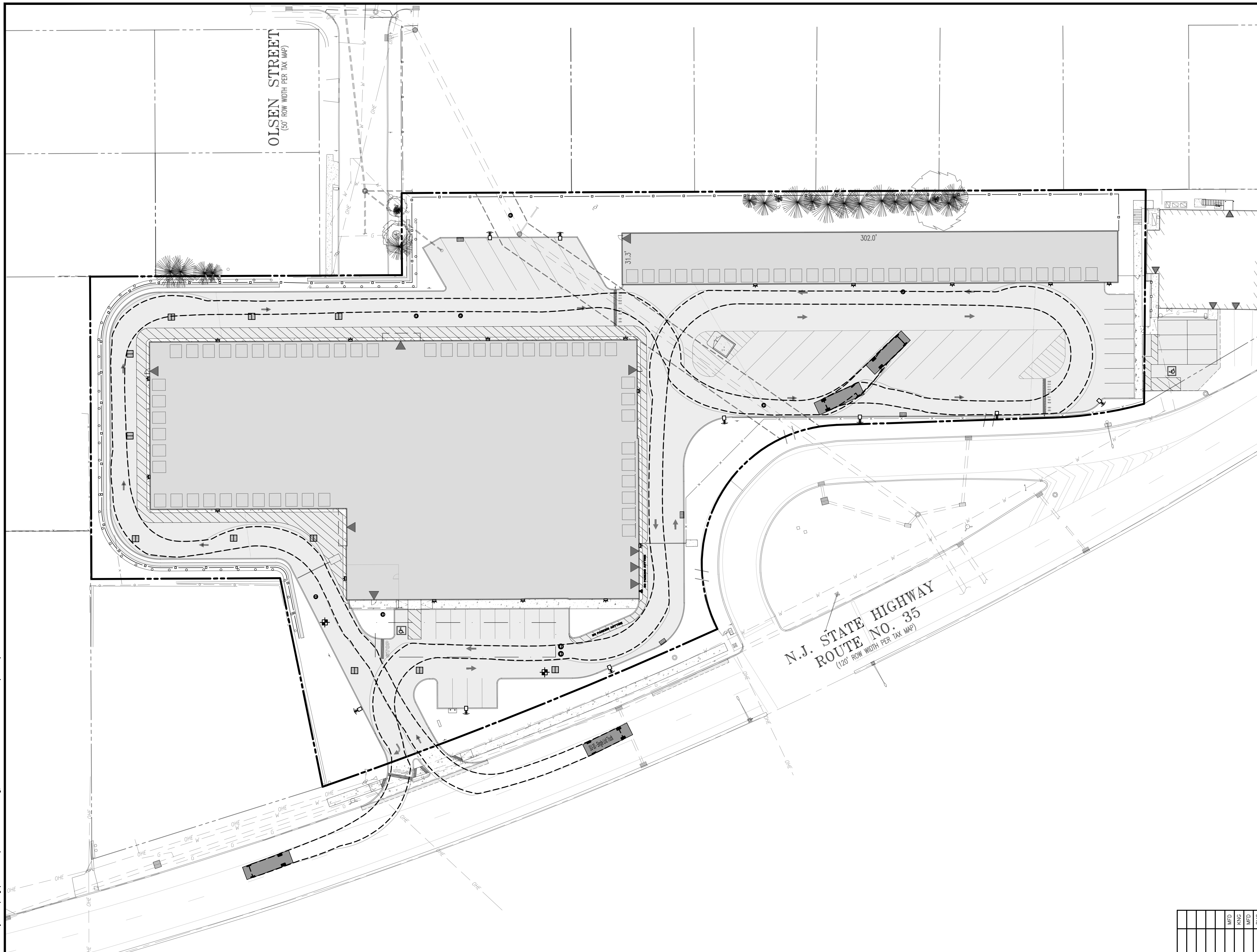
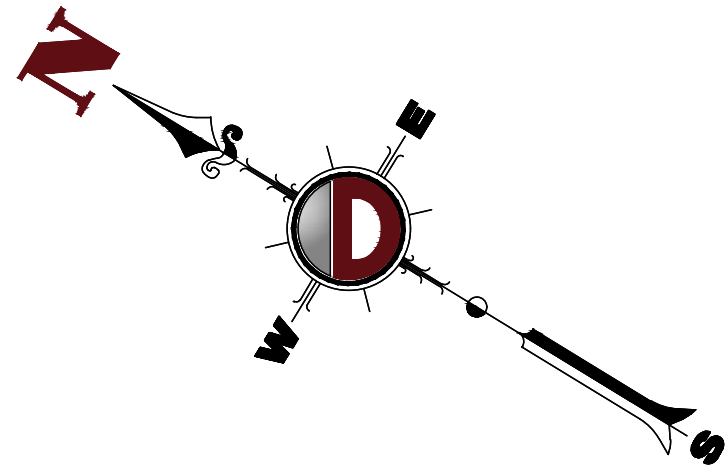
**THOMAS J. MULLER** PROFESSIONAL ENGINEER  
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 Newkirk, Pennsylvania T: 267.685.0274 | Philadelphia, Pennsylvania T: 215.253.4888 | Bethlehem, Pennsylvania T: 610.298.4400

TITLE: **VEHICLE CIRCULATION (SU-30)**

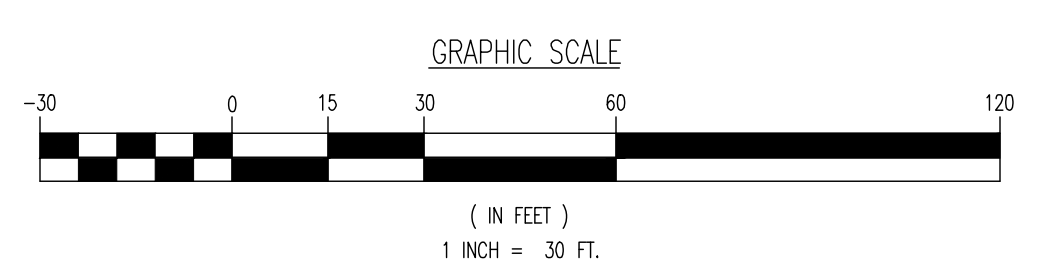
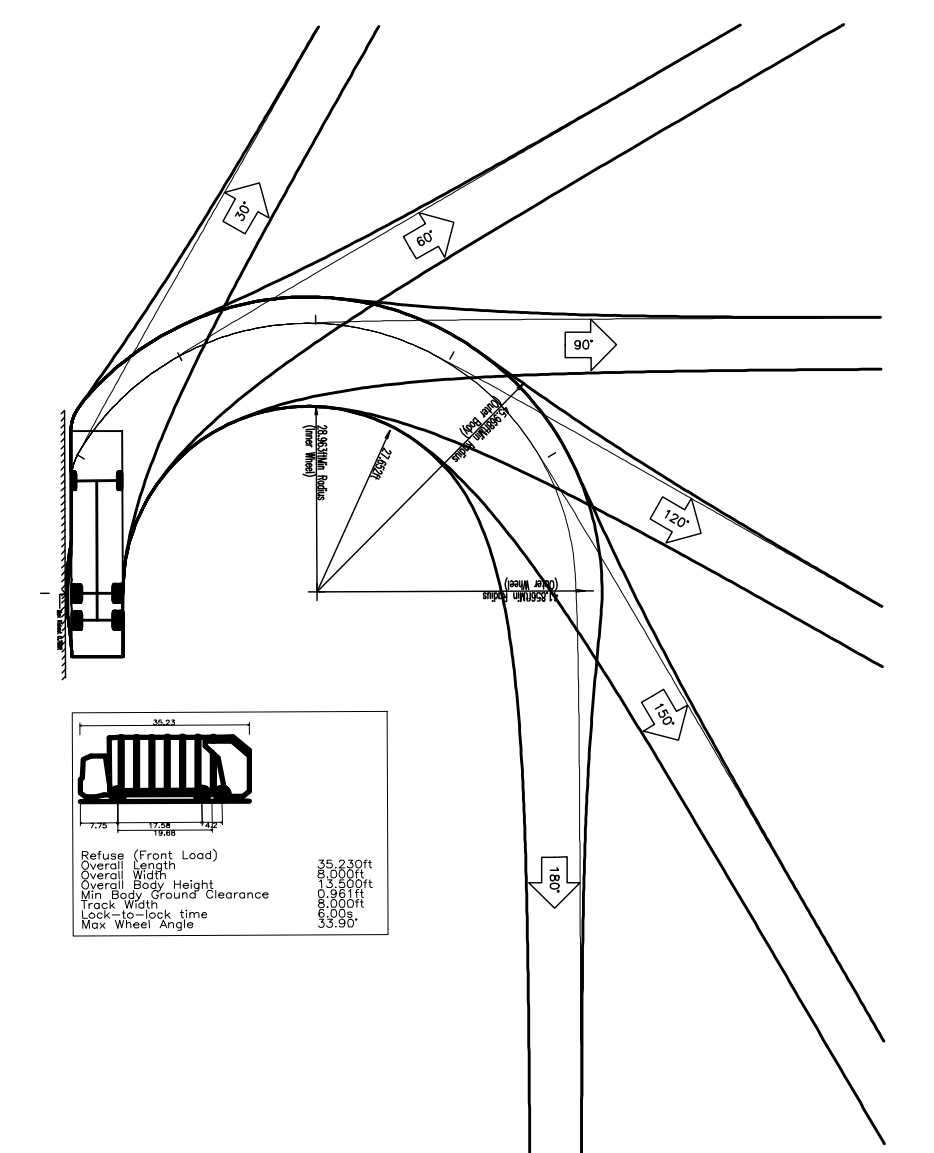
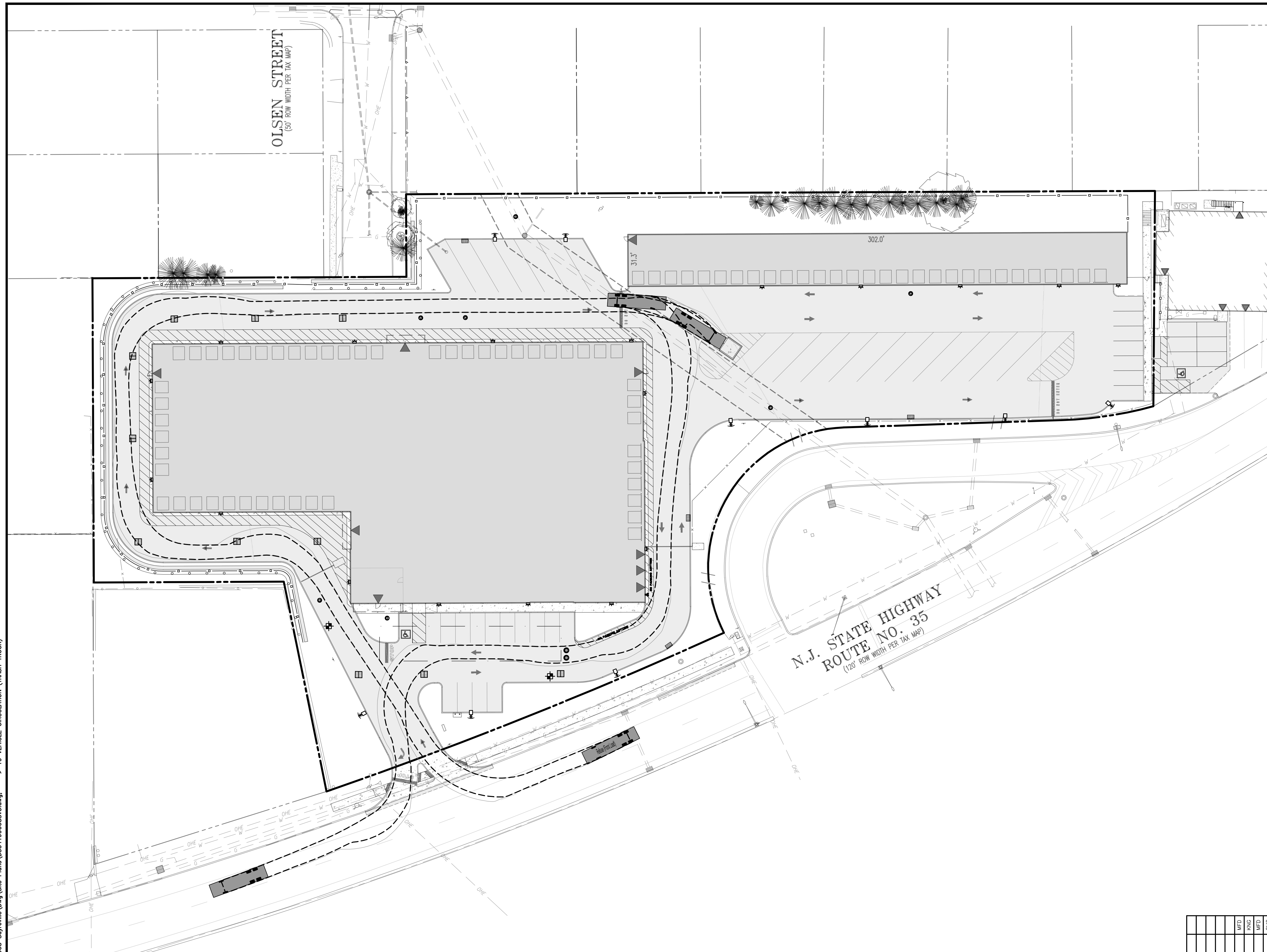
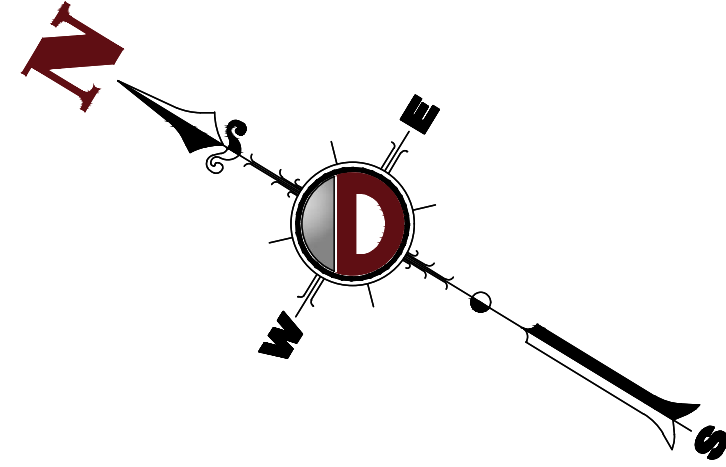
PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC  
 PROPOSED SELF-STORAGE FACILITY**  
 BLOCK 425, LOT 2.01 & 2.02  
 1960 & 1970 NJSH ROUTE 35  
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 3041-99-008 DATE: 09/16/2022  
 DRAWN BY: GMC SCALE: (H) 1"=30' (V)  
 DESIGNED BY: LPC/MDC SHEET No:  
 CHECKED BY: TJM  
 CHECKED BY:

**THOMAS J. MULLER** **JOHN A. PALUS**  
 PROFESSIONAL ENGINEER PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 52179 NEW JERSEY LICENSE No. 41975

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Plotted: 03/24/23 - 2:03 PM, By: krazimir, Product: Ver: 24.2a (LMS Tech)  
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 New Haven, Pennsylvania T: 267.685.0274 | Philadelphia, Pennsylvania T: 215.253.4888 | Bethlehem, Pennsylvania T: 610.978.4400

1998 Main Street  
 Lake Como, NJ 07719  
 T: 732.974.0198  
 F: 732.974.5521  
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TITLE: **VEHICLE CIRCULATION (TRASH TRUCK)**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC  
 PROPOSED SELF-STORAGE FACILITY**

BLOCK: 425, LOT 2.01 & 2.02  
 1960 & 1970 NJSH ROUTE 35  
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 3041-99-008

DESIGNED BY: GMC

CHECKED BY: TJM

DATE: 09/16/2022

SCALE: (H) 1"=30'  
(V)

SHEET No:

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OF 22

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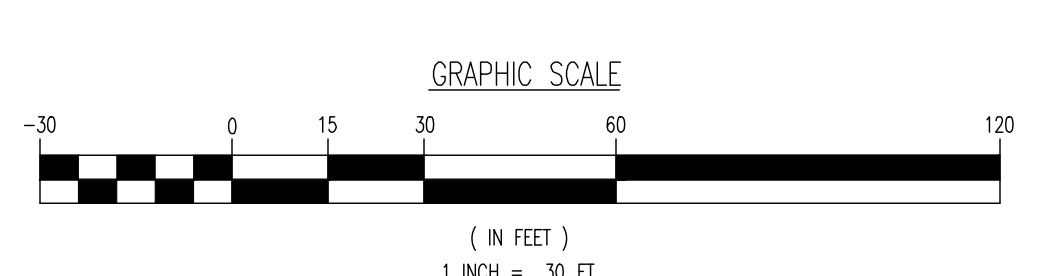
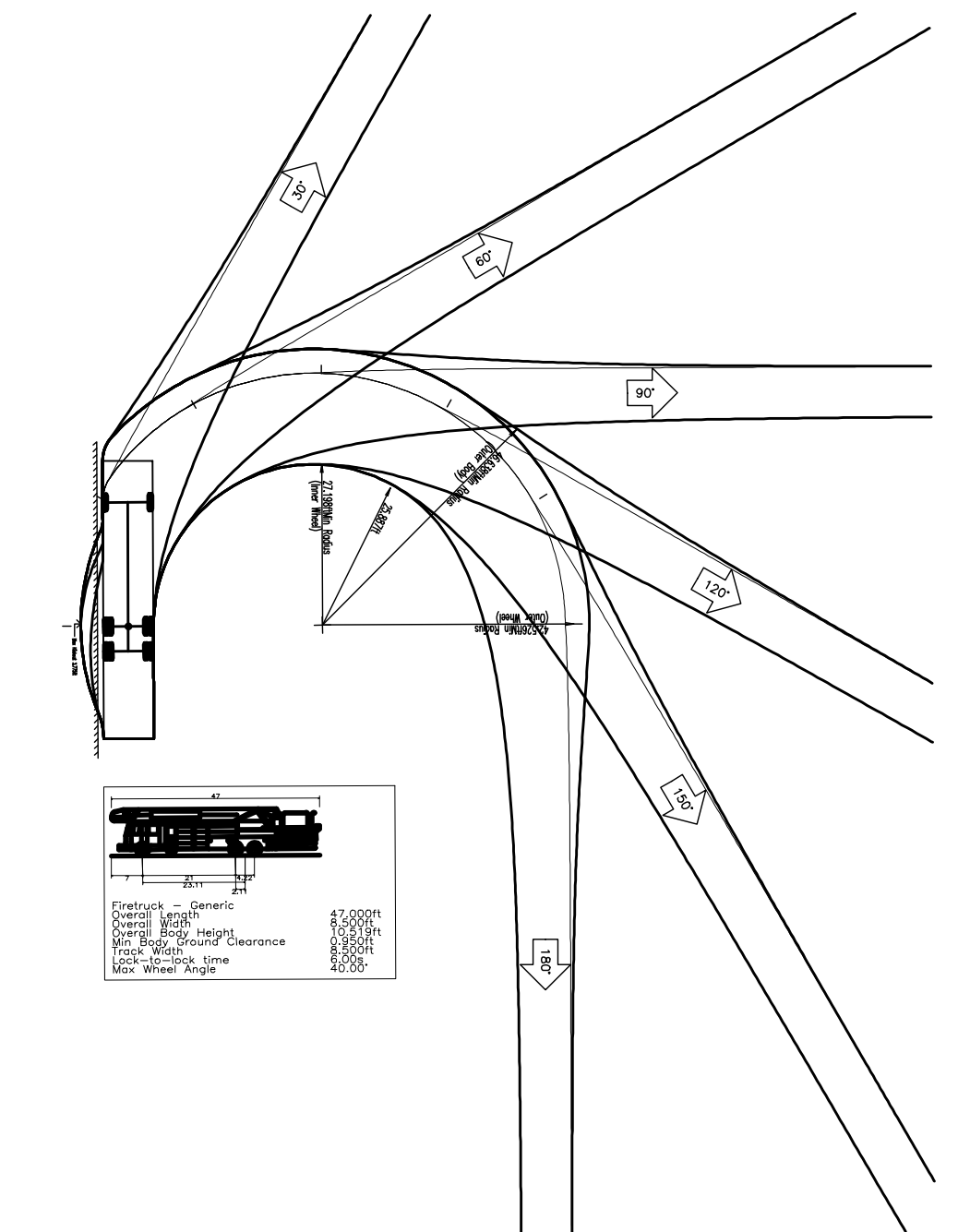
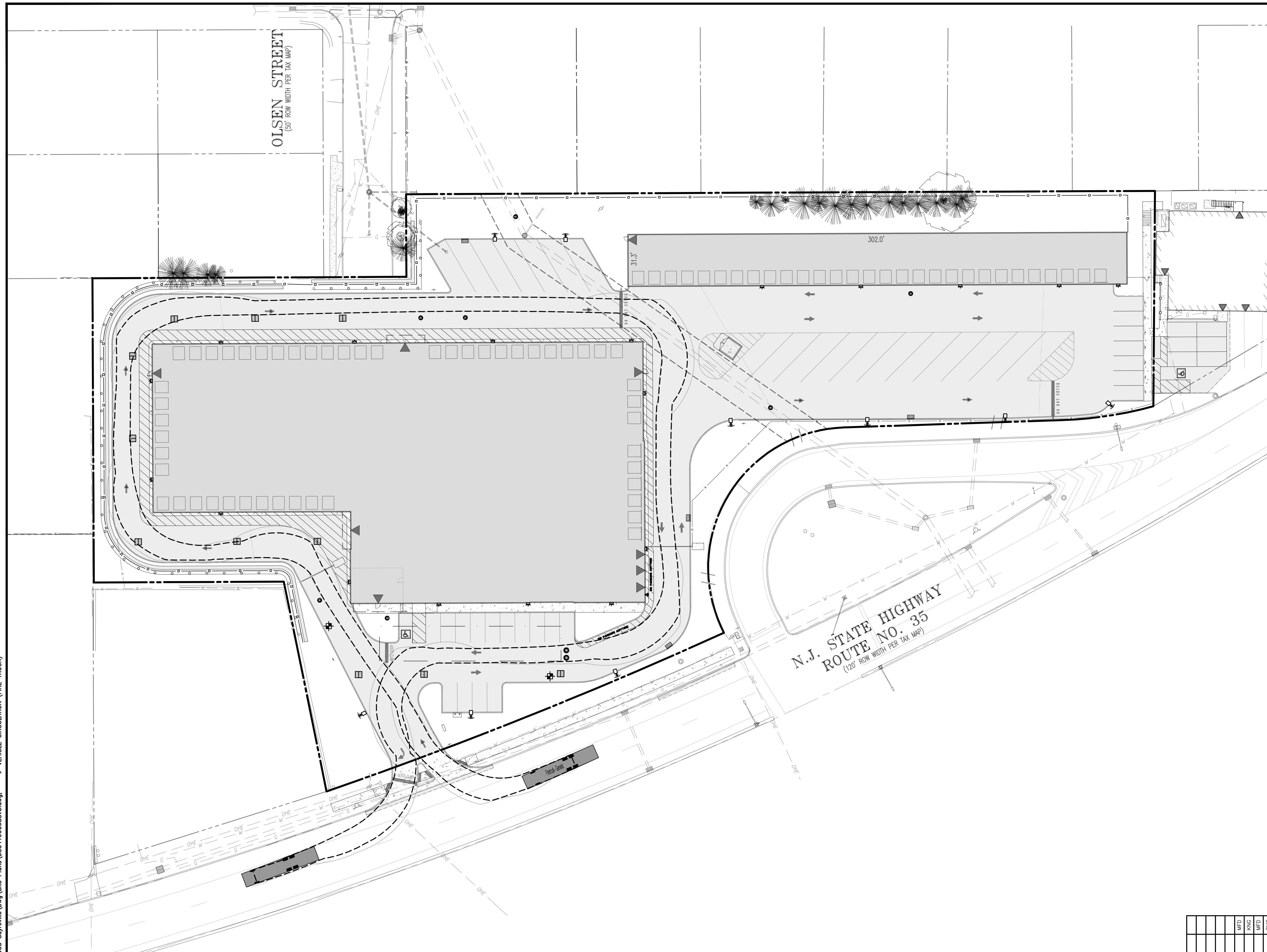
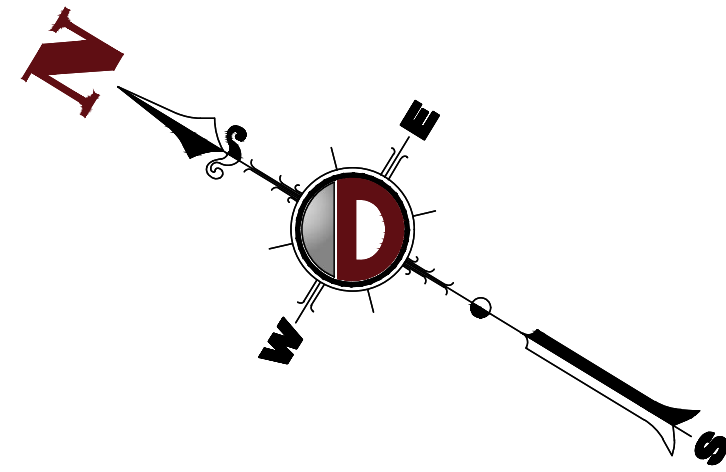
**THOMAS J. MULLER**  
*Thomas J. Muller*  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 52179

**JOHN A. PALUS**  
 PROFESSIONAL ENGINEER  
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1968 Main Street  
 Lake Como, NJ 07719  
 T: 732.974.0198  
 F: 732.974.3521  
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---

**TITLE: VEHICLE CIRCULATION (FIRE TRUCK)**

**PROJECT: INSIDE DEVELOPMENT PARTNERS, LLC  
 PROPOSED SELF-STORAGE FACILITY**

BLOCK 425, LOT 2.01 & 2.02  
 1960 & 1970 NJSH ROUTE 35  
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 3041-99-008  
 DATE: 09/16/2022  
 DRAWN BY: GMC  
 SCALE: (H) 1"=30'  
 (V)  
 DESIGNED BY: LPC/MDC  
 SHEET No:  
 CHECKED BY: TJM  
**22**  
 OF 22  
 Rev. # 5

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**THOMAS J. MULLER**  
*Thomas J. Muller*  
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 NEW JERSEY LICENSE No. 52179

**JOHN A. PALUS**  
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