

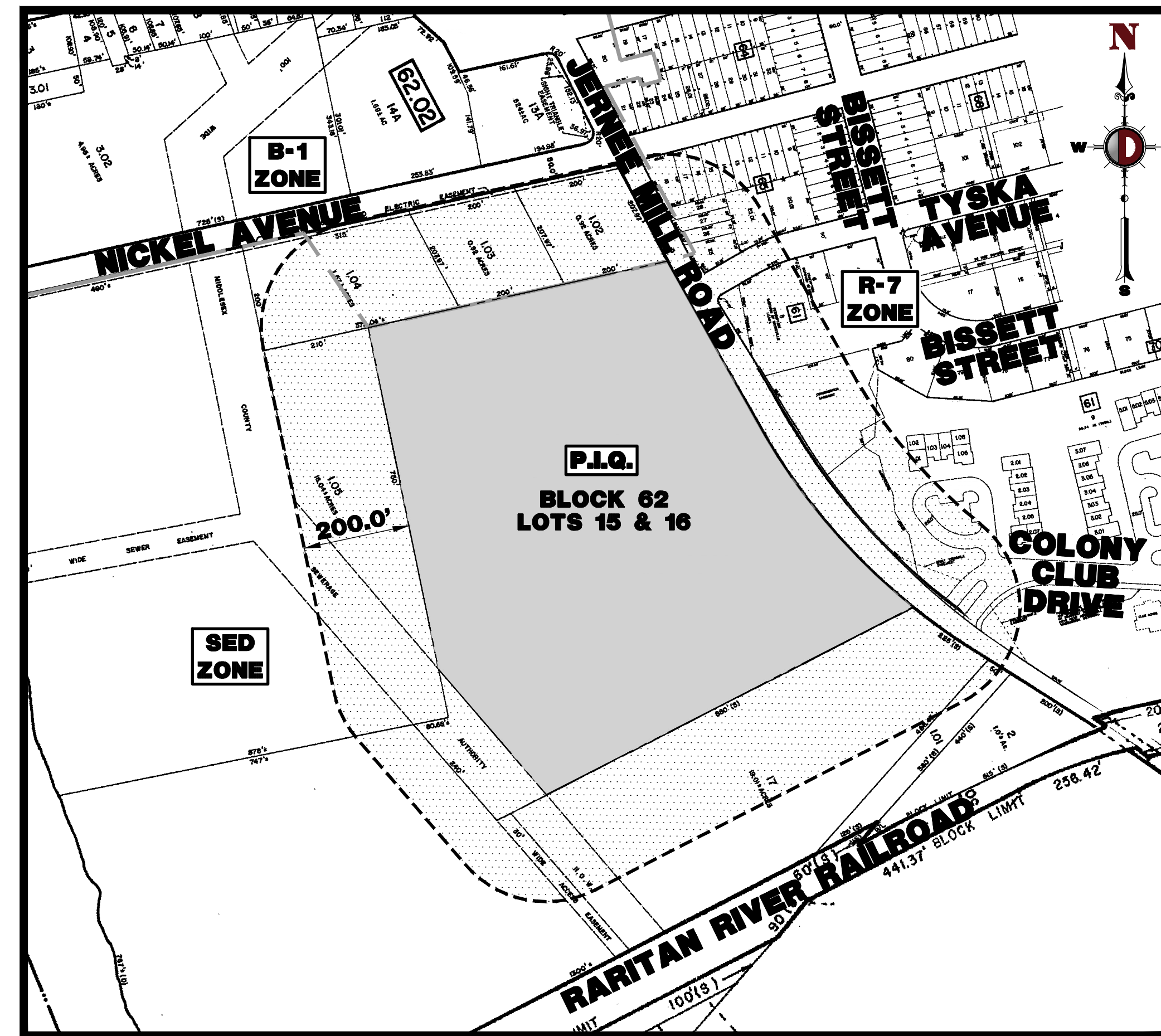
PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR LOT 15 JERNEE MILL, LLC PROPOSED SELF STORAGE FACILITY

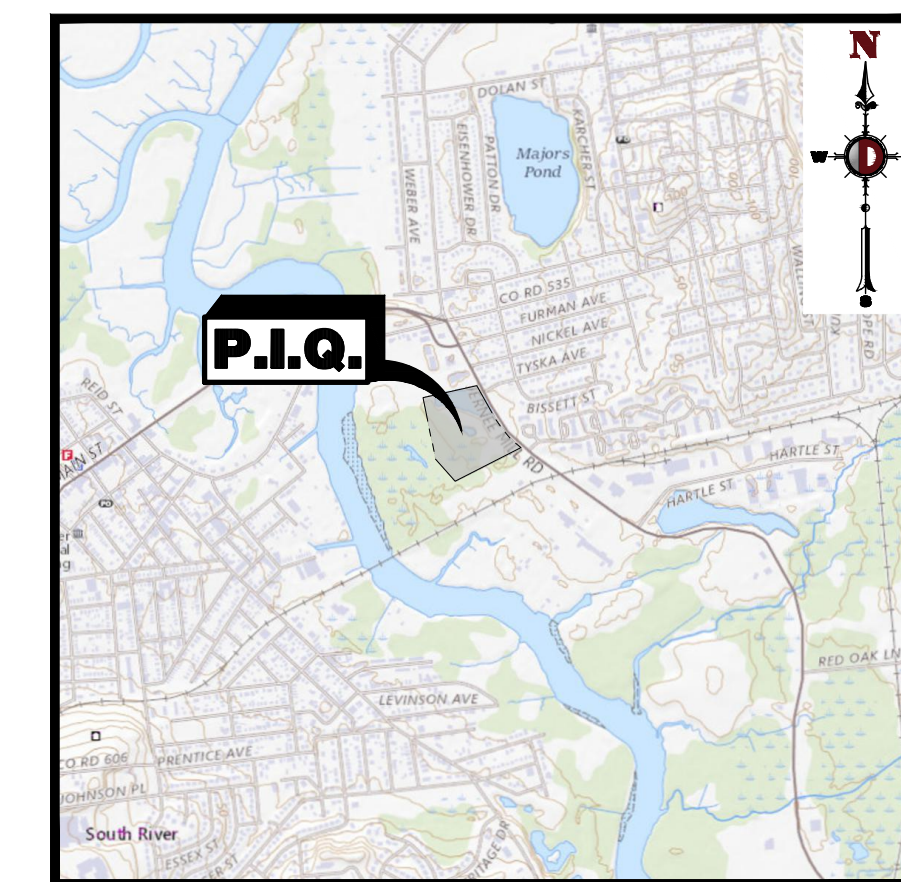
BLOCK 62, LOTS 15 & 16; TAX MAP SHEET #26 - LATEST REV. DATED 11-16-90
18 JERNEE MILL ROAD,
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	ALSO TO BE NOTIFIED
BOROUGH OF SAYREVILLE 167 MAIN STREET SAYREVILLE, NJ 08872	61	5, 6	JERSEY CENTRAL POWER & LIGHT COMPANY TAX DEPARTMENT 800 CROWN HILL DRIVE GREENSBORO, PA 15601
COLONY CLUB AT SAYREVILLE CONDOMINIUM ASSOCIATION C/O TAYLOR MANAGEMENT COMPANY 80 SOUTH JEFFERSON ROAD, 2 ND FLOOR MURFreesboro, NJ 07981	61	9	PUBLIC SERVICE ELECTRIC & GAS COMPANY TAX DEPARTMENT T-66 80 PARK PLAZA P.O. BOX 570 NEWARK, NJ 07101
MURT THOMAS 1 VREELAND COURT SAYREVILLE, NJ 08872	61	9	CONSOLIDATED RAIL CORPORATION NORFOLK SOUTHERN TAXATION DEPARTMENT 650 WEST PEACHTREE STREET NW ATLANTA, GA 30306
JERNEE MILL CENTER, LLC 6 WASHINGTON ROAD SAYREVILLE, NJ 08872	62	1.02, 1.03, 1.04	MIDDLESEX COUNTY UTILITIES AUTHORITY P.O. BOX 159 SAYREVILLE, NJ 08872
RIVERSIDE SUPPLY COMPANY, INC. 8 WASHINGTON ROAD SAYREVILLE, NJ 08872	62	1.05	NUSEP 36 WEST STATE STREET P.O. BOX 42 TRENTON, NJ 08625
MARY ALLEN, LLC 6 WASHINGTON ROAD SAYREVILLE, NJ 08872	62	17.01	MIDDLESEX COUNTY PLANNING BOARD 75 BARBARO STREET, 5 TH FLOOR NEW BRUNSWICK, NJ 08902
ALFRED F. & JULIA NOVAK 18 NICKEL AVENUE SAYREVILLE, NJ 08872	65	13-15	NUDOT DAVID GOLDBERG TRANSPORTATION CENTER 1055 PARKWAY AVENUE P.O. BOX 600 TRENTON, NJ 08625
LAURIE A. MIRANCE 19 NICKEL AVENUE SAYREVILLE, NJ 08872	65	16-18	NJ NATURAL GAS COMPANY JOHN WYCKOFF ROAD P.O. BOX 1454 WALL, NJ 07719
ELIZABETH PAYANO & PETERSON PAYANO 7 TYSKA AVENUE SAYREVILLE, NJ 08872	65	23.01	CABLEVISION 275 CENTENNIAL AVENUE CN8802 PISCATAWAY, NJ 08853-6805 ATTN: CONSTRUCTION DEPARTMENT
DONALD C. BROWN & DEBORAH GARDNER-BROWN 12 ANDERSON COURT SAYREVILLE, NJ 08872	65	25.26	MIDDLESEX COUNTY LANDFILL 53 EDGEBORO ROAD EAST BRUNSWICK, NJ 08816-1636
SUSAN WILBERT 51 JERNEE MILL ROAD SAYREVILLE, NJ 08872	65	27.28	CONSOLIDATED RAIL CORPORATION 1717 ARCH STREET / 2001 MARKET STREET PHILADELPHIA, PA 19103
			VERIZON NEW JERSEY 7000 HADLEY ROAD SOUTH PLAINFIELD, NJ 07080
			PSE&G 15 HOES LANE NEW BRUNSWICK, NJ 08902
			JCP&L C/O 1 ST ENERGY 300 MADISON AVENUE P.O. BOX 1911 MORRISTOWN, NJ 07962-1911 ATTN: CORPORATE PROPERTIES
			BOROUGH OF SAYREVILLE WATER & SEWER 167 MAIN STREET SAYREVILLE, NJ
			MIDDLESEX COUNTY UTILITIES AUTHORITY (MCUA) P.O. BOX 159 2571 MAIN STREET SAYREVILLE, NJ 08872-0086
			TRANSCONTINENTAL GAS PIPELINE 315 ELDRED ROAD LAWRENCEVILLE, NJ 08540 ATTN: ROBERT FORD



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

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PLANNING BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF BOROUGH OF SAYREVILLE, COUNTY OF MIDDLESEX, NEW JERSEY

CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

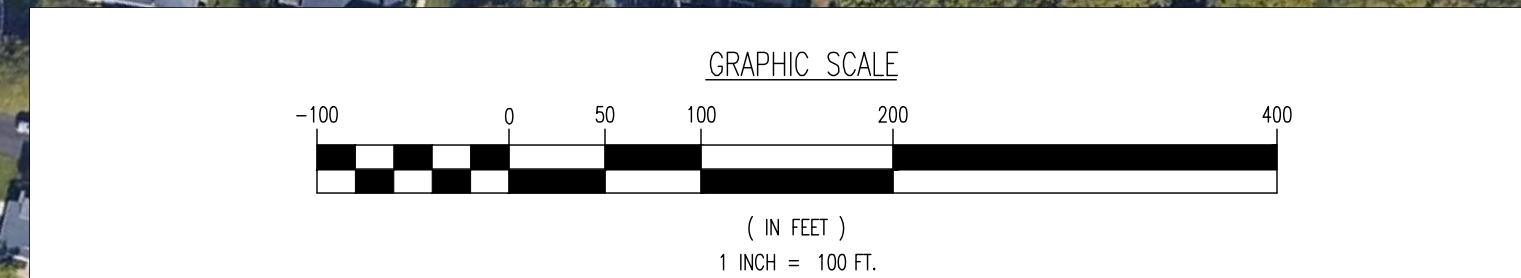
PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
40 MAIN STREET, 3RD FLOOR
TOMS RIVER, NJ 08753
WWW.DYNAMICCEC.COM

<p>LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING</p> <p>40 Main Street - 3rd Floor Toms River, NJ 08753 T: 732.974.0000 F: 732.974.3521 www.dynamiccec.com</p>	
<p>TITLE: COVER SHEET</p>	
<p>PROJECT: LOT 15 JERNEE MILL, LLC PROPOSED SELF STORAGE FACILITY</p> <p>BLOCK 62, LOTS 15 & 16 18 JERNEE MILL ROAD BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY</p>	<p>JOB No: 2334-22-00807</p> <p>DATE: 01/11/2023</p> <p>DRAWN BY: MFZ</p> <p>DESIGNED BY: MP</p> <p>CHECKED BY: RJM</p> <p>CHECKED BY: -</p>
<p>JOSHUA M. SEWALD</p> <p>PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908</p>	<p>RYAN MacNEILL</p> <p>PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56484</p>
<p>811 PROTECT YOURSELF</p> <p>ALL UTILITIES MUST BE LOCATED BY A QUALIFIED PERSON, OR ANY PERSON PREPARING TO EXCAVE OR DIGITALLY EXCAVATE, AT THE SITE.</p> <p>FOR STATE SPECIFIED DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>	
<p>Rev. # 2</p>	

Plotted: 07/25/23 - 2:47 PM, By: uveroce, Product: Veri 24.2s (LMS Tech), File: \\vepc.local\cadd\Drawings\Site Plans\23342200807\SK2.dwg, ---> 01 COVER SHEET



Plotted: 07/25/23 - 2:47 PM, By: uveroce, Product: Veri 24.2s (LMS Tech)
 File: \\vepc\local\verifolders\Data\DEPCF PROJECTS\2334_Arco Murray\22-00807_Sayreville\DWG\Site Plans\23342200807SV2.dwg, --> 02_AERIAL_MAP



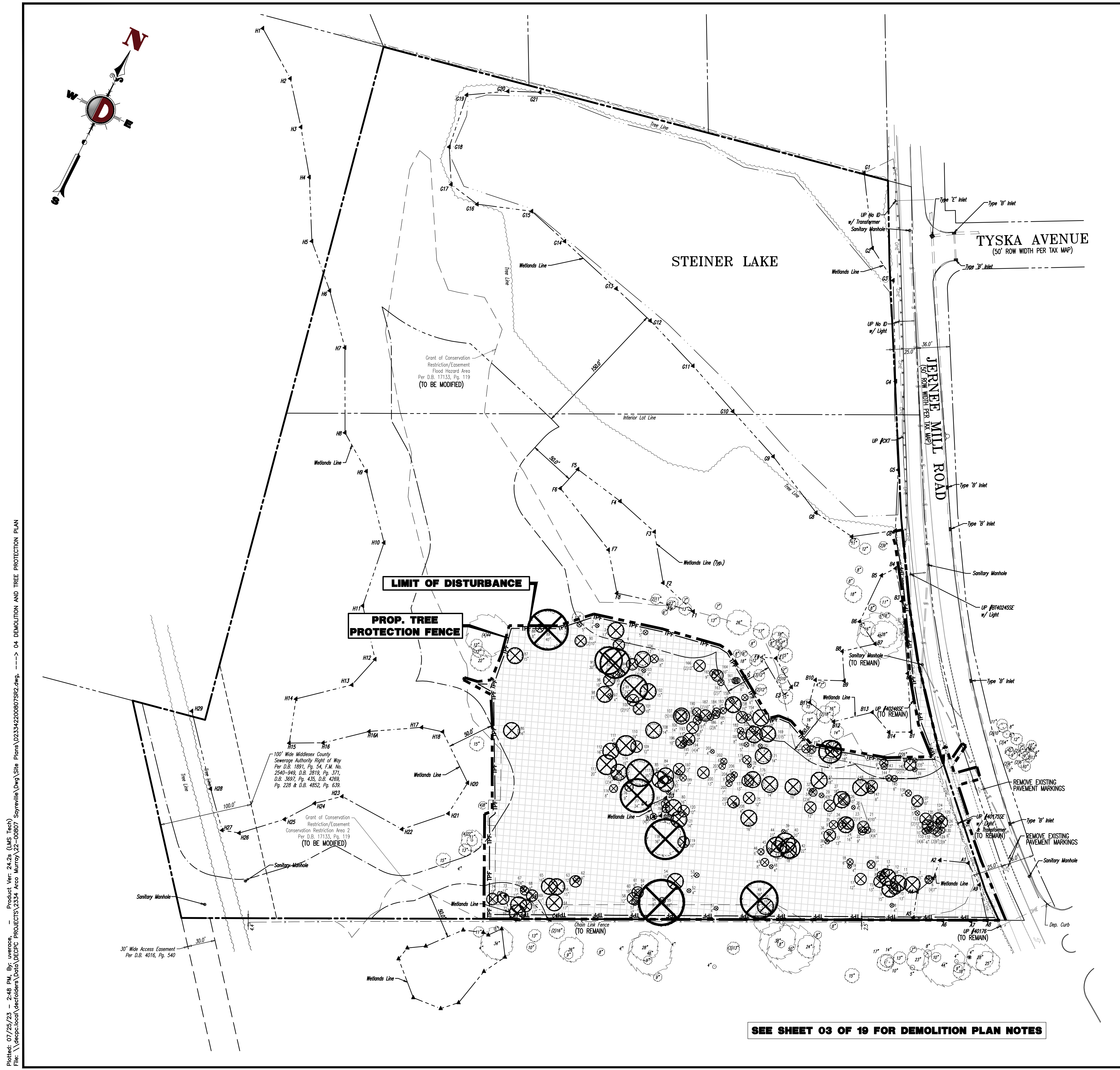
THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 06/16/22. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

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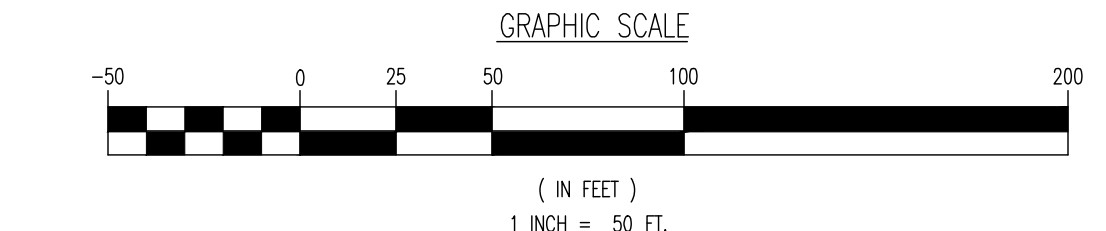
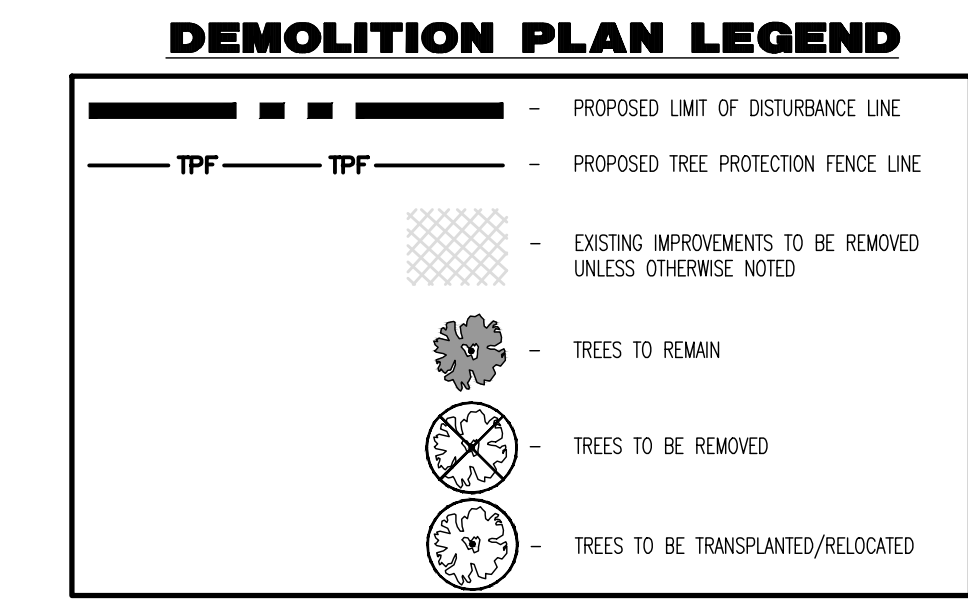
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 New Haven, Pennsylvania T: 267.682.0276 | Harrisburg, Pennsylvania T: 717.233.4233 | Philadelphia, Pennsylvania T: 610.298.4400

TITLE: AERIAL MAP		JOB No: 2334-22-00807	DATE: 01/11/2023
PROJECT: LOT 15 JERNEE MILL, LLC PROPOSED SELF STORAGE FACILITY		DRAWN BY: MFZ	SCALE: (H) 1"=100' (V)
BLOCK 62, LOTS 15 & 16 18 JERNEE MILL ROAD BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY		DESIGNED BY: MP	SHEET No:
JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908		RYAN MacNEILL PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56484	2 OF 19 Rev. # 2



TREES TO BE REMOVED INVENTORY											
NUMBER	SIZE (IN)	SPECIES	NUMBER	SIZE (IN)	SPECIES	NUMBER	SIZE (IN)	SPECIES	NUMBER	SIZE (IN)	SPECIES
1	5	OAK	53	5	LOCUST	107c	10	OAK	159	5	HICKORY
2	4	OAK	54	16	LOCUST	107d	10	OAK	160	6	CHERRY
3	17	OAK	55	48	LOCUST	107e	10	OAK	161	5	CHERRY
4	11	OAK	56	5	CHERRY	108	14	MAPLE	162	6	OAK
5	5	CHERRY	57	5	CHERRY	109	12	MAPLE	163a	7	BEECH
6a	7	OAK	58	12	CHERRY	110	19	BEECH	163b	7	BEECH
6b	7	OAK	59	8	LOCUST	111	4	CHERRY	164	10	MAPLE
6c	7	OAK	60	10	LOCUST	112	16	MAPLE	165	9	CHERRY
6d	7	OAK	61	6	LOCUST	113	20	LOCUST	166a	12	MAPLE
7	15	OAK	62	6	CHERRY	114	15	LOCUST	166b	12	MAPLE
8	4	BEECH	63	12	CHERRY	115	5	OAK	167a	18	CHERRY
9	15	BEECH	64	17	OAK	116	8	OAK	167b	18	CHERRY
10	13	OAK	65	16	OAK	117	25	OAK	167c	18	CHERRY
11	15	BEECH	66	15	OAK	118	36	LOCUST	168	18	OAK
12	18	BEECH	67a	6	BEECH	119	10	TULIP	169a	15	OAK
13	8	MAPLE	67b	6	BEECH	120	12	OAK	169b	15	OAK
14	8	OAK	68	9	BEECH	121	14	OAK	169c	15	OAK
15	13	MAPLE	69	11	BEECH	122	5	MAPLE	170	4	BEECH
16	7	MAPLE	70	12	OAK	123a	12	MAPLE	171	14	OAK
17	12	MAPLE	71	17	BEECH	123b	12	MAPLE	172	14	MAPLE
18	6	OAK	72	15	BEECH	124	10	MAPLE	173	16	LOCUST
19	4	MAPLE	73	11	OAK	125	8	CHERRY	174	16	OAK
20a	6	MAPLE	74	11	OAK	126	13	MAPLE	175	12	BEECH
20b	6	MAPLE	75a	4	CHERRY	127	5	HICKORY	176	14	BEECH
20c	6	MAPLE	75b	4	CHERRY	128a	9	HICKORY	177	13	OAK
20d	6	MAPLE	76	9	MAPLE	128b	9	HICKORY	178	4	MAPLE
21a	10	BEECH	77	34	HICKORY	128c	9	HICKORY	179	9	CHERRY
21b	10	BEECH	78a	7	BEECH	129a	9	GUM	180	5	MAPLE
21c	10	BEECH	78b	7	BEECH	129b	9	GUM	181	8	CHERRY
21d	10	BEECH	78c	7	BEECH	129c	9	GUM	182	7	CHERRY
22	9	BEECH	78d	7	BEECH	130	6	CHERRY	183	6	CHERRY
23a	11	OAK	79	7	BEECH	131	4	MAPLE	184	8	OAK
23b	11	OAK	80	16	BEECH	132	6	MAPLE	185	8	OAK
24	16	OAK	81a	9	BEECH	133a	6	MAPLE	186a	6	OAK
25	4	LOCUST	81b	9	BEECH	133b	6	MAPLE	186b	6	OAK
26	10	LOCUST	82	4	SASSAFRAS	133c	6	MAPLE	187a	10	BEECH
27	18	LOCUST	83	14	SASSAFRAS	133d	6	MAPLE	187b	10	BEECH
28	12	OAK	84	16	SASSAFRAS	134	10	OAK	188	4	BEECH
29a	5	CHERRY	85	18	OAK	135	6	OAK	189	7	BEECH
29b	5	CHERRY	86	16	OAK	136	5	BEECH	190	9	BEECH
29c	5	CHERRY	87	15	HICKORY	137	10	BEECH	191	8	CHERRY
29d	5	CHERRY	88	8	LOCUST	138	6	BEECH	192	12	OAK
30	12	HICKORY	89	40	BEECH	139	5	GUM	193	13	OAK
31a	6	BEECH	90a	10	BEECH	140a	12	LOCUST	194a	4	BEECH
31b	6	BEECH	90b	10	BEECH	140b	12	LOCUST	194b	4	BEECH
32	4	BEECH	91	30	OAK	141a	5	HICKORY	194c	4	BEECH
33	18	HICKORY	92	32	OAK	141b	5	HICKORY	194d	4	BEECH
34	7	CHERRY	93a	10	SASSAFRAS	142	9	OAK	195	7	OAK
35	9	LOCUST	93b	10	SASSAFRAS	143	7	OAK	196	10	MAPLE
36	4	MAPLE	93c	10	SASSAFRAS	144	6	OAK	197	12	BEECH
37	13	BEECH	94	5	SASSAFRAS	145	6	GUM	198	5	SASSAFRAS
38	5	BEECH	95	7	SASSAFRAS	146	12	OAK	199	7	BEECH
39	4	OAK	96	10	CHERRY	147	8	OAK	200	13	TULIP
40	20	OAK	97	4	CHERRY	148	16	ASH	201	4	MAPLE
41	18	HICKORY	98	15	BEECH	149	24	LOCUST	202	6	BEECH
42	22	HICKORY	99	24	SASSAFRAS	150	18	OAK	203	7	OAK
43	12	OAK	100a	12	OAK	151	8	HEWEN	204	9	BEECH
44	23	BEECH	100b	12	OAK	152	8	CHERRY	205	7	HICKORY
45	4	CHERRY	101	10	BEECH	153	12	TULIP	206	6	OAK
46	6	CHERRY	102	15	MAPLE	154	6	CHERRY	207	13	OAK
47	8	MAPLE	103	4	HICKORY	155	6	MAPLE	208	4	MAPLE
48	4	OAK	104	13	OAK	156	18	OAK			
49	38	LOCUST	105	8	BEECH	157a	4	BIRCH			
50	15	LOCUST	106	14	OAK	157b	4	BIRCH			
51	4	MAPLE	107a	10	OAK	157c	4	BIRCH			
52	4	LOCUST	107b	10	OAK	158	15	OAK			
TREES EQUAL TO OR GREATER THAN 4" AND LESS THAN 16"										220	
TREES EQUAL TO OR GREATER THAN 16"											39



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FOR STATE OPERATIONS DIRECT PHONE NUMBERS VISIT:
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TITLE: DEMOLITION AND TREE PROTECTION PLAN

**PROJECT: LOT 15 JERNEE MILL, LLC
PROPOSED SELF STORAGE FACILITY**

15 & 16
18 JERNEE MILL ROAD
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOSHUA M. SEWALD PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

RYAN MacNEILL PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 56484

Rev. Date
1 07/19/23 REV. PER BOROUGH & COUNTY COMMENTS
2 07/25/23 REV. PER BOROUGH COMMENTS

JOB No: 2334-22-00807
DATE: 01/11/2023

DRAWN BY: MFZ
DESIGNED BY: MP
CHECKED BY: RJM

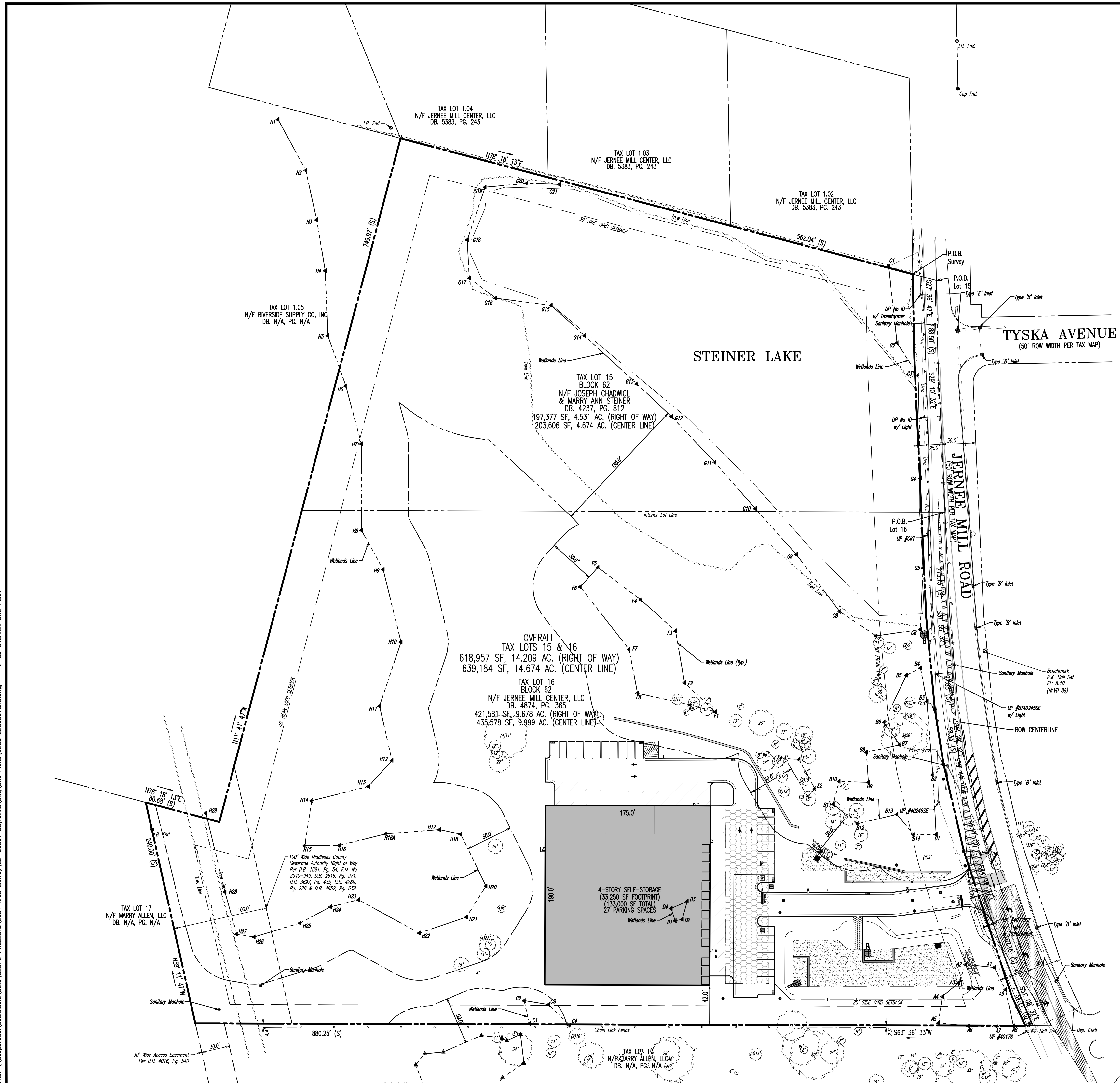
SCALE: (H) 1"=50'
(V)

SHEET No: 4
Of 19

Product Ver: 24.2s (LMS Tech)
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 File: \\vepcr\local\c\folders\Data\DEPCP PROJECTS\2334_Arco Murray\22-00807_Sayreville\DWG\Site Plans\03342200807SR2.dwg, --> 04 DEMOLITION AND TREE PROTECTION PLAN
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SEE SHEET 03 OF 19 FOR DEMOLITION PLAN NOTES

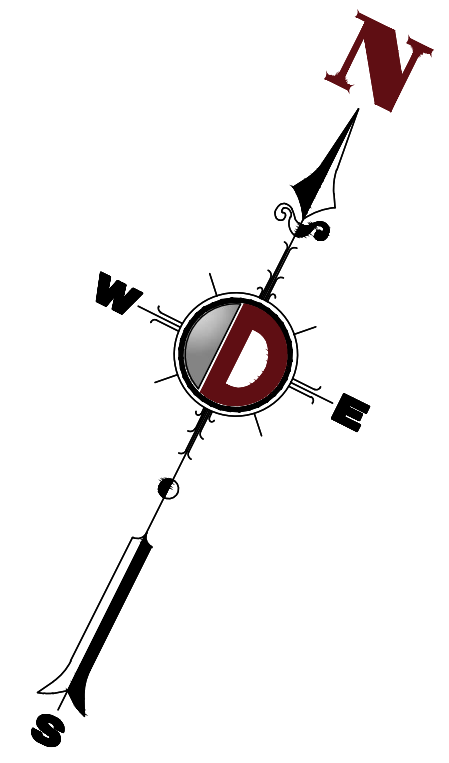
Plotted: 07/25/23 - 2:48 PM, By: uveroce, Product: Veri 24.2s (LMS Tech), File: \\vepcc\local\ufolder\Site Plans\23342200807SVS.dwg, ---> 05 OVERALL SITE PLAN



BULK CHART

ZONE REQUIREMENT	SED ZONE	EXISTING	PROPOSED
MINIMUM LOT AREA		60,000 SF	618,957 SF (14.2 Ac)
MINIMUM LOT WIDTH		150 FT	823.7 FT
MINIMUM LOT DEPTH		100 FT	640.3 FT
MINIMUM FRONT YARD SETBACK		50 FT	251.6 FT
MINIMUM REAR YARD SETBACK		40 FT	329.7 FT
MINIMUM SIDE YARD SETBACK		20 FT	42.0 FT
MINIMUM COMBINED SIDE YARD SETBACK (PRINCIPAL BUILDING)		50 FT	642.0 FT
MAXIMUM BUILDING HEIGHT		50 FT	46.7 FT
MAXIMUM LOT COVERAGE (BY BUILDINGS)		40%	5.4%
MAXIMUM IMPERVIOUS COVERAGE		85%	11.78%

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE



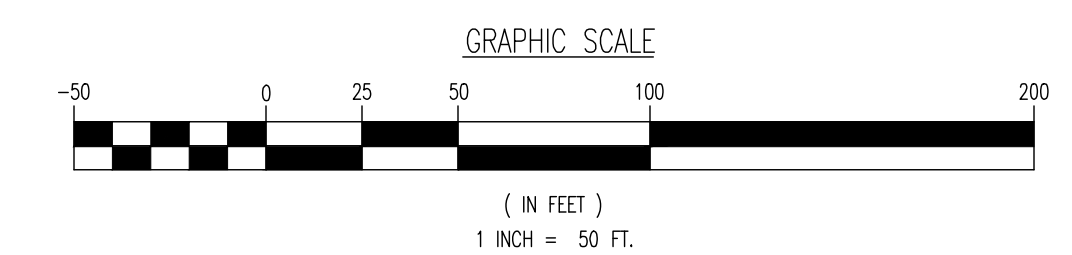
SIGNAGE CHART

SIGN MONUMENT	REQUIREMENTS	PROPOSED	
		ONE (1)	TWO (2)
BUILDING MOUNTED	NUMBER OF SIGNS:	ONE (1)	TWO (2)
	MAXIMUM SIGN AREA:	100 SF	159.11 SF (V)
	MINIMUM SIGN SETBACK:	[1] 10 FT [2] 25 FT	10 FT 25 FT
FREESTANDING/MONUMENT	NUMBER OF SIGNS:	ONE (1)	TWO (2)
	MAXIMUM SIGN AREA:	100 SF	159.11 SF (V)

[1] THE MAXIMUM SIZE OF FREESTANDING/MONUMENT SIGNAGE SHALL BE TEN (10) FEET OR THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS LESS. (§ SIGN SCHEDULE II)
 [2] THE MINIMUM FREESTANDING/MONUMENT SIGNAGE SETBACK SHALL BE ONE HALF (1/2) OF THE FRONT YARD SETBACK. (§ SIGN SCHEDULE II)
 [3] THE MAXIMUM SIZE OF BUILDING MOUNTED SIGNAGE IS ONE (1) SQUARE FOOT OF SIGNAGE PER EVERY ONE (1) LINEAR FOOT OF THE FRONT BUILDING FACADE OR ONE HUNDRED (100) SQUARE FEET, WHICHEVER IS LESS. ADDITIONALLY, BUILDING SIGNS SHALL NOT EXCEED TEN (10) PERCENT OF THE FIRST STORY PORTION OF WALL TO WHICH AFFIXED. (§ SIGN SCHEDULE II)
 [4] PROPOSED MONUMENT SIGNAGE TO BE COMPLIANT WITH TOWNSHIP STANDARDS.

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE

SEE SHEET 03 OF 19 FOR SITE PLAN NOTES



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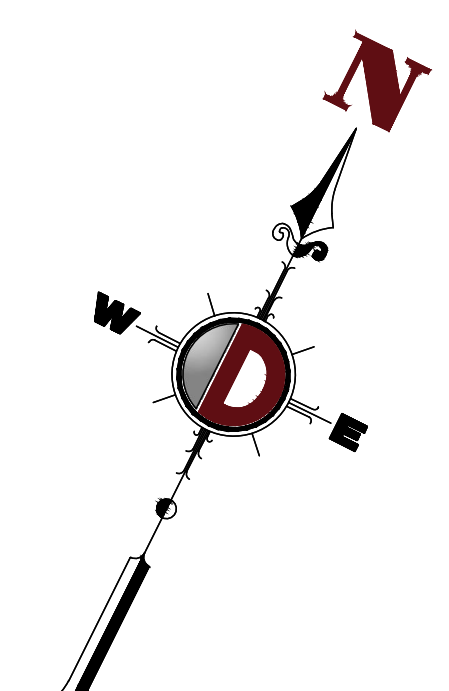
Job No: 2334-22-00807 DATE: 01/11/2023
 PROJECT: **LOT 15 JERNEE MILL, LLC**
PROPOSED SELF STORAGE FACILITY
 BLOCK 62, LOTS 15 & 16
 18 JERNEE MILL ROAD
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

DESIGNED BY: MFZ SCALE: (H) 1"=50'
 CHECKED BY: RJM SHEET No: **5**
 OF 19

JOSHUA M. SEWALD PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52908

RYAN MacNEILL PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 56484

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OVERALL
TAX LOTS 15 & 16
618,957 SF, 14.209 AC. (RIGHT OF WAY)
639,184 SF, 14.674 AC. (CENTER LINE)

TAX LOT 16
BLOCK 62
N/F JERNEE MILL CENTER, LLC
DB. 4874, PG. 365
421,581 SF, 9.678 AC. (RIGHT OF WAY)
435,578 SF, 9.999 AC. (CENTER LINE)

TAX LOT 17
N/F MARRY ALLEN, LLC
DB. N/A, PG. N/A

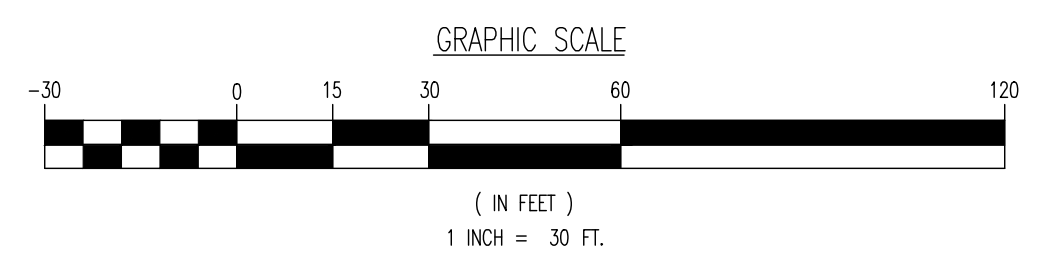
100' Wide Middlesex County
Sewerage Authority Right of Way
Per D.B. 1891, Pg. 54, F.M. No.
2540-349, D.B. 2819, Pg. 371,
D.B. 3897, Pg. 435, D.B. 4269,
Pg. 228 & D.B. 4852, Pg. 639.

750 SF OF WETLANDS
TO BE FILLED UNDER GP 6.

194 SF OF WETLANDS TO BE
FILLED UNDER GP 6.
4-STORY SELF-STORAGE
(33,250 SF FOOTPRINT)
(133,000 SF TOTAL)
27 PARKING SPACES

NOTE:
FIRE LANE STRIPING AND SIGNAGE SHALL BE PROVIDED
TO THE SATISFACTION OF THE BOROUGH FIRE OFFICIAL.

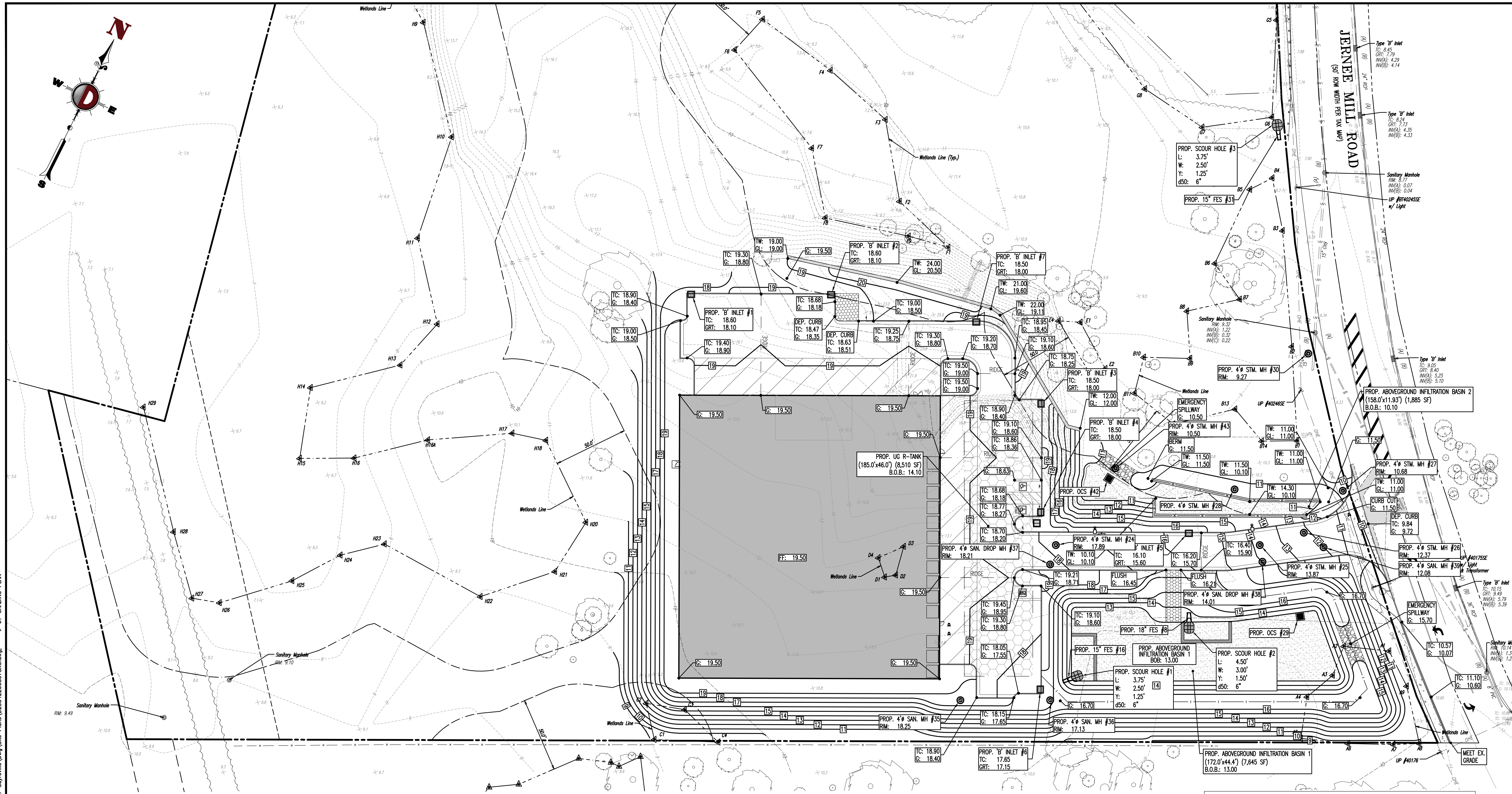
SEE SHEET 03 OF 19 FOR SITE PLAN NOTES



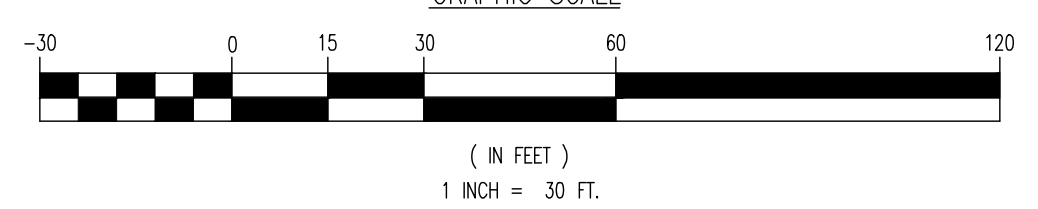
<p>LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING</p> <p>40 Main Street - 3rd Floor Toms River, NJ 08753 T: 732.678.0000 F: 732.974.3521 www.dynamicoc.com</p>	
<p>TITLE: SITE PLAN</p>	
<p>PROJECT: LOT 15 JERNEE MILL, LLC PROPOSED SELF STORAGE FACILITY</p>	<p>JOB No: 2334-22-00807</p>
<p>BLOCK 62, LOTS 15 & 16 18 JERNEE MILL ROAD BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY</p>	<p>DATE: 01/11/2023</p>
<p>DESIGNED BY: MFZ</p>	<p>SCALE: (H) 1"=30' (V)</p>
<p>CHECKED BY: RJM</p>	<p>SHEET No:</p>
<p>JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908</p>	<p>RYAN MacNEILL PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56484</p>
<p>811 PROTECT YOURSELF ALL UTILITIES MUST BE LOCATED BY A QUALIFIED OPERATOR. IF ANY UTILITY IS LOCATED WITHIN THE SERVICE AREA, THE OPERATOR SHALL BE NOTIFIED FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT WWW.CALL811.COM</p>	
<p>Rev. # 2</p>	

Plotted: 07/25/23 - 2:48 PM, By: uverose, Product: Veri 24.2s (LMS Tech)
File: \\dpc\local\defolders\data\DEPC\PROJECTS\2334_Arco Murray\22-00807_Sayreville\Draw\Site Plans\23342200807\SKS.dwg, --> 06 SITE PLAN

Plotted: 07/27/23 - 2:09 PM, By: uverace, File: \\veprc.local\veprc\Projects\2334_Arco_Murro\Site Plans\2334220807\Site Plans\07 Grading Plan



NOTE:
APPROXIMATELY 19,250 CY OF
NET FILL IS REQUIRED FOR
THE PROPOSED DEVELOPMENT



SEE SHEET 03 OF 19 FOR GRADING PLAN NOTES

GRADING/UTILITY GRAPHIC LEGEND			
PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES	
EXIST. GUY WIRE	EXIST. MONITORING WELL	PROP. WATER VALVE	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
EXIST. LIGHT POLE	APPROX. TEST PIT LOCATION	PROP. GAS VALVE	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
EXIST. BUILDING LIGHT	EXIST. FIRE HYDRANT	PROP. STORM CLEANOUT	EXIST. SANITARY SEWER LINE
EXIST. SHOE BOX LIGHT	EXIST. WATER VALVE	PROP. SANITARY CLEANOUT	PROP. SANITARY SEWER LINE
EXIST. COBRA LIGHT POLE	EXIST. GAS VALVE	PROP. AREA LIGHT	EXIST. STORM DRAIN LINE
EXIST. TRAFFIC SIGNAL POLE	EXIST. GAS METER	PROP. OUTLET CONTROL STRUCTURE	EXIST. STORM DRAIN LINE
EXIST. MANHOLE	EXIST. ELECTRIC METER	PROP. DRAINAGE MANHOLE	EXIST. STORM DRAIN LINE
EXIST. 'A' INLET	EXIST. ELECTRIC BOX	PROP. SANITARY SEWER MANHOLE	EXIST. STORM DRAIN LINE
EXIST. 'B' INLET	EXIST. CLEAN OUT	PROP. 'A' INLET	EXIST. STORM DRAIN LINE
EXIST. 'C' INLET	EXIST. WELL	PROP. 'B' INLET	EXIST. STORM DRAIN LINE
EXIST. YARD INLET	EXIST. WATER SHUT OFF VALVE	PROP. 'C' INLET	EXIST. STORM DRAIN LINE
EXIST. FLARED END SECTION	EXIST. TELEPHONE BOX	PROP. 'D' INLET	EXIST. STORM DRAIN LINE
EXIST. HEADWALL	EXIST. CABLE TV BOX	PROP. YARD INLET	EXIST. STORM DRAIN LINE
EXIST. UTILITY POLE	PROP. HEADWALL	PROP. FLARED END SECTION	EXIST. STORM DRAIN LINE
			EXIST. STORM DRAIN LINE

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GRADING PLAN

PROJECT: **LOT 15 JERNEE MILL, LLC
PROPOSED SELF STORAGE FACILITY**

JOB No: 2334-22-00807 DATE: 01/11/2023

DRAWN BY: MFZ SCALE: (H) 1"=30'
(V)

DESIGNED BY: MP SHEET No: 7

CHECKED BY: RJM

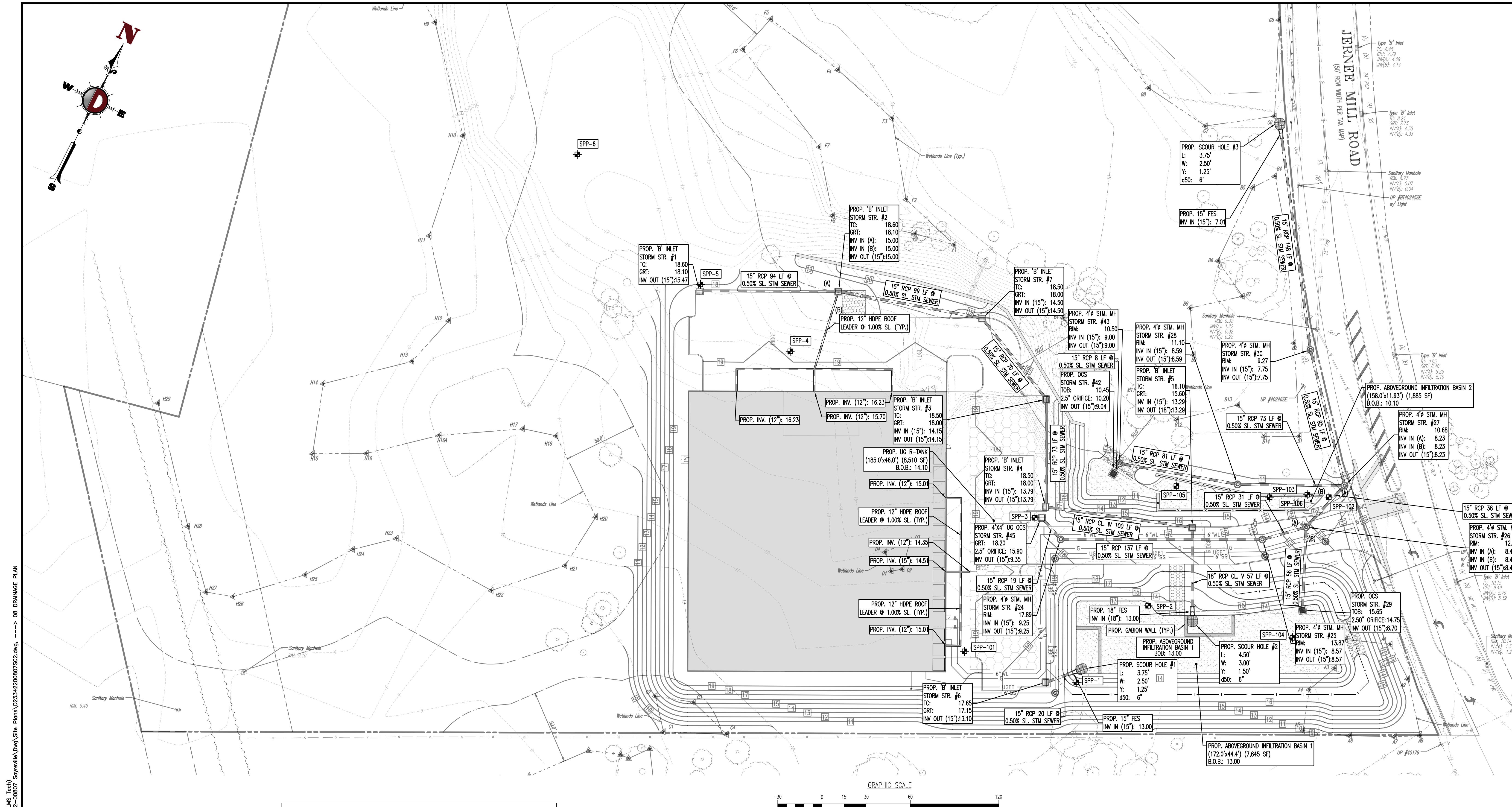
CHECKED BY: -

JOSHUA M. SEWALD PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

RYAN MacNEILL PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 56484

PROTECT YOURSELF
ALL UTILITIES REQUIRE LOCATION BY
ENGINEERING PERSONNEL OR AN OTHER
PERSONNEL TO VERIFY THE LOCATION
BEFORE ANY WORK IS PERFORMED.
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Rev. # 2



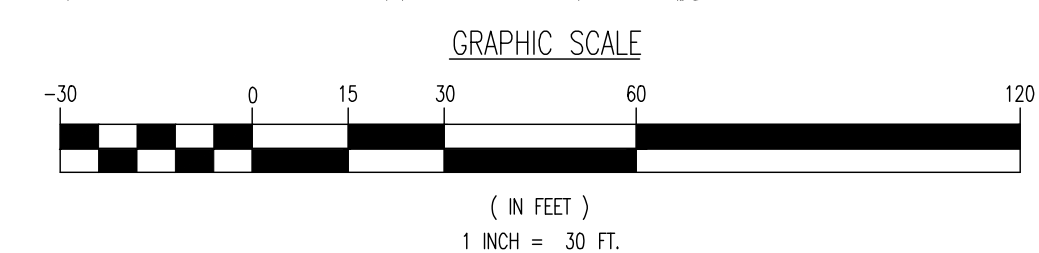
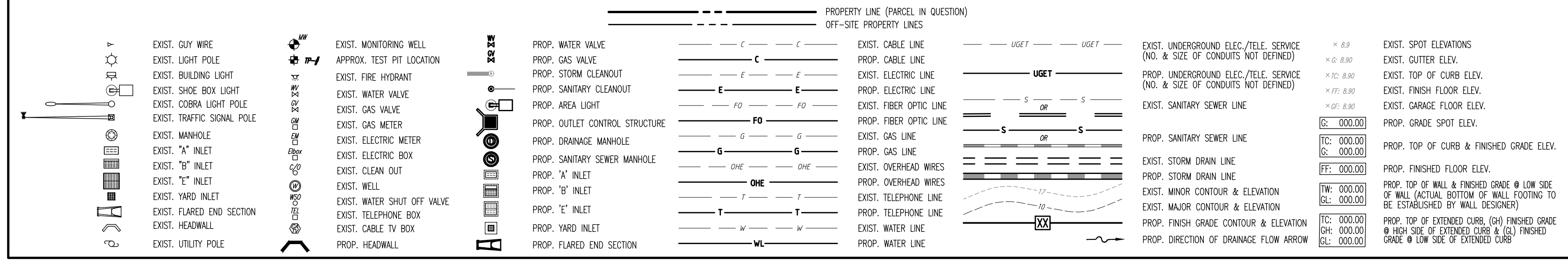
SOIL PROFILE PIT SUMMARY TABLE

SPP-#	SURFACE ELEV. (FT)	SHWT ELEV. (FT)	PERMEABILITY RATE (IN/HR)	SAMPLE DEPTH (IN)
SPP-1	10.4	7.9	2.0	20
SPP-2	11.0	7.9	3.3	30
SPP-3	13.5	11.0	6.5	24
SPP-4	16.6	12.1	<0.2	48
SPP-5	17.1	14.4	2.1	24
SPP-6	16.5	14.0	<0.2	24
SPP-101	10.8	7.8	8.7	18
SPP-102*	10.4	5.6	<0.2	30
SPP-103	10.4	6.6	4.5	20
SPP-104	9.5	6.5	14.9	8
SPP-105	9.0	5.7	3.6	20
SPP-106*	10.9	7.8	<0.2	18

*SPP-102 IS LOCATED OUTSIDE OF THE FOOTPRINT OF ABOVEGROUND INFILTRATION BASIN 2
 **A MINIMAL AMOUNT OF OVEREXCAVATION WILL BE REQUIRED

SEE SHEET 03 OF 19 FOR DRAINAGE PLAN NOTES

GRADING/UTILITY GRAPHIC LEGEND



Rev.	Date	Comments	By
1	07/19/23	REV. PER BOROUGH & COUNTY COMMENTS	KJH
2	07/19/23	REV. PER BOROUGH & COUNTY COMMENTS	KJH

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PROJECT: **LOT 15 JERNEE MILL, LLC**
PROPOSED SELF STORAGE FACILITY
 BLOCK 62, LOTS 15 & 16
 18 JERNEE MILL ROAD
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

TITLE: **DRAINAGE PLAN**

JOB No: 2334-22-00807 DATE: 01/11/2023

DRAWN BY: MFZ SCALE: (H) 1"=30'
(V)

DESIGNED BY: MP SHEET No:

CHECKED BY: RJM

CHECKED BY: -

JOSHUA M. SEWALD PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52908

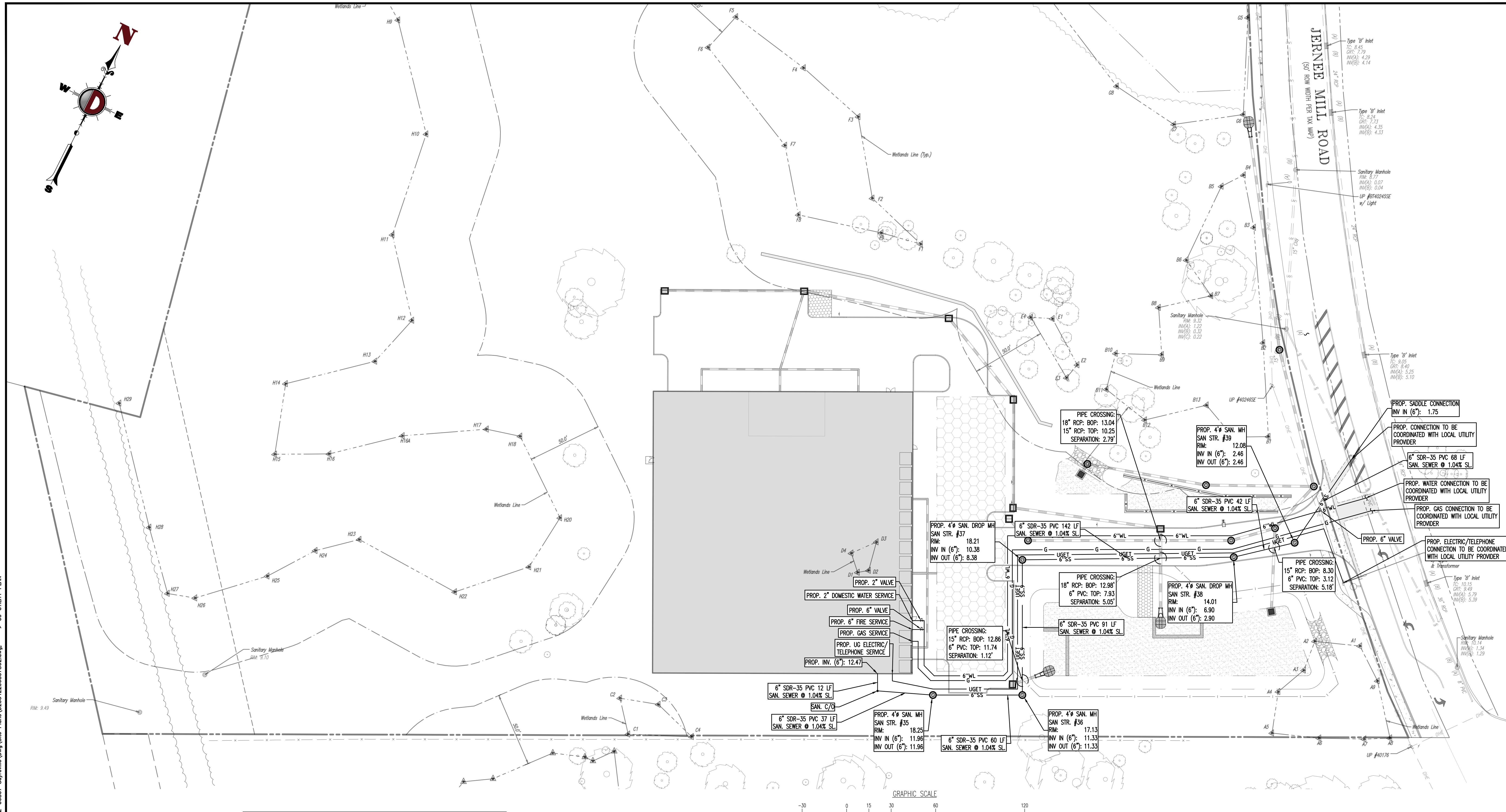
RYAN MacNEILL PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 56484

8
OF 19

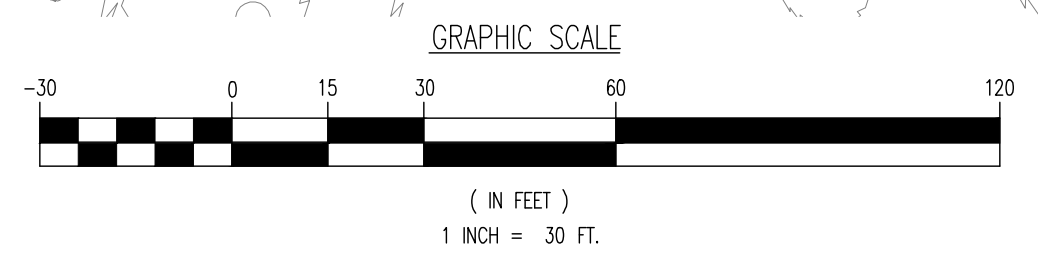
PROTECT YOURSELF
 ALL UTILITIES REQUIRE LOCATION BY
 ELECTRIC, GAS, WATER, OR ANY OTHER
 BEFORE ANY EXCAVATION OR ANY OTHER
 PREPARED TO ORDER THE SERVICE
 SERVICE PROVIDER. SEE THE STATE
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT
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SEE SHEET 03 OF 19 FOR UTILITY PLAN NOTES



GRADING/UTILITY GRAPHIC LEGEND			
PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES	
EXIST. GUY WIRE	EXIST. MONITORING WELL	PROP. WATER VALVE	EXIST. CABLE LINE
EXIST. LIGHT POLE	APPROX. TEST PIT LOCATION	PROP. GAS VALVE	PROP. CABLE LINE
EXIST. BUILDING LIGHT	EXIST. FIRE HYDRANT	PROP. STORM CLEANOUT	EXIST. ELECTRIC LINE
EXIST. SHOE BOX LIGHT	EXIST. WATER VALVE	PROP. SANITARY CLEANOUT	PROP. ELECTRIC LINE
EXIST. COBRA LIGHT POLE	EXIST. GAS VALVE	PROP. AREA LIGHT	EXIST. FIBER OPTIC LINE
EXIST. TRAFFIC SIGNAL POLE	EXIST. GAS METER	PROP. OUTLET CONTROL STRUCTURE	PROP. FIBER OPTIC LINE
EXIST. MANHOLE	EXIST. ELECTRIC METER	PROP. SANITARY MANHOLE	EXIST. GAS LINE
EXIST. "A" INLET	EXIST. ELECTRIC BOX	PROP. "A" INLET	PROP. GAS LINE
EXIST. "B" INLET	EXIST. CLEAN OUT	PROP. "B" INLET	PROP. OVERHEAD WIRES
EXIST. "C" INLET	EXIST. WELL	PROP. "C" INLET	PROP. OVERHEAD WIRES
EXIST. YARD INLET	EXIST. WATER SHUT OFF VALVE	PROP. "D" INLET	PROP. TELEPHONE LINE
EXIST. FLARED END SECTION	EXIST. TELEPHONE BOX	PROP. "E" INLET	EXIST. WATER LINE
EXIST. HEADWALL	EXIST. CABLE TV BOX	PROP. YARD INLET	EXIST. WATER LINE
EXIST. UTILITY POLE	PROP. HEADWALL	PROP. FLARED END SECTION	PROP. WATER LINE
			PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
			PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
			EXIST. SANITARY SEWER LINE
			PROP. SANITARY SEWER LINE
			EXIST. STORM DRAIN LINE
			PROP. STORM DRAIN LINE
			EXIST. MINOR CONTOUR & ELEVATION
			EXIST. MAJOR CONTOUR & ELEVATION
			PROP. FINISH GRADE CONTOUR & ELEVATION
			PROP. DIRECTION OF DRAINAGE FLOW ARROW
			EXIST. SPOT ELEVATIONS
			EXIST. GUTTER ELEV.
			EXIST. TOP OF CURB ELEV.
			EXIST. FINISH FLOOR ELEV.
			EXIST. GARAGE FLOOR ELEV.
			PROP. GRADE SPOT ELEV.
			PROP. TOP OF CURB & FINISHED GRADE ELEV.
			PROP. FINISHED FLOOR ELEV.
			PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (FACTORY BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
			PROP. TOP OF EXTENDED CURB, (2) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (2) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB

Rev.	Date	Comments	K/J/H	By
1	07/19/23	REV. PER BOROUGH & COUNTY COMMENTS	K/J/H	
2	07/19/23	REV. PER BOROUGH & COUNTY COMMENTS	K/J/H	

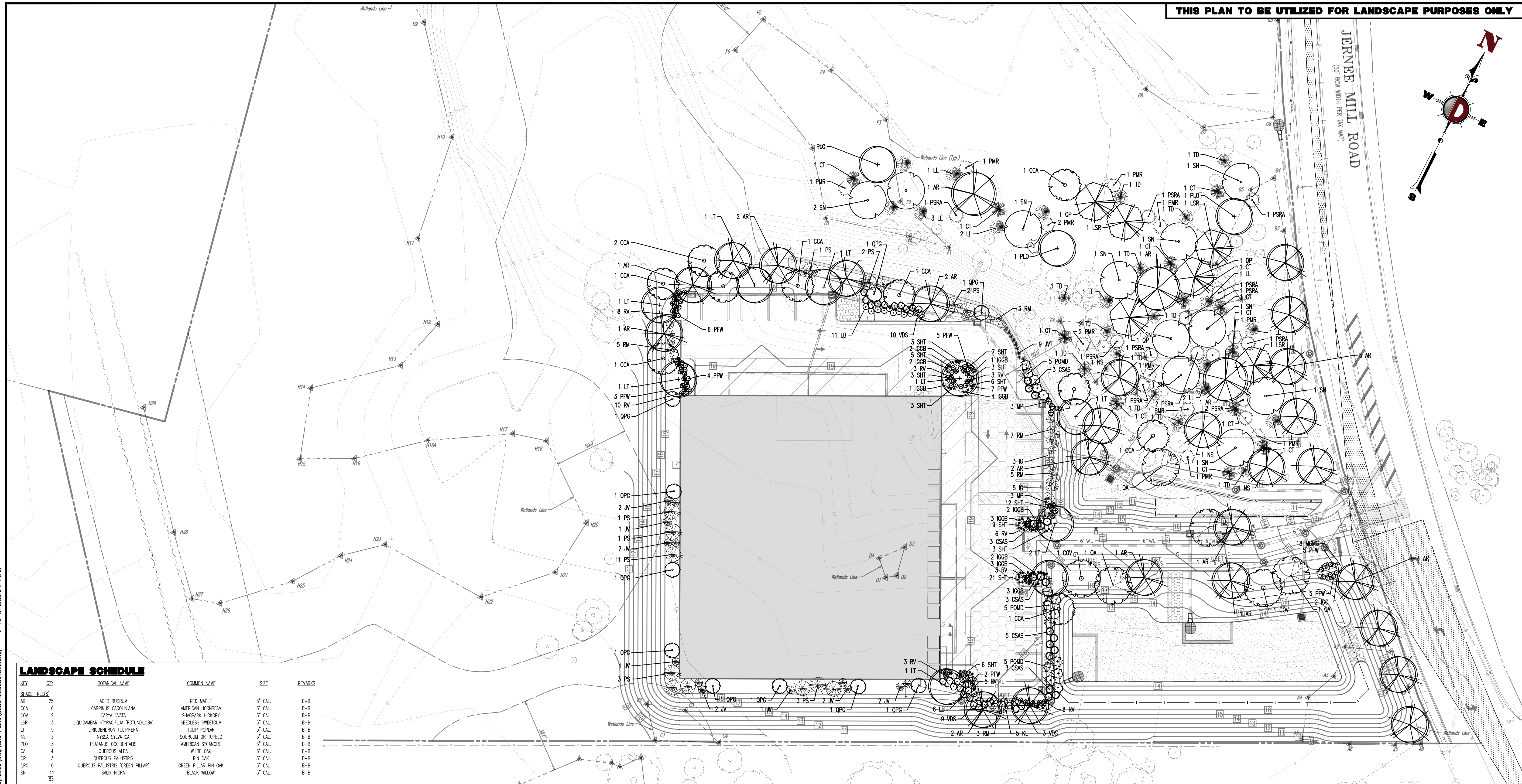
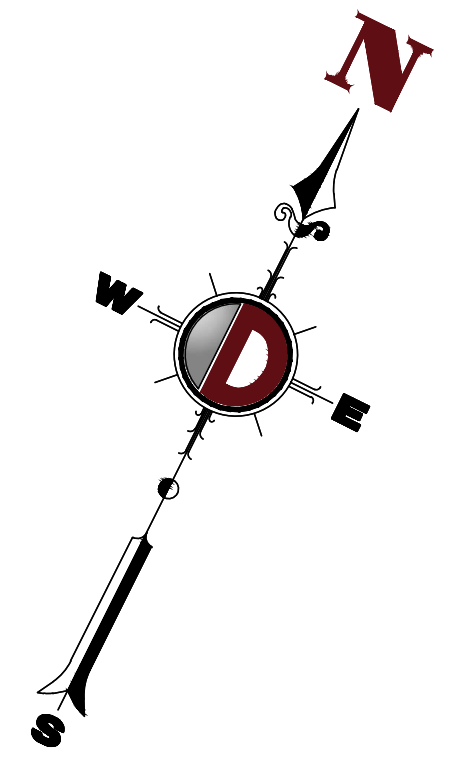
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TITLE: **UTILITY PLAN**
 PROJECT: **LOT 15 JERNEE MILL, LLC PROPOSED SELF STORAGE FACILITY**
 BLOCK 62, LOTS 15 & 16
 18 JERNEE MILL ROAD, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908	RYAN MacNEILL PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56484
--	---

JOB No: 2334-22-00807 | DATE: 01/11/2023
 DRAWN BY: MFZ | SCALE: (H) 1"=30' (V)
 DESIGNED BY: MP | SHEET No:
 CHECKED BY: RJM | **9**
 OF 19
 Rev. # 2

JERNEE MILL ROAD
(50' ROW WIDTH PER TAX MAP)



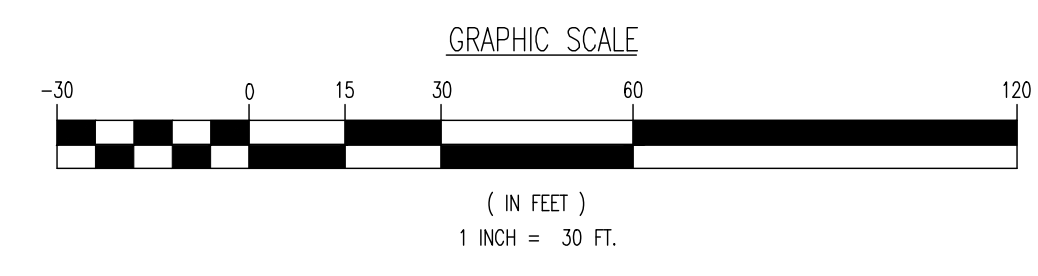
LANDSCAPE SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
AR	25	ACER RUBRUM	RED MAPLE	3" CAL	B+B
CCA	10	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3" CAL	B+B
COV	2	CARYA OVATA	SHAGBARK HICKORY	3" CAL	B+B
LSR	3	LIQUIDAMBAR STYRACIFLIA 'ROTUNDOLOBA'	SEEDLESS SWEETGUM	3" CAL	B+B
LT	9	LIRIODENDRON TULIPIFERA	TULIP POPLAR	3" CAL	B+B
NS	3	NYSSA SYLVATICA	SOURGUM OR TUPELO	3" CAL	B+B
PLO	3	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	3" CAL	B+B
QA	4	QUERCUS ALBA	WHITE OAK	3" CAL	B+B
OP	3	QUERCUS PALAISTRIS	PIN OAK	3" CAL	B+B
OPG	10	QUERCUS PALLISTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	3" CAL	B+B
SN	11	SALIX NIGRA	BLACK WILLOW	3" CAL	B+B
	83				
EVERGREEN TREE(S)					
CT	12	CHAMAECYPARIS THYOIDES	ATLANTIC	6"-7"	B+B
JV	13	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8"-10"	B+B
JVT	9	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR JUNIPER	5"-6"	B+B
LL	12	LARIX LARicina	EASTERN LARCH	12"-15"	B+B
PMR	13	PICEA MARIANA	BLACK SPRUCE	6"-7"	B+B
PS	14	PINUS STROBUS	EASTERN WHITE PINE	6"-7"	B+B
PSRA	13	PINUS SEROTINA	POND PINE	6"-8"	B+B
TD	12	TAXODIUM DISTICHUM	BALD CYPRESS	8"-10"	B+B
	98				
EVERGREEN SHRUB(S)					
IG	8	ILEX GLABRA	INKBERRY HOLLY	24"-30"	#5 CAN
IGC	2	ILEX GLABRA COMPACTA	DWARF INKBERRY HOLLY	24"-30"	#3 CAN
IGGB	27	ILEX GLABRA 'COUM BOU'	GEM BERRY INKBERRY HOLLY	2"-3"	#5 CAN
KL	5	KALMIA LATIFOLIA	MOUNTAIN LAUREL	30"-36"	B+B
RM	23	RHOODODENDRON MAXIMUM 'ROSEBAY'	ROSEBAY RHOODODENDRON	4"-5"	B+B
	65				
DECIDUOUS SHRUB(S)					
CSAS	17	CEANOTHUS AMERICANUS	NEW JERSEY TEA	30"-36"	#3 CAN
LB	17	LINDERA BENZON	SPICEBUSH	30"-36"	#5 CAN
MP	6	MYRTICA PENNSYLVANICA	NORTHERN BAYBERRY	30"-36"	B+B
PFW	37	POTENTILLA FRUTICOSA 'HAPPY FACE WHITE'	HAPPY FACE WHITE POTENTILLA	2"-3"	#3 CAN
POMD	15	PHYSCOCARPUS OPULIFOLIUS	NINE BARK 'DARKLE'	3"-4"	B+B
RV	49	RHOODODENDRON VISCOSUM	'SWAMP AZALEA'	3"-5"	#3 CAN
VDS	22	VEIBURNUM DENTATUM 'SYNNESTEDT'	(CHICAGO LUSTRE)NESTLEDT ARROWWOOD VEIBURNUM	3"-4"	B+B
	163				
GROUND COVER					
MGMG	18	OPHIPOGON JAPONICUS	MONDO GRASS/ MONKEY GRASS	5"-1" SPRD.	#3 CAN
PERENNIAL(S)					
SHT	81	SPOROBOLUS HETEROLEPS 'TARA'	DWARF PRAIRIE DROPSIED	2 GAL.	CONTAINER

Tree Calculations Chart	
Replacement Calculations for trees with a DBH equal to or greater than 4 inches and less than 16 inches (Per Ord. 830-7-B)	
Total Wooded Acres Permitted for Development	3.11 Acres
Total Wooded Acres to be Removed for Development	2.73 Acres
Percentage of Wooded Areas to be Disturbed (2.73 Ac/3.11 Ac)	87.8%
Trees to be Removed (See Trees to be Removed Inventory)	170 Trees
Percentage of Removed Trees to be Replaced (per Ord 30-7-C)	80%
Number of Trees Required to be Planted (=170 trees x 80%)	136 Trees
Replacement Calculations for trees with a DBH equal to or greater than 16 inches (Per Ord. 830-7-B)	
Trees to be Removed (See Trees to be Removed Inventory)	38 Trees
16" - 17" (# of Trees to be removed x 4 DBH Factor = # of Replacement Trees)	14 Trees x 3 New Trees = 42 Trees
18" - 20" (# of Trees to be removed x 4 DBH Factor = # of Replacement Trees)	12 Trees x 4 New Trees = 48 Trees
21" - 23" (# of Trees to be removed x 5 DBH Factor = # of Replacement Trees)	2 Trees x 5 New Trees = 10 Trees
24" - 28" (# of Trees to be removed x 6 DBH Factor = # of Replacement Trees)	3 Trees x 6 New Trees = 18 Trees
30" - 32" (# of Trees to be removed x 8 DBH Factor = # of Replacement Trees)	2 Trees x 8 New Trees = 16 Trees
32" - 39" (# of Trees to be removed x 12 DBH Factor = # of Replacement Trees)	3 Trees x 12 New Trees = 36 Trees
Greater than 41" (# of Trees to be removed x 15 DBH Factor = # of Replacement Trees)	2 Trees x 15 New Trees = 30 Trees
Number of Trees Required to be Planted	200 Trees
Number of Street Trees Required to be Planted (437 LF Developable Frontage)	
Street Trees Proposed	9 Trees Required
Additional Trees Required (27 Parking Spaces/2 Trees Required)	14 Trees Required
Additional Trees Proposed	23 Trees Proposed (Complex)
Total Replacement Trees Required 136 Trees (For 4"-15") + 200 Trees (For 16"+) + 9 Trees (Street Trees) + 14 Trees (Parking Spaces)	359 Trees
Total Trees Proposed (Deciduous) + (Evergreen)	181 Trees (Water)

LIMIT OF DISTURBANCE = 135,913 SF
LANDSCAPED AREA = 58,660 SF (43.2% OF LOD)
ROW LANDSCAPED AREA = 7,736 SF (5.7% OF LOD)

NOTE: ANY LANDSCAPING WHICH, WITHIN TWO (2) YEARS OF PLANTING, DIES, FOR ANY REASON, SHALL BE REPLACED BY THE DEVELOPERS AT THEIR EXPENSE, WITHIN SIXTY (60) DAYS OF WRITTEN NOTIFICATION

SEE SHEET 03 OF 19 FOR LANDSCAPE PLAN NOTES



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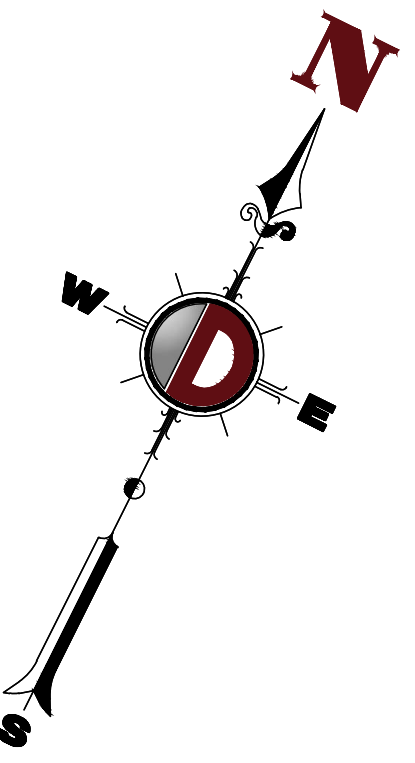
LANDSCAPE PLAN

PROJECT: **LOT 15 JERNEE MILL, LLC**
PROPOSED SELF STORAGE FACILITY
 BLOCK 62, LOTS 15 & 16
 18 JERNEE MILL ROAD,
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

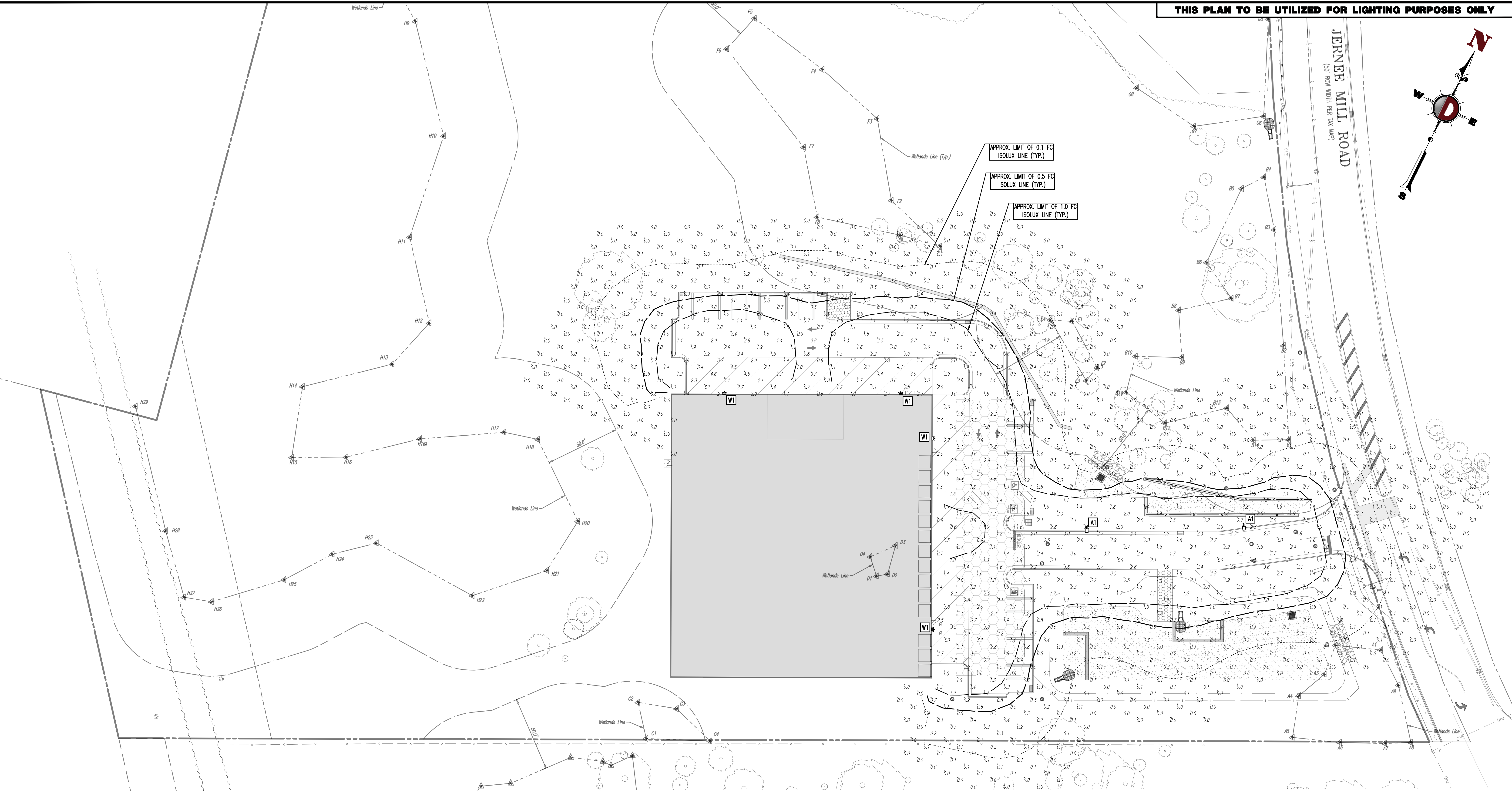
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 SCALE: (H) 1"=30'
 (V)
 DESIGNED BY: MP
 CHECKED BY: RJM
 SHEET No: **10** OF 19

Product: 07/25/23 - 2:49 PM, By: uwerece, File: \\svepc\local\server\data\DEPC\proj\03\2334_Arco_Murray\23-00807_Sayreville\DWG\Site Plans\23342200807SL2.dwg, ---> 10 LANDSCAPE PLAN

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



JERNEE MILL ROAD
(50' ROW WIDTH PER TPA WAP)



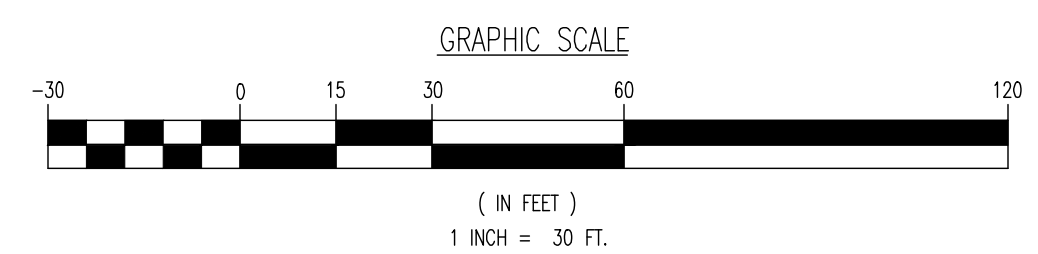
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 File: \\veprc1.local\jverfolders\Data\DEPCPC PROJECTS\2334_Arco Murray\22-00807_Sayreville Dwg\Site Plans\23342200807SI2.dwg, ----> 11 LIGHTING PLAN

LIGHTING LUMINAIRE SCHEDULE								
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	IES FILE
	2	A1	239	25	SINGLE	1.000	GE LIGHTING SOLUTIONS	EAL550_R44H730.....EL5-LAL-HF4-BL CK.IES
	4	W1	130	25	SINGLE	1.000	GE LIGHTING SOLUTIONS	EW501_G44F730.....IES

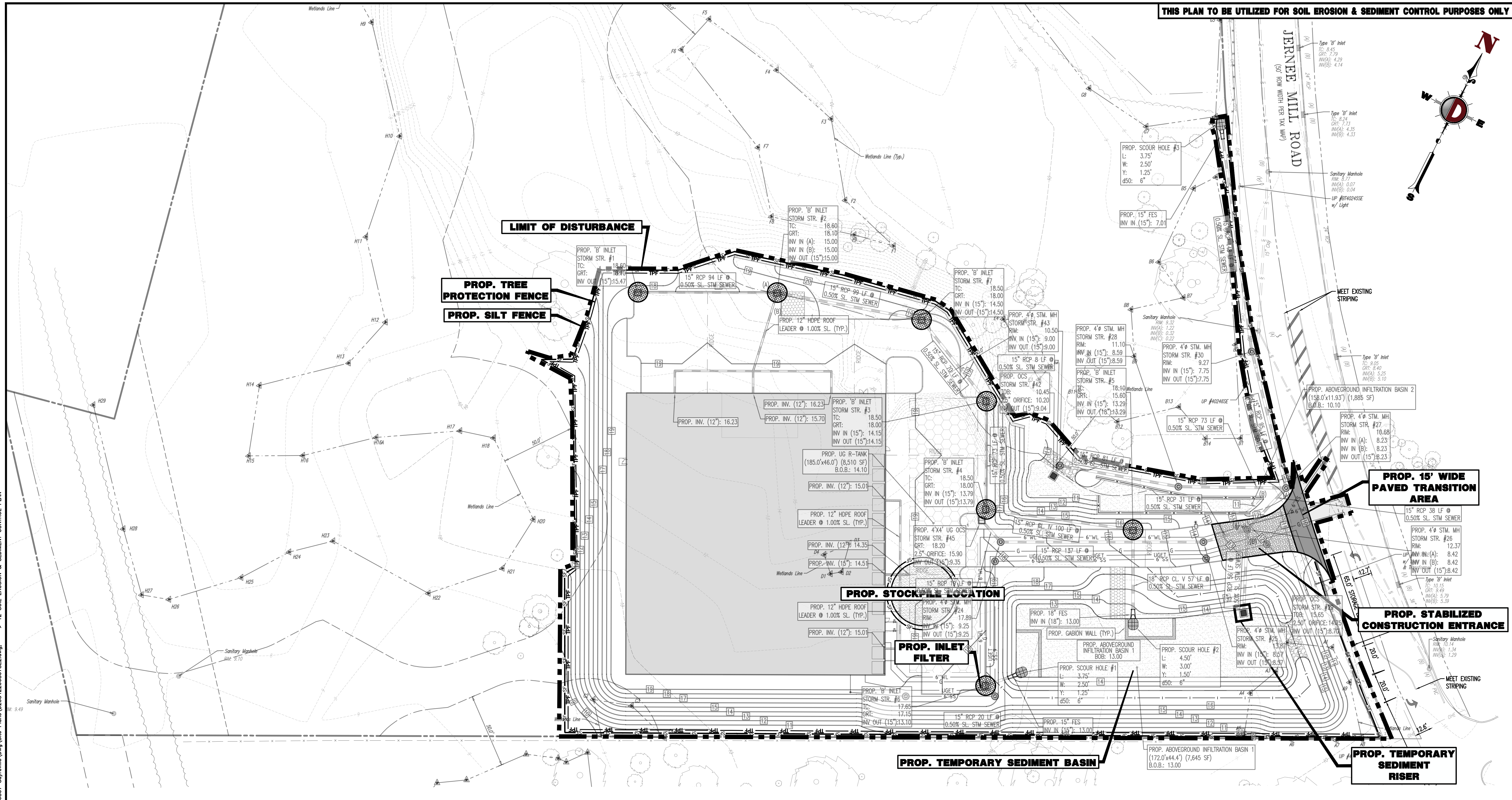
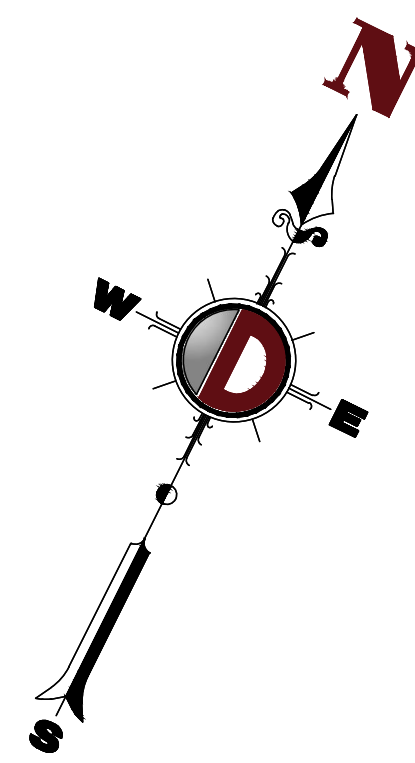
ISO CURVES ARE MAINTAINED AND SHOWN AT 1.0, 0.5 AND 0.1 FC.
 (FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY					
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.
PAVEMENT	1.94	5.1	0.3	6.47	17.00

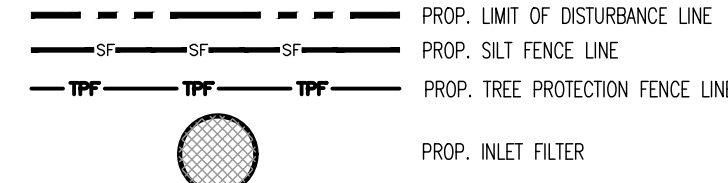
SEE SHEET O3 OF 19 FOR LIGHTING PLAN NOTES



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TITLE: LIGHTING PLAN		
PROJECT: LOT 15 JERNEE MILL, LLC PROPOSED SELF STORAGE FACILITY BLOCK 62, LOTS 15 & 16 18 JERNEE MILL ROAD BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY		JOB No: 2334-22-00807 DATE: 01/11/2023 SCALE: (H) 1"=30' (V)
DRAWN BY: MFZ DESIGNED BY: MP CHECKED BY: RJM		SHEET No: 11 OF 19
JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908	RYAN MacNEILL PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56484	
07/19/23 REV. PER BOROUGH & COUNTY COMMENTS 07/23/23 REV. PER BOROUGH COMMENTS	KCH KCH Date Comments	By



EROSION CONTROL LEGEND

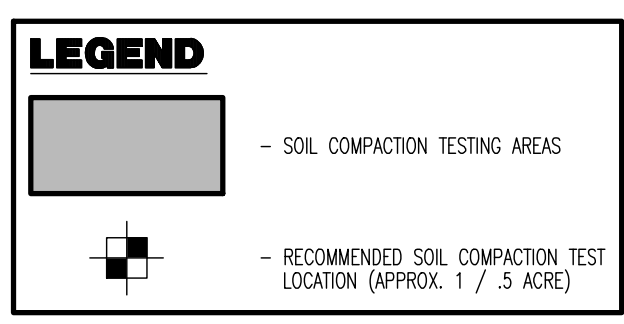
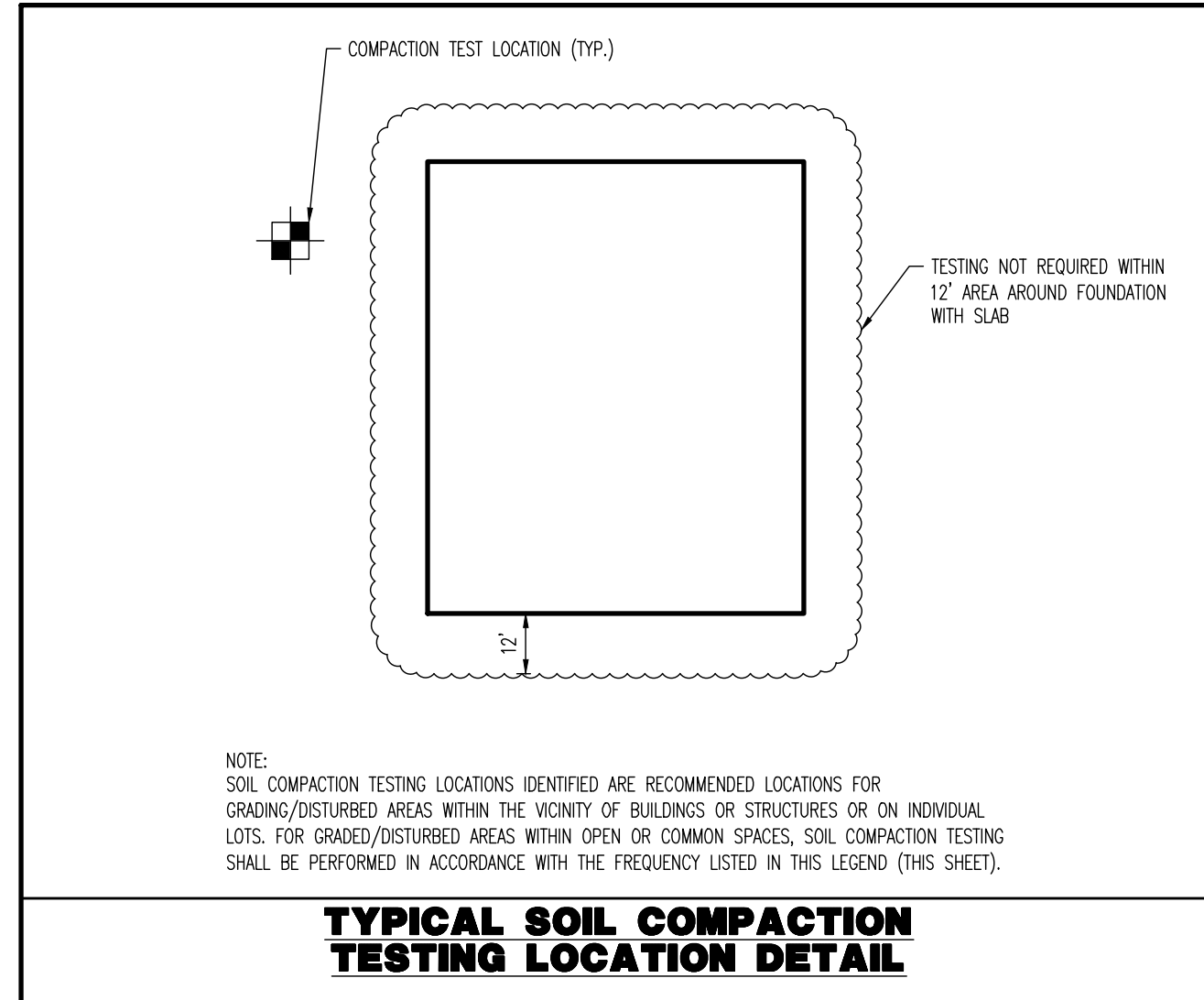
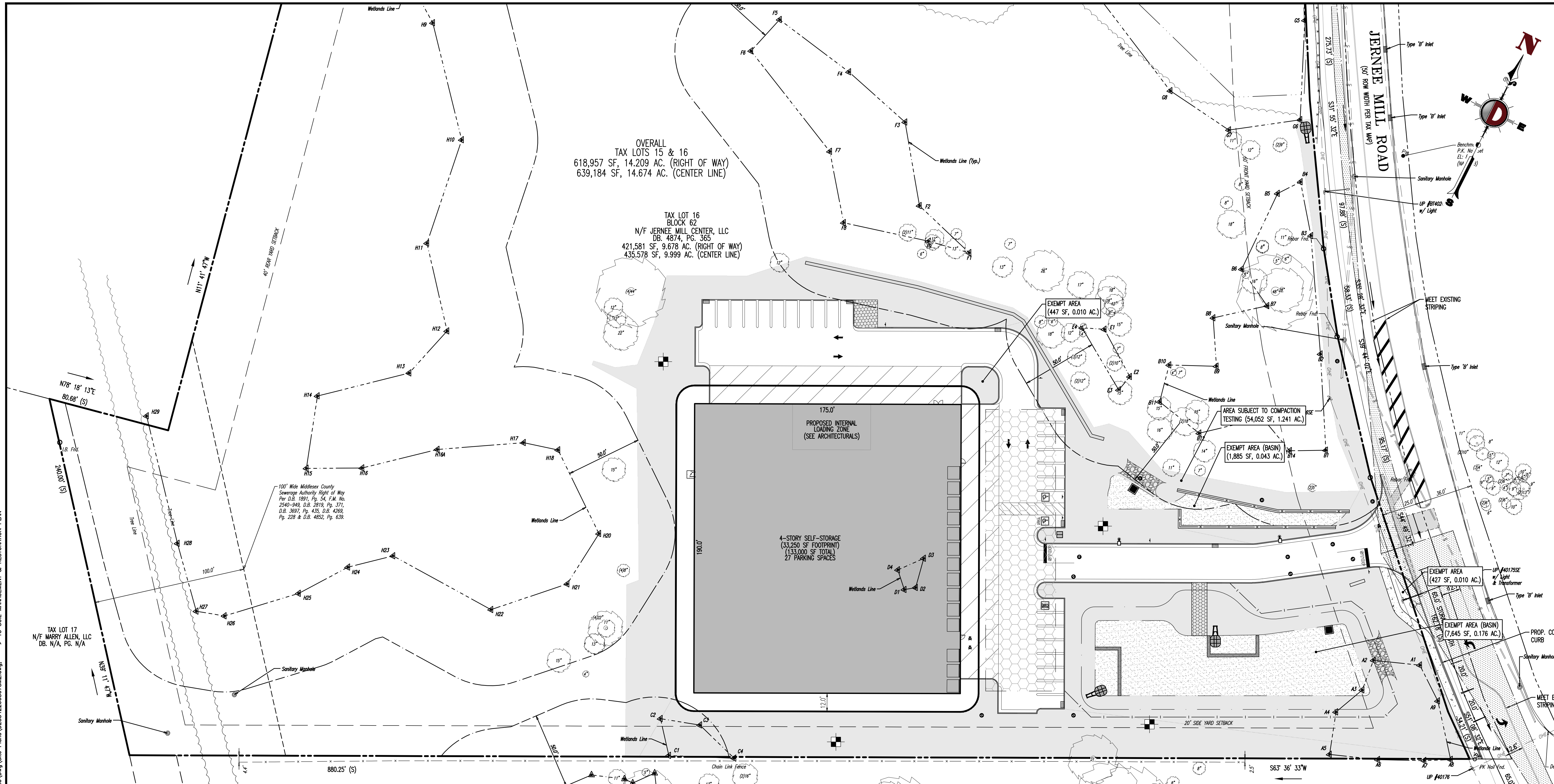


SEE SHEET 14 & 15 OF 19 FOR SOIL EROSION NOTES AND DETAILS

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<p>TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN</p> <p>PROJECT: LOT 15 JERNEE MILL, LLC PROPOSED SELF STORAGE FACILITY BLOCK 62, LOTS 15 & 16 18 JERNEE MILL ROAD BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY</p>	
<p>JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908</p>	<p>RYAN MacNEILL PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56484</p>
<p>JOB No: 2334-22-00807 DRAWN BY: MFZ DESIGNED BY: MP CHECKED BY: RJM</p>	<p>DATE: 01/11/2023 SCALE: (H) 1"=50' (V) SHEET No: 12 OF 19 Rev. # 2</p>

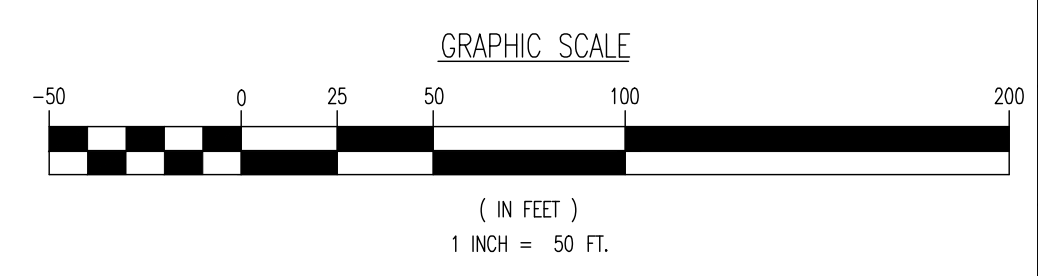
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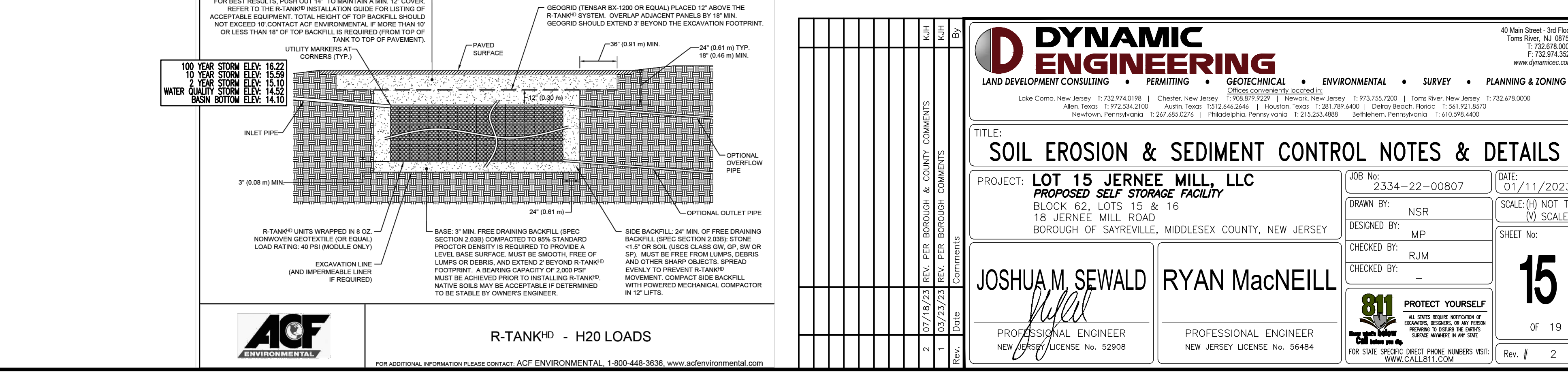
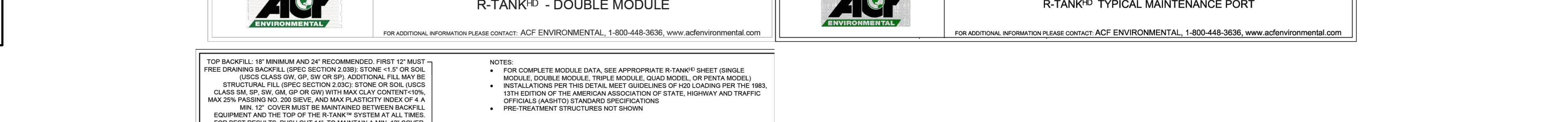
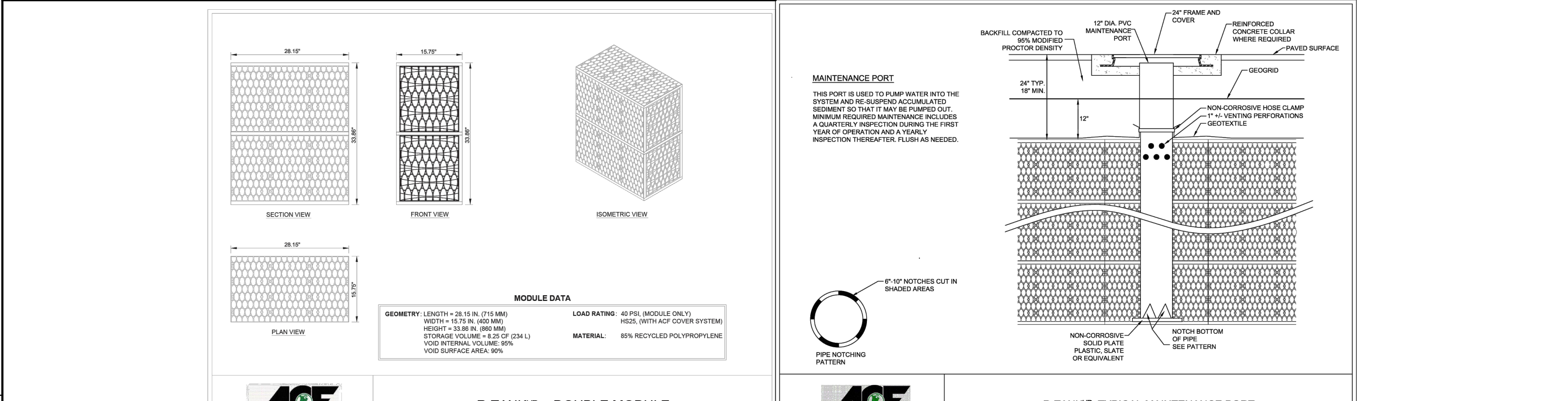
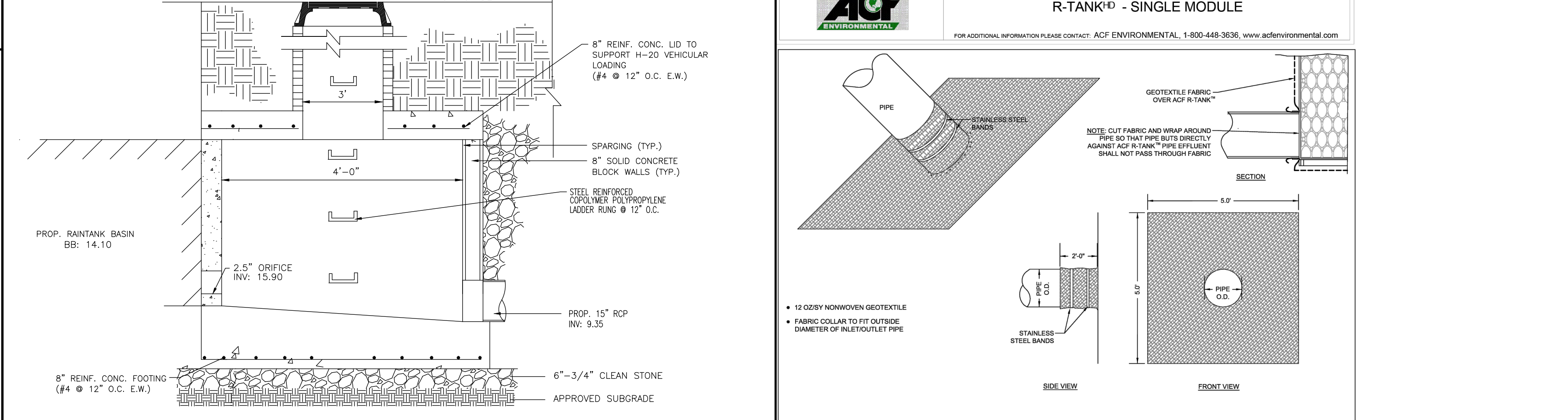
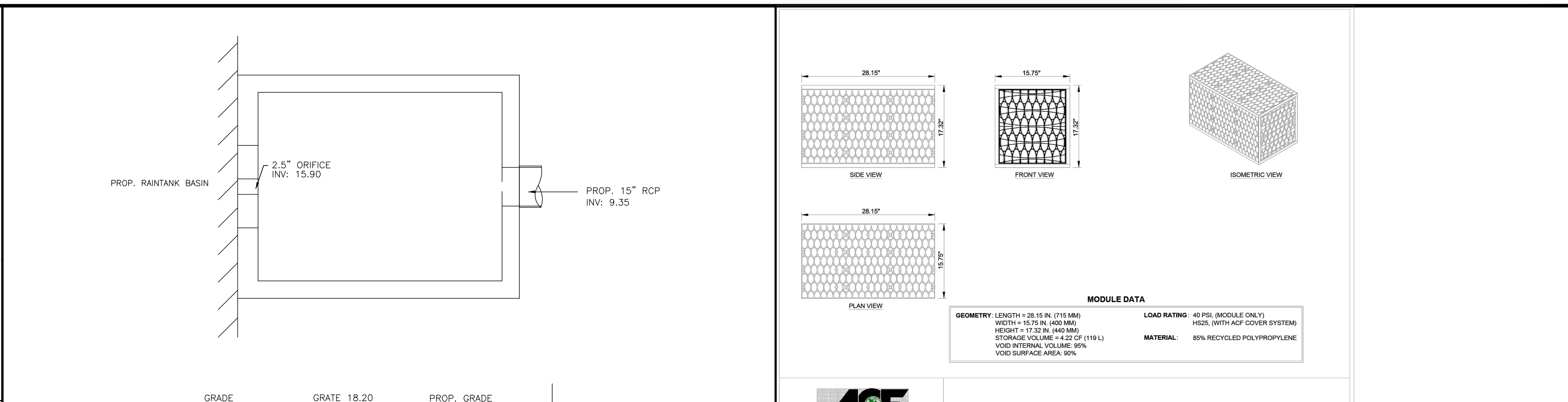
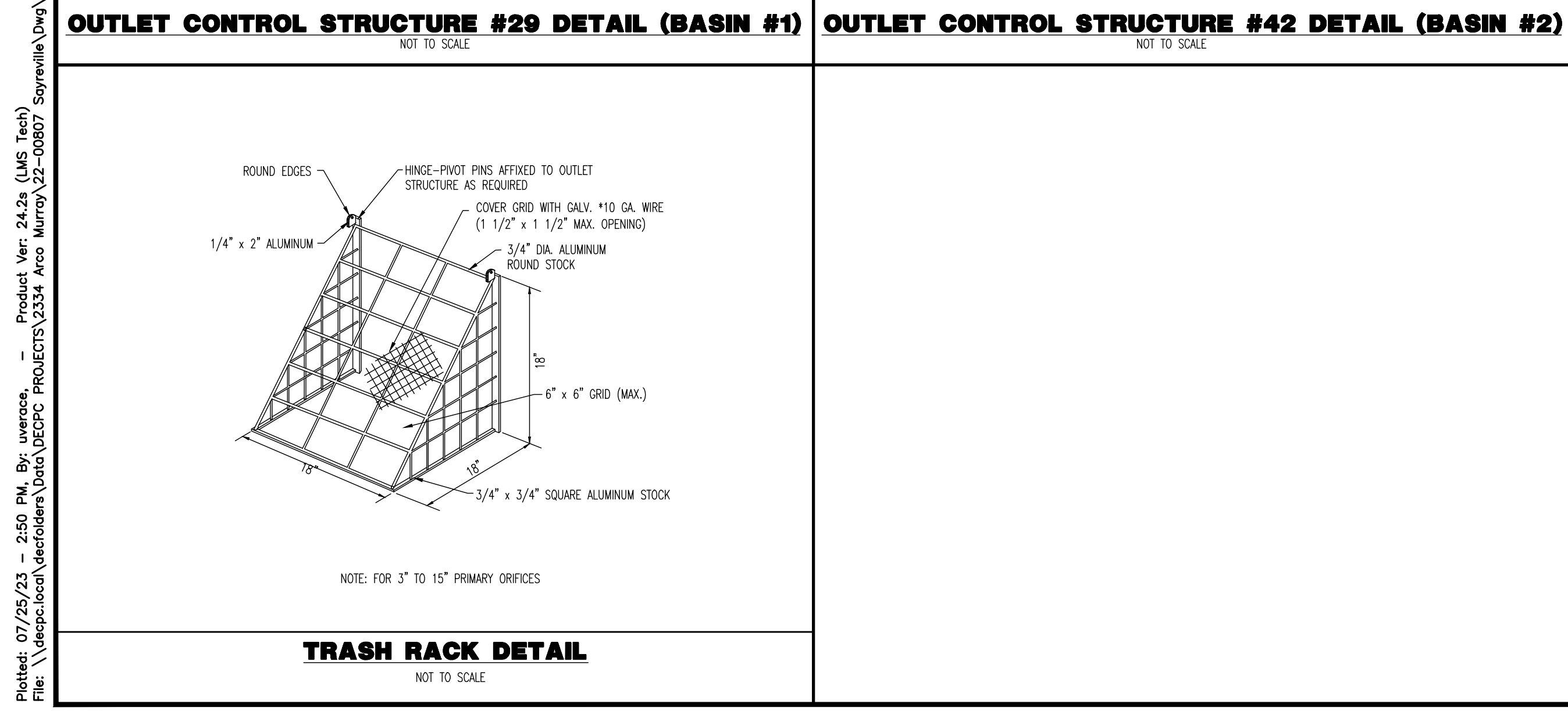
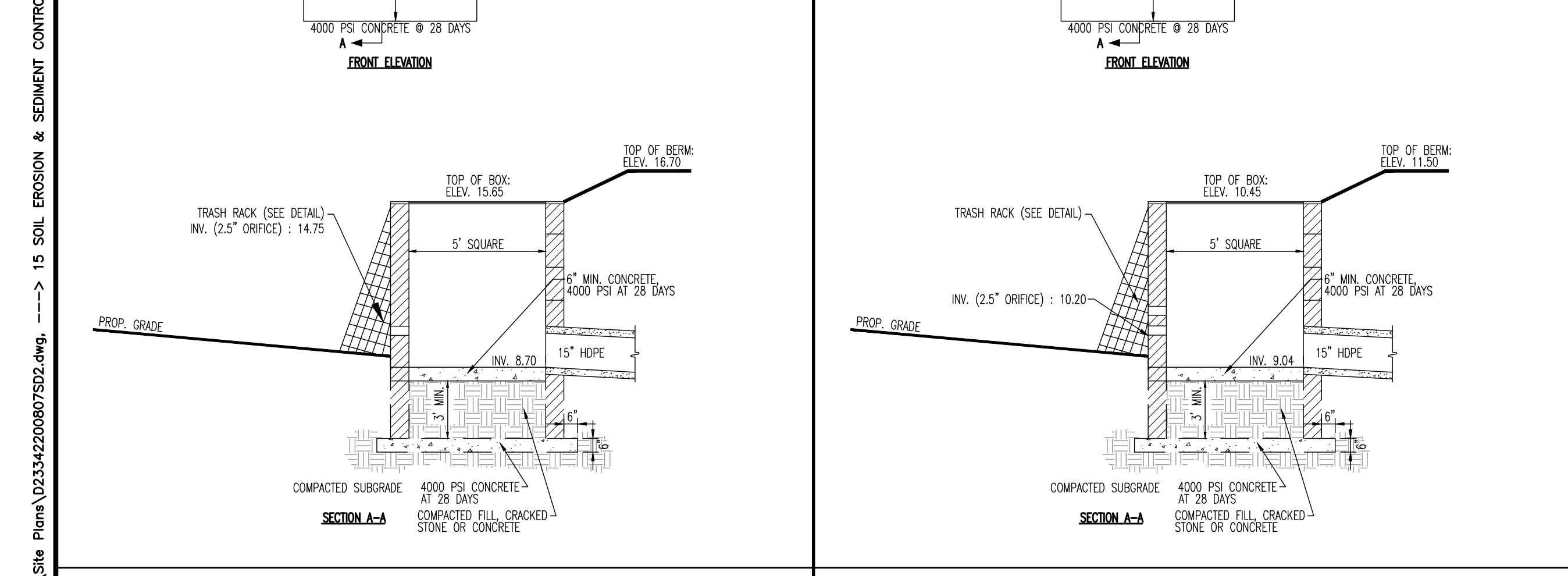
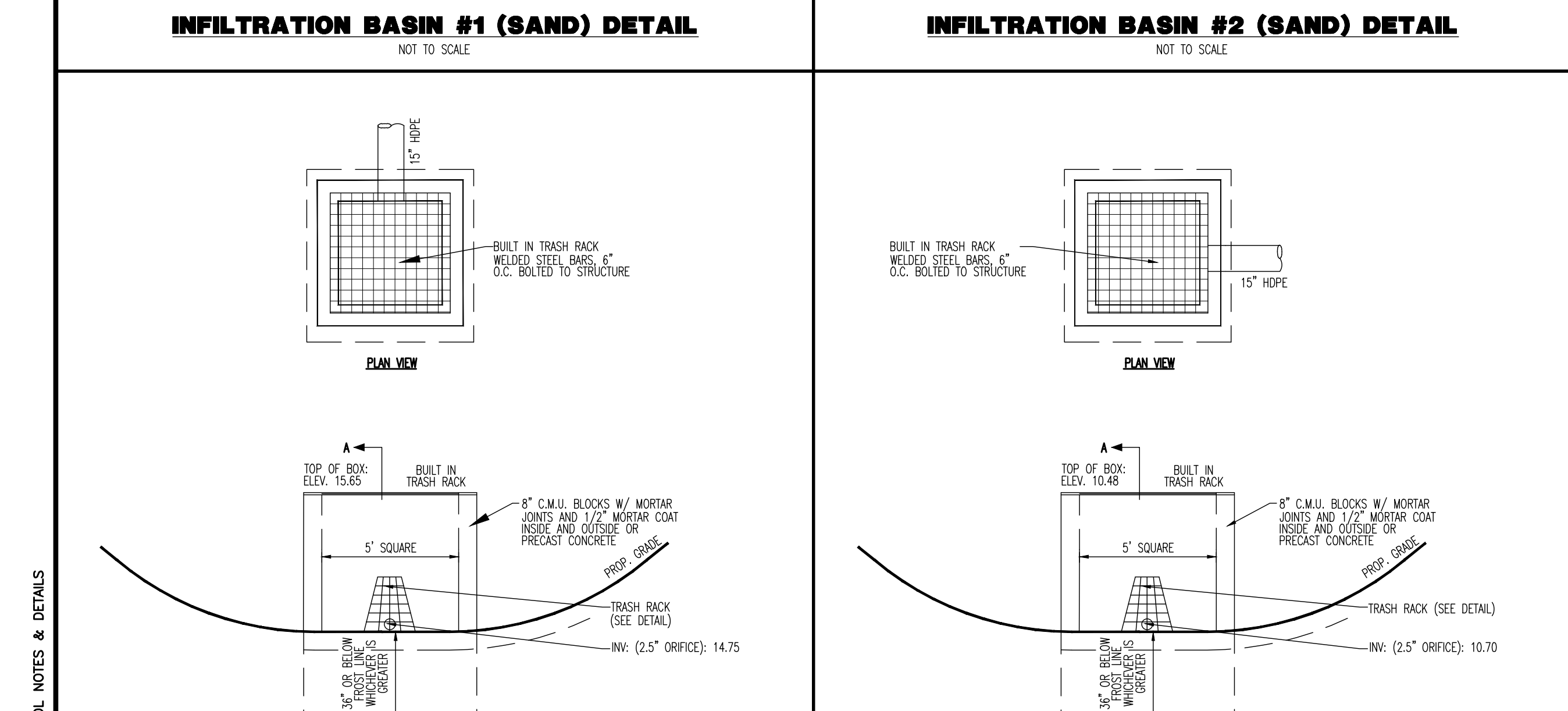
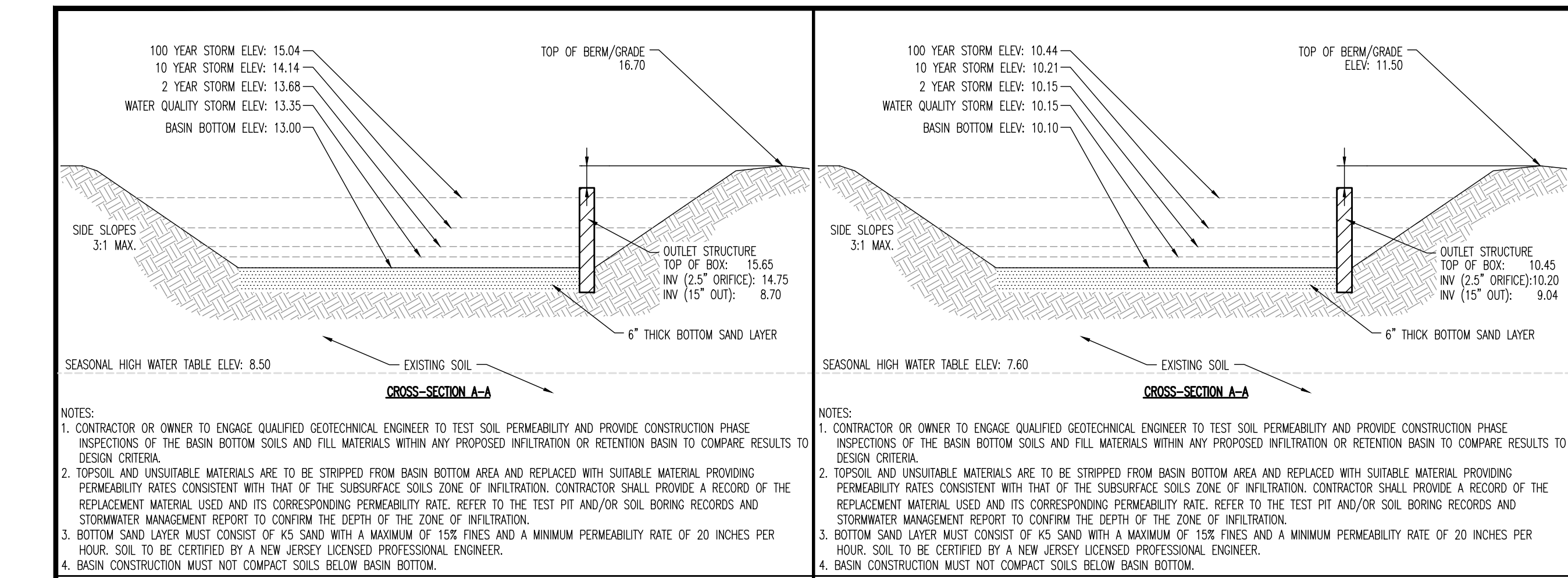


SOIL COMPACTION MITIGATION NOTES

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6" MINIMUM DEPTH) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.



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TITLE: SOIL MANAGEMENT & RESTORATION PLAN		
PROJECT: LOT 15 JERNEE MILL, LLC PROPOSED SELF-STORAGE FACILITY		
BLOCK 62, LOTS 15 & 16 18 JERNEE MILL ROAD BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY		
JOB No: 2334-22-00807 DATE: 01/11/2023	DRAWN BY: UV DESIGNED BY: MP CHECKED BY: RJM	SCALE: (H) 1"=50' (V) SHEET No: 13 OF 19
JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908	RYAN MacNEILL PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56484	811 PROTECT YOURSELF ALL UTILITIES MUST BE LOCATED BY AN APPROVED METHOD OF LOCATING UTILITIES OR BY OTHER MEANS TO VERIFY THE DEPTH AND LOCATION OF UTILITIES PRIOR TO ANY CONSTRUCTION. FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: www.call811.com



Plotted: 07/25/23 at 2:50 PM, By: uveroce, Product: Veri 24.2s (LMS Tech) File: \\server\local\verifolders\Data\DEPCPC PROJECTS\2334_Arco Murray\22-00807_Sayreville\DWG\Site Plans\2334220807SD2.dwg, ---> 15 SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

DYNAMIC ENGINEERING

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TITLE: SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

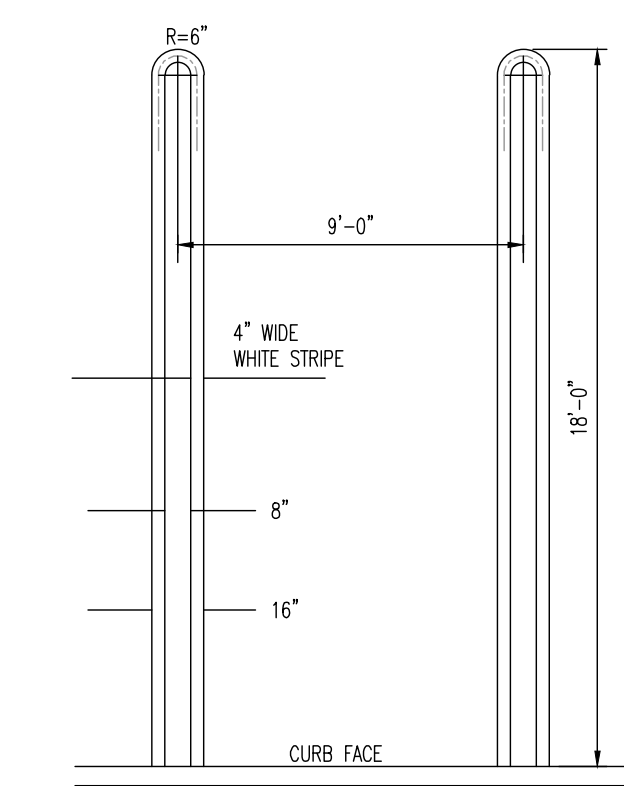
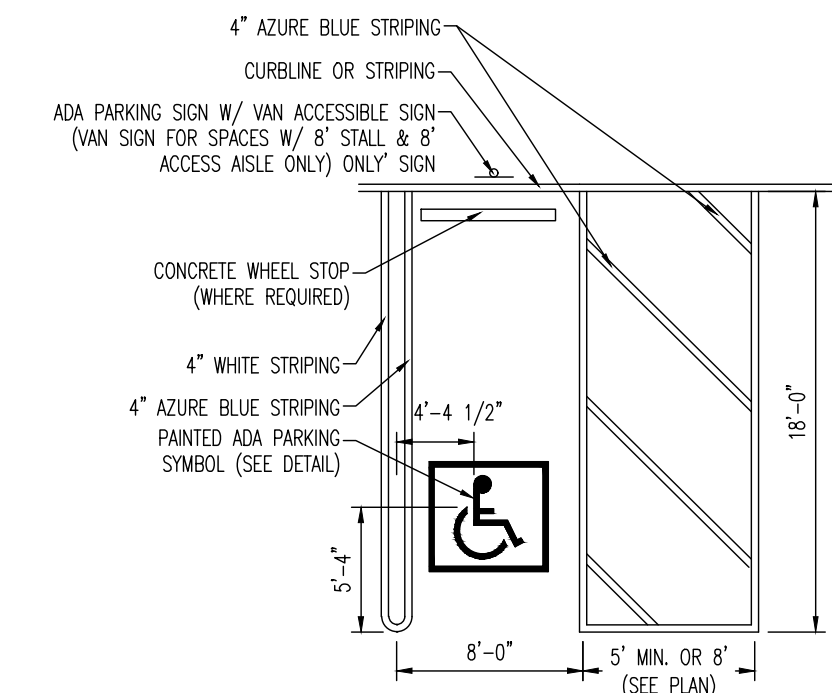
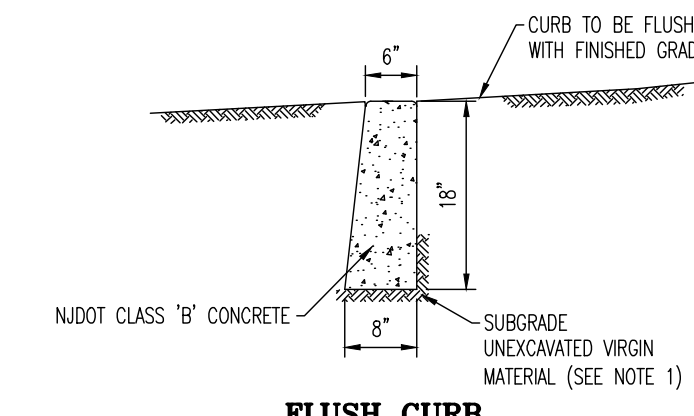
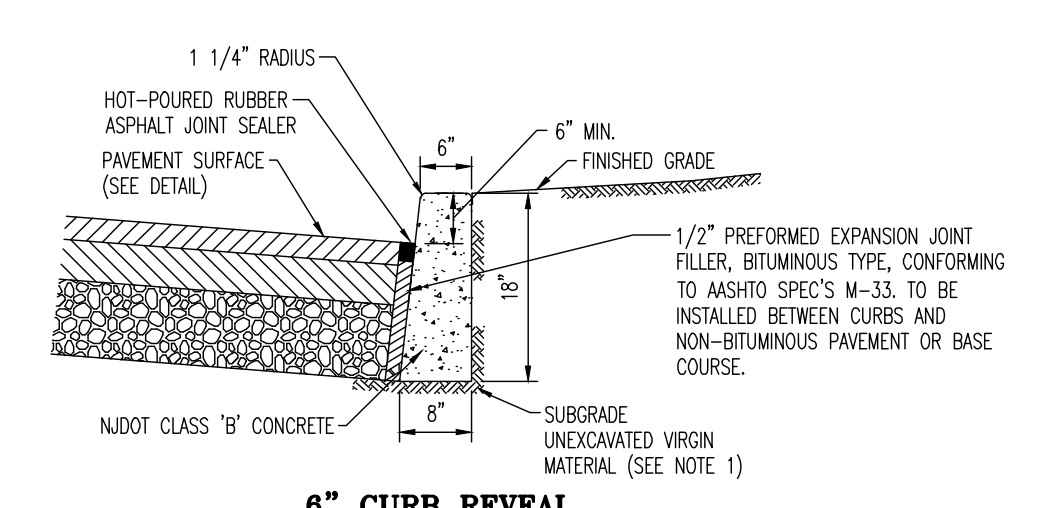
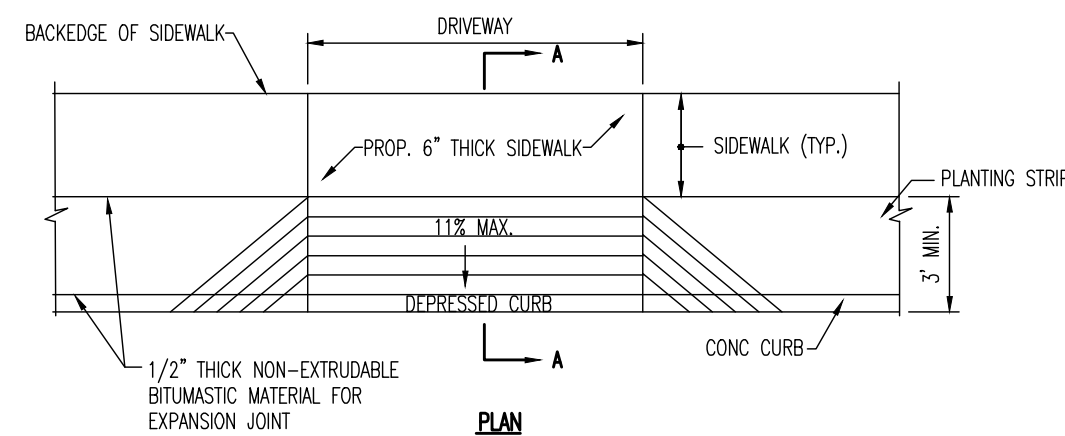
PROJECT: **LOT 15 JERNEE MILL, LLC**
PROPOSED SELF STORAGE FACILITY
BLOCK: 62, LOTS 15 & 16
18 JERNEE MILL ROAD
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 2334-22-00807 | DATE: 01/11/2023
DRAWN BY: NSR | SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: MP | SHEET No:
CHECKED BY: RJM
DATE: 07/19/23

JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

RYAN MacNEILL
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 56484

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Of 19
Rev. # 2



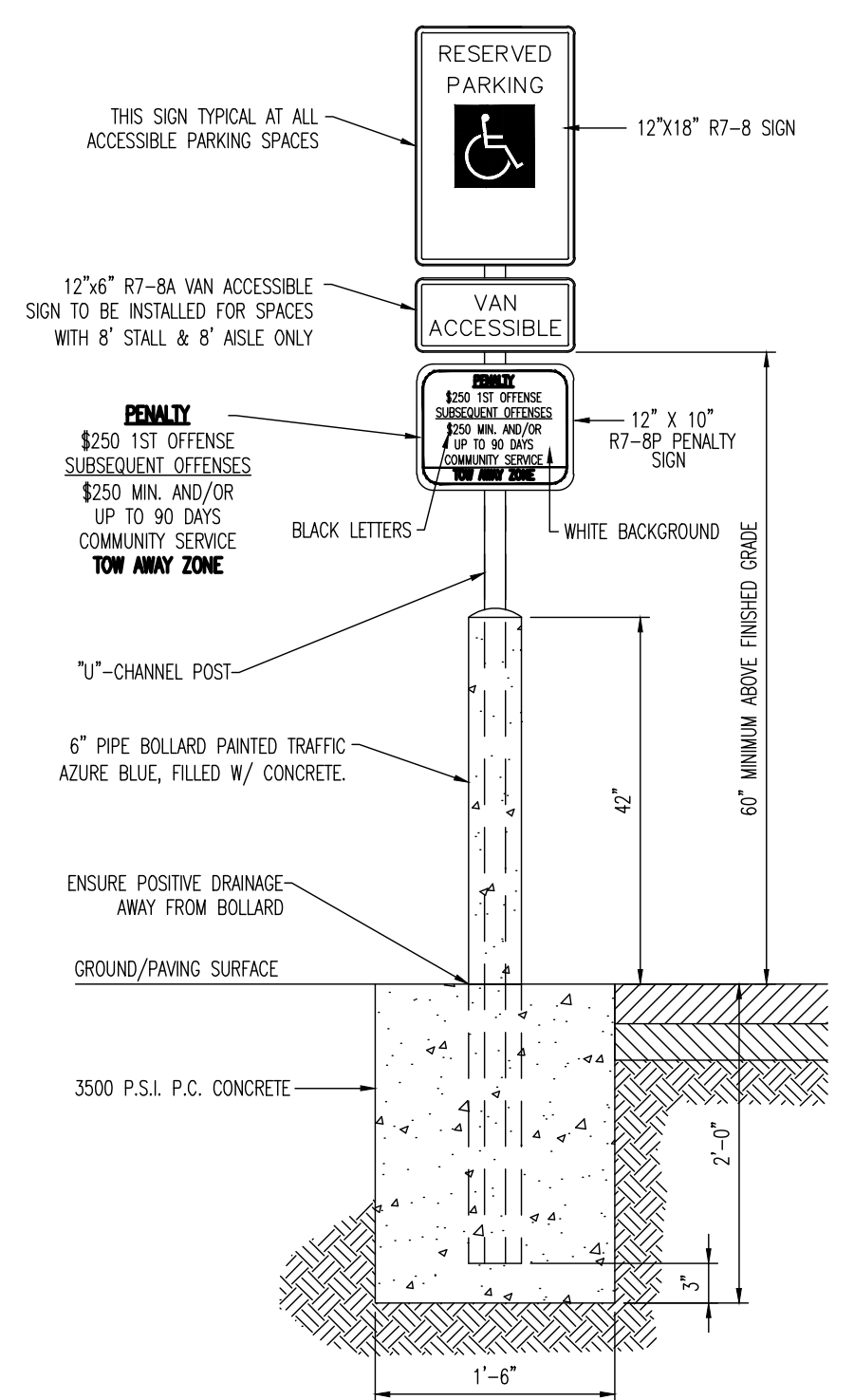
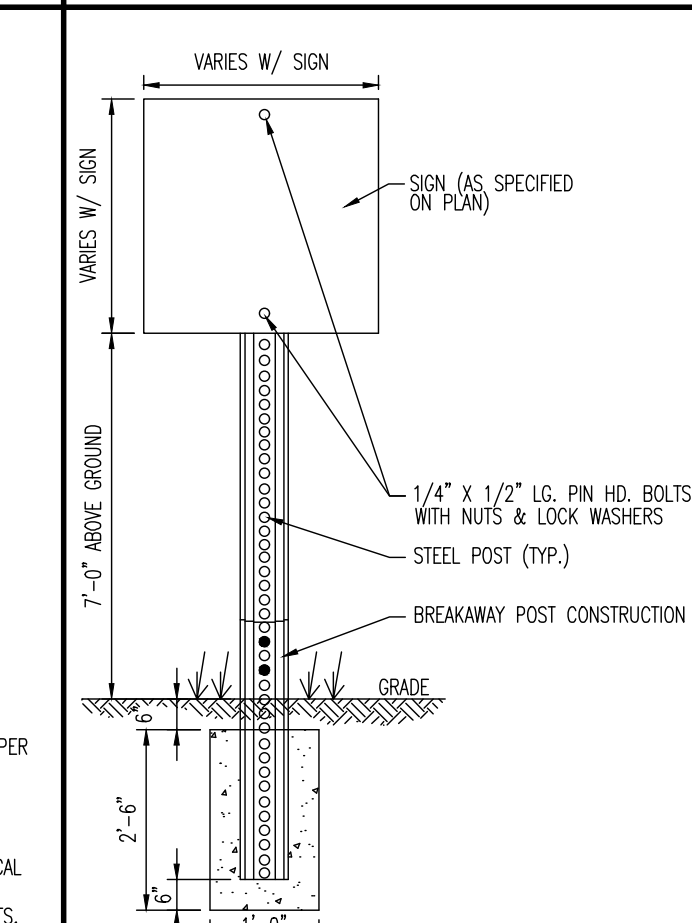
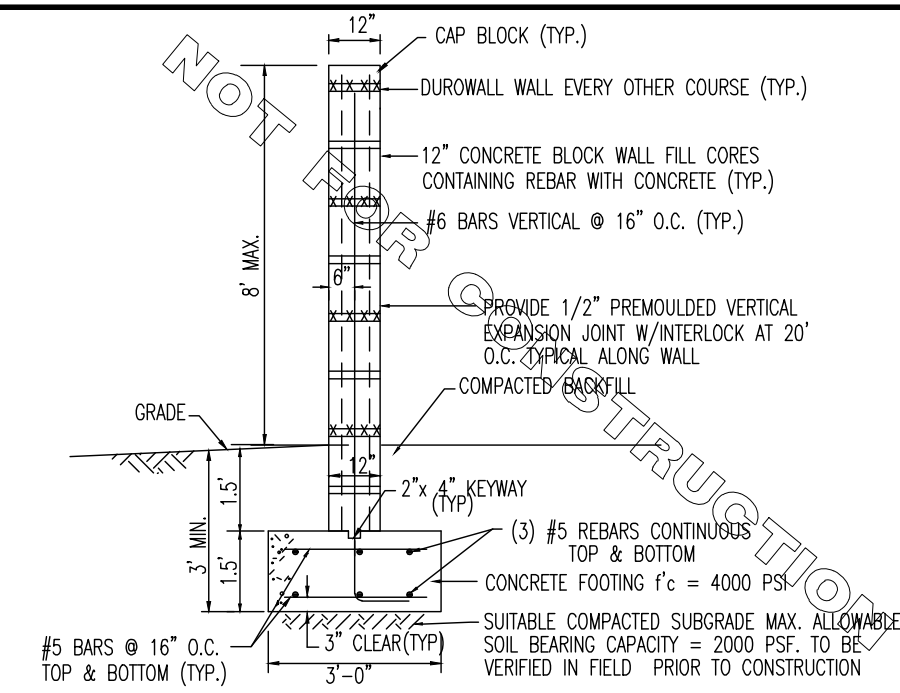
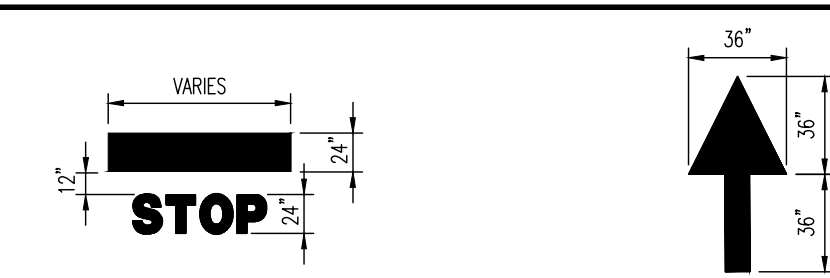
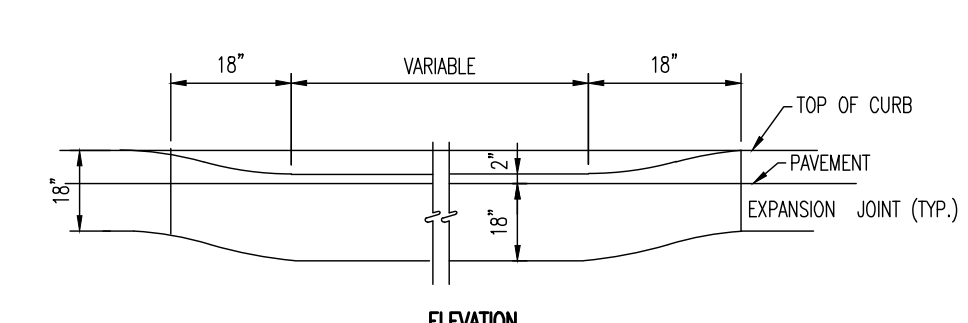
- NOTES:
- ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4\"/>
 - TRANSVERSE JOINTS 1/2\"/>
 - DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
 - WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2\"/>
 - THESE SPECIFICATIONS ALSO MEET FDS DESIGN STANDARDS.

- NOTES:
- PAVEMENT STRIPING FOR ALL ADA PARKING SPACES SHALL BE PAINTED AZURE BLUE.
 - WHERE AN ADA PARKING STALL MEETS A STANDARD PARKING STALL, AN AZURE BLUE AND WHITE PAVEMENT STRIPE SHALL BE PAINTED.
 - ALL PAVEMENT STRIPING, MARKINGS AND SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ADA ACCESSIBILITY GUIDELINES.

CONCRETE CURB DETAIL

ADA STALL MARKINGS

HAIRPIN PARKING STALL STRIPING DETAIL



NOTE: ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT. ALL PAINT TO BE THERMOPLASTIC.

PAINTED MARKING DETAILS

- GENERAL NOTES
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
 - ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" (TO WITHIN A TOLERANCE OF 1").
 - ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED 6 (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
 - REINFORCING STEEL BARS SHALL BE A MINIMUM ASTM #615, GRADE 60, AND SHALL BE FIELD WIRED IN PLACE.
 - ALL FORMWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES, AND REGULATIONS AS WELL AS THE ACI AND UNIFORM BUILDING CODE.
 - ALL MASONRY BLOCK WORK SHALL CONFORM TO ACI 531-79 (REVISED 1983) SPECIFICATIONS FOR DESIGN AND ERECTION OF MASONRY UNITS.
 - MASONRY UNIT STRENGTH SHALL CONFORM WITH ASTM C-140. B. ALL STEEL SHALL BE GRADE 60 F = 60,000
 - DETAIL IS FOR SITE PLAN REVIEW ONLY. DETAIL SHALL NOT BE USED FOR BIDDING OR CONSTRUCTION.

NOTE: SIGN MUST COMPLY WITH ALL LOCAL FIRE DEPT. REQUIREMENTS.

NOTE: ALL PAVEMENT STRIPING, MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.

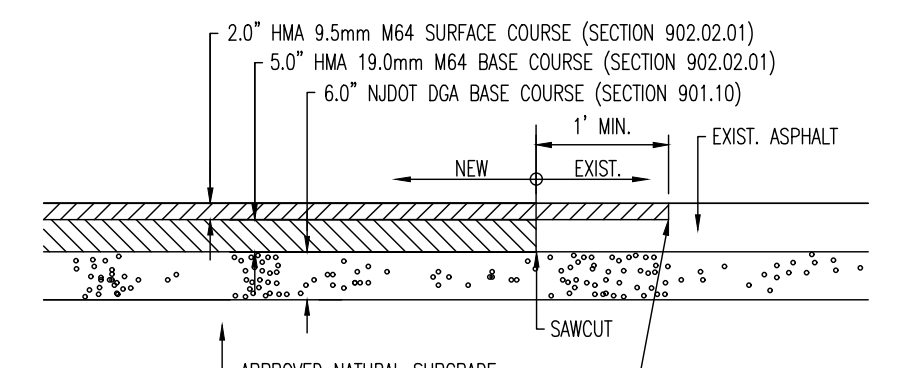
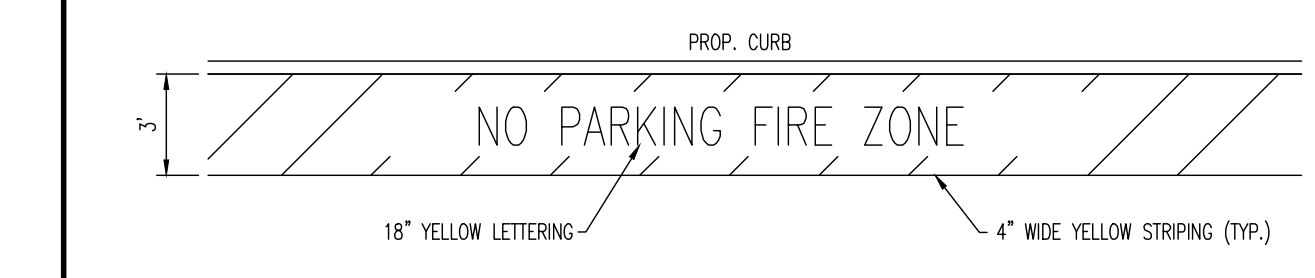
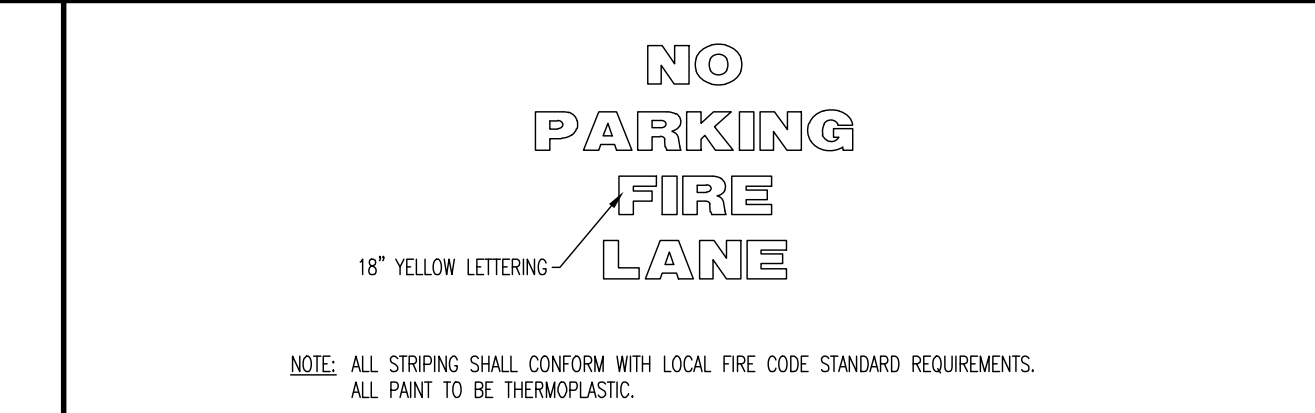
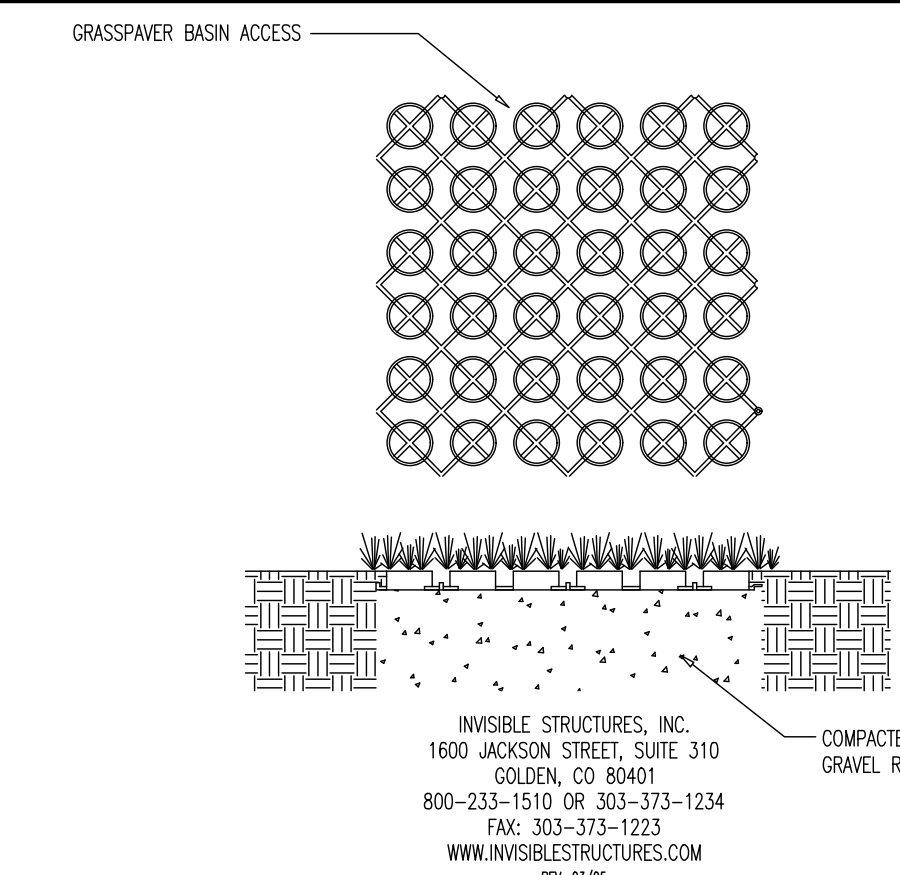
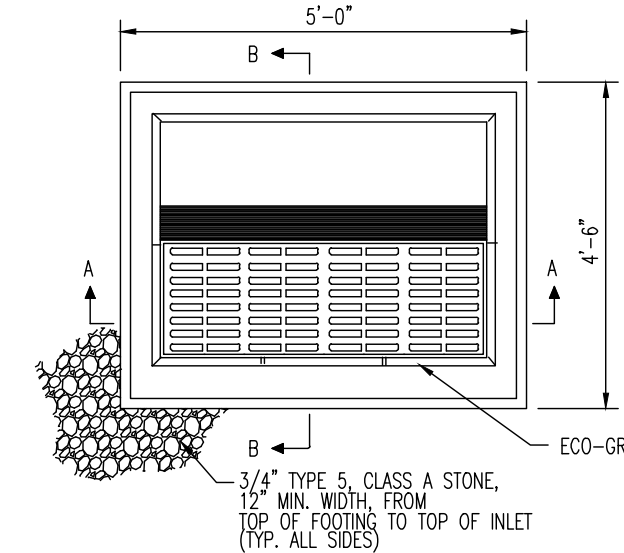
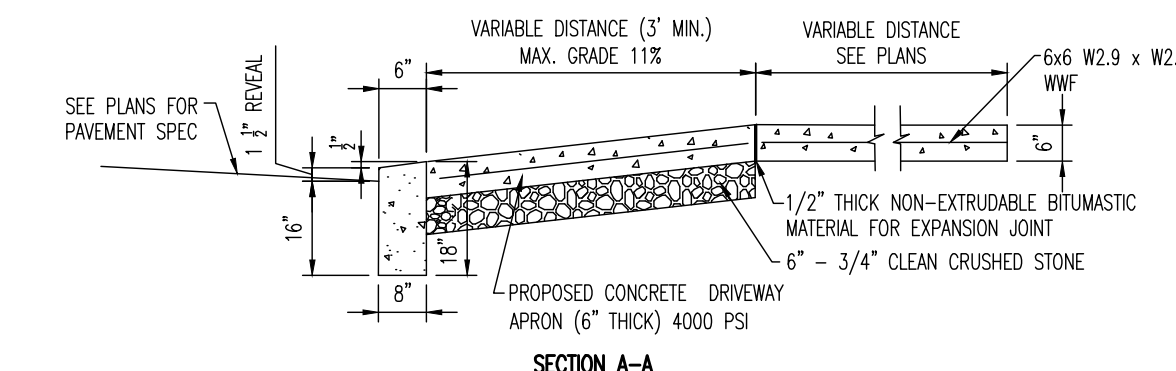
PAINTED A.D.A. PARKING SYMBOL DETAIL

CONCRETE BLOCK WALL TYPICAL SECTION

SIGN POST & FOOTING DETAIL

FIRE LANE SIGN DETAIL

DEPRESSED CURB & CONCRETE APRON AT DRIVEWAY DETAIL



- NOTES:
- ALL PAVEMENT SECTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2019.
 - OWNER SHALL CONTACT AND ENGAGE DYNAMIC EARTH, LLC. TO INSPECT AND TEST SUBGRADE SOILS. CONTRACTOR SHALL CONTACT DYNAMIC EARTH, LLC. AT (609) 879-7095 (WWW.DYNAMIC-EARTH.COM) AT ONSET OF CONSTRUCTION TO CONFIRM REQUIREMENTS AND COORDINATE INSPECTIONS.
 - SUBGRADE SOILS SHALL BE APPROVED BY DYNAMIC EARTH, LLC. APPROVED NATURAL SOILS SHALL BE COMPACTED AND PROFITROLLED WITH A LOADED TAKEAW AXLE TRUCK TO A FIRM AND UNWEILING CONDITION. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL OR STABILIZED AS DIRECTED BY DYNAMIC EARTH, LLC. ANY STRUCTURAL FILL AT OR BELOW PAVEMENT SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM-D1557.
 - CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION DESCRIPTION.

- NOTES
- CONSTRUCTION PER ASTM C-913, LATEST REVISION & 15-20 LANDING.
 - ALL CONCRETE TO BE N.J.D.O.T. CLASS "B" CONCRETE.
 - WALLS SHALL BE PRECAST CONCRETE ONLY.
 - FRAME AND GRATE TO BE CAMPBELL FOUNDRY CO., NO. 2618 BICYCLE GATE N-ECO GRATE SET IN CONC.
 - STEEL REINFORCED COPOLYMER POLYPROPYLENE LADDER RUNG @ 12" O.C.
 - WHEN ADDITIONAL DEPTH IS SCHEDULED, WALLS BELOW 8'-0" MEASURED FROM GRADE TO INLET SHALL BE 12" THICK AND EXTEND 12" BEYOND OUTSIDE OF WALL.

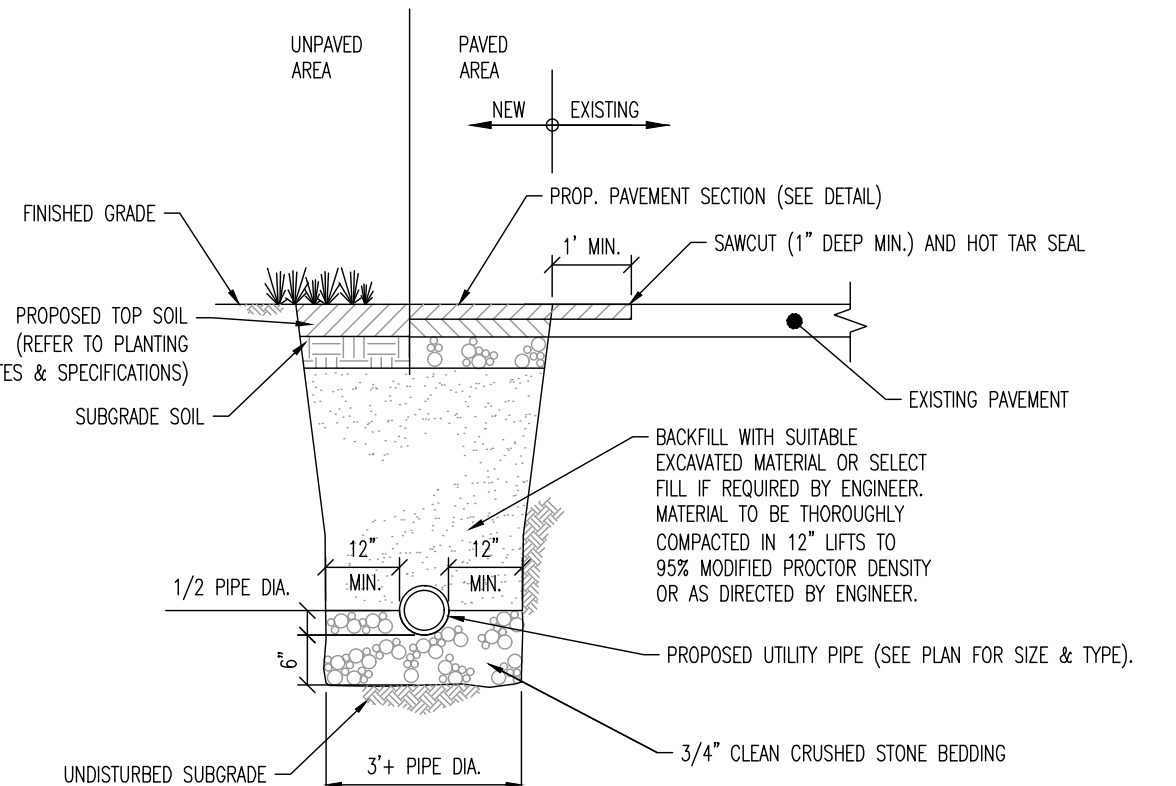
FIRE LANE STRIPING DETAIL

FIRE ZONE STRIPING DETAIL

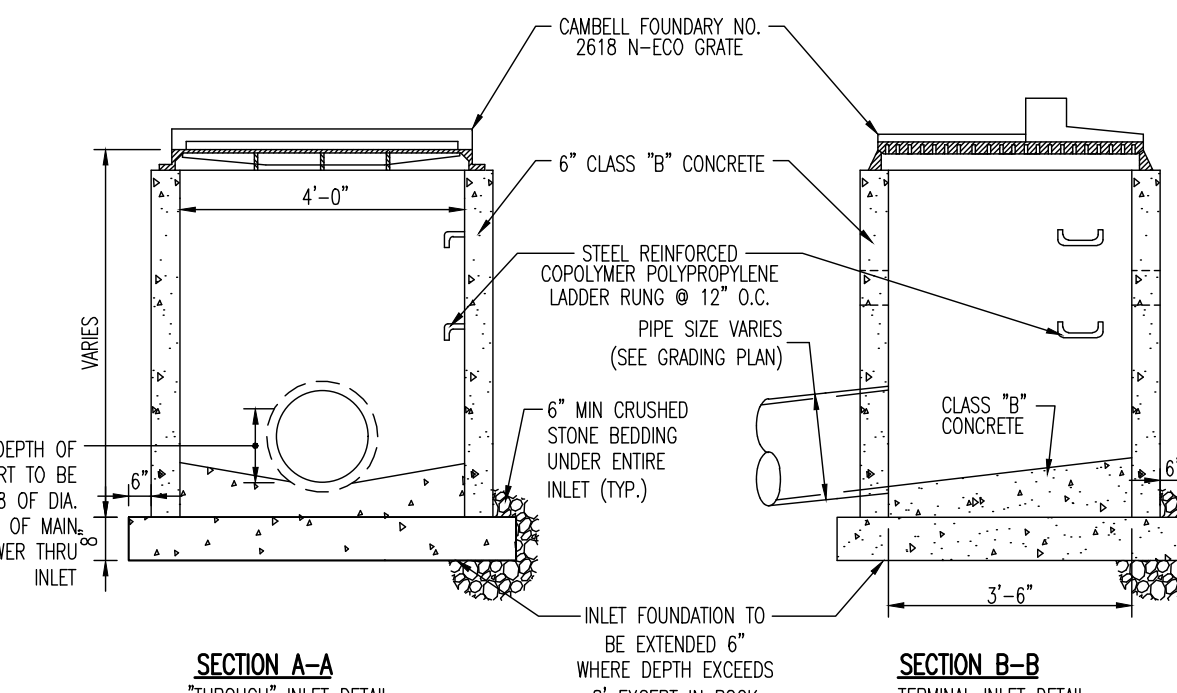
A.D.A. PARKING SIGN ON BOLLARD DETAIL

- NOTES:
- IF AT THE TIME OF CONSTRUCTION THE STATE OF NEW JERSEY HAS APPROVED FINES/PENALTIES DIFFERENT THAN THOSE INDICATED ON THIS DETAIL, CONTRACTOR IS TO PROVIDE SIGNAGE INDICATING THE CURRENT FINES/PENALTIES AS APPROVED BY THE STATE OF NEW JERSEY.
 - VAN ACCESSIBLE SIGN SHALL BE 60" MINIMUM ABOVE FINISHED GRADE WHERE APPLICABLE. WHEN VAN ACCESSIBLE IS NOT REQUIRED, R7-8 SIGN SHALL BE SET AT 60" MINIMUM ABOVE FINISHED GRADE.

STANDARD DUTY ASPHALT PAVEMENT DETAIL

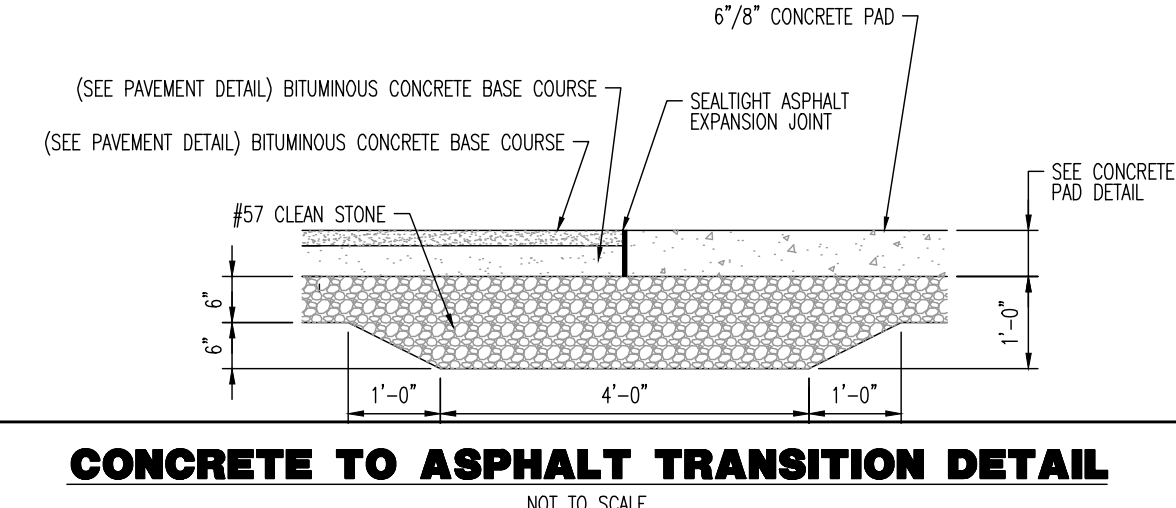


- NOTES:
- PAVEMENT SECTION SHALL BE PER PAVEMENT DETAIL, OR TO MATCH ADJOINING EXISTING PAVEMENT SECTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.
 - ALL TRENCHES IN EXISTING PAVEMENT SHALL BE SAWCUT.
 - ALL DISTURBED TRAFFIC STRIPING AND PAVEMENT MARKING SHALL BE REPLACED WITHIN KIND MATERIALS.

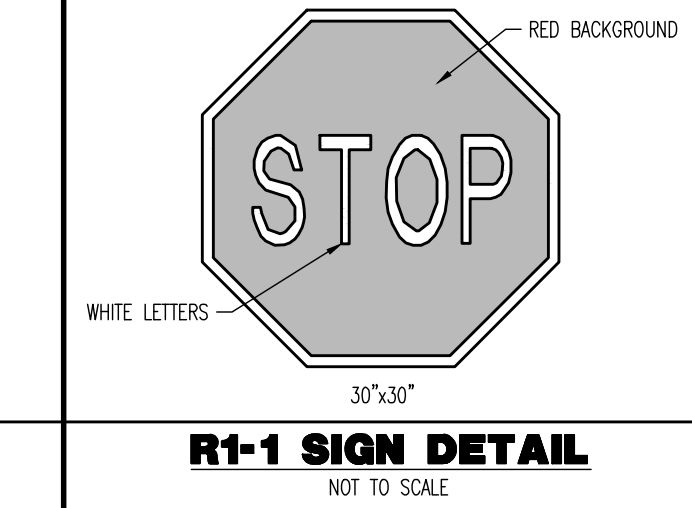


- NOTES:
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 - ALL CONCRETE TO BE N.J.D.O.T. CLASS "B" CONCRETE.
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 - WHEN ADDITIONAL DEPTH IS SCHEDULED, WALLS BELOW 8'-0" MEASURED FROM GRADE TO INLET SHALL BE 12" THICK AND EXTEND 12" BEYOND OUTSIDE OF WALL.

GRASSPAVER BASIN ACCESS DETAIL



CONCRETE TO ASPHALT TRANSITION DETAIL



R1-1 SIGN DETAIL

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Allen, Texas T: 972.234.2100 | Austin, Texas T: 512.446.2446 | Houston, Texas T: 281.789.6400 | Detroit Beach, Missouri T: 314.921.8510
Newtown, Pennsylvania T: 287.685.0276 | Philadelphia, Pennsylvania T: 215.253.4808 | Bethlehem, Pennsylvania T: 610.998.4400

CONSTRUCTION DETAILS

TITLE: _____

PROJECT: **LOT 15 JERNEE MILL, LLC
PROPOSED SELF STORAGE FACILITY**

BLOCK: 62, LOTS 15 & 16
18 JERNEE MILL ROAD
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 2334-22-00807
DATE: 01/11/2023
DRAWN BY: UV
SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: MP
SHEET No: _____
CHECKED BY: RJM
CHECKED BY: _____

JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

RYAN MacNEILL
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 56484

811 PROTECT YOURSELF
ALL UTILITIES REQUIRE NOTIFICATION OF EXISTING UTILITIES. IF ANY UTILITIES ARE NOT SHOWN ON THE SURVEY, PREPARE TO VERIFY THE UTILITIES' DEPTHS AND LOCATIONS. CALL 811 AT LEAST 48 HOURS BEFORE ANY EXCAVATION.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

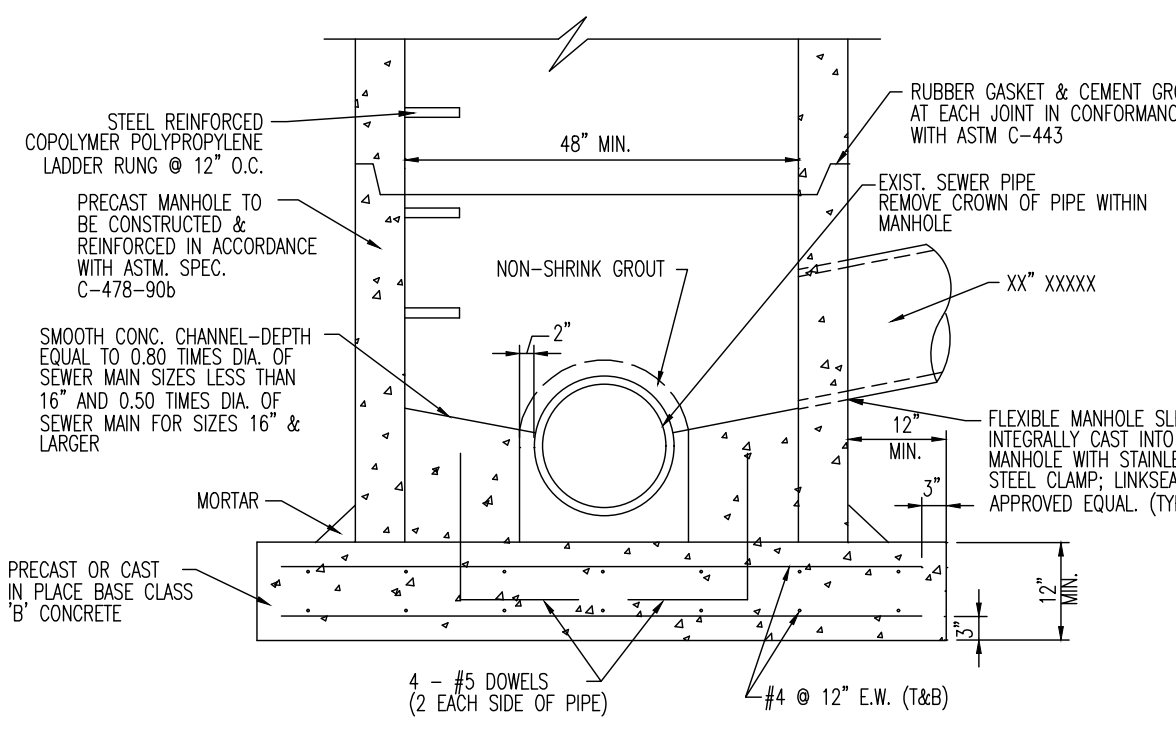
19
Of 19
Rev. # 2

Product Ver: 24.2s (LMS Tech)
Printed: 07/25/23 - 2:50 PM, By: uvoeroc, File: \\spsc.local\scf\folders\Data\DEPCPC PROJECTS\2334_Arco Murray\22-00807_Sayreville\DWG\Site Plans\23342200807SD2.dwg, --- 16 CONSTRUCTION DETAILS



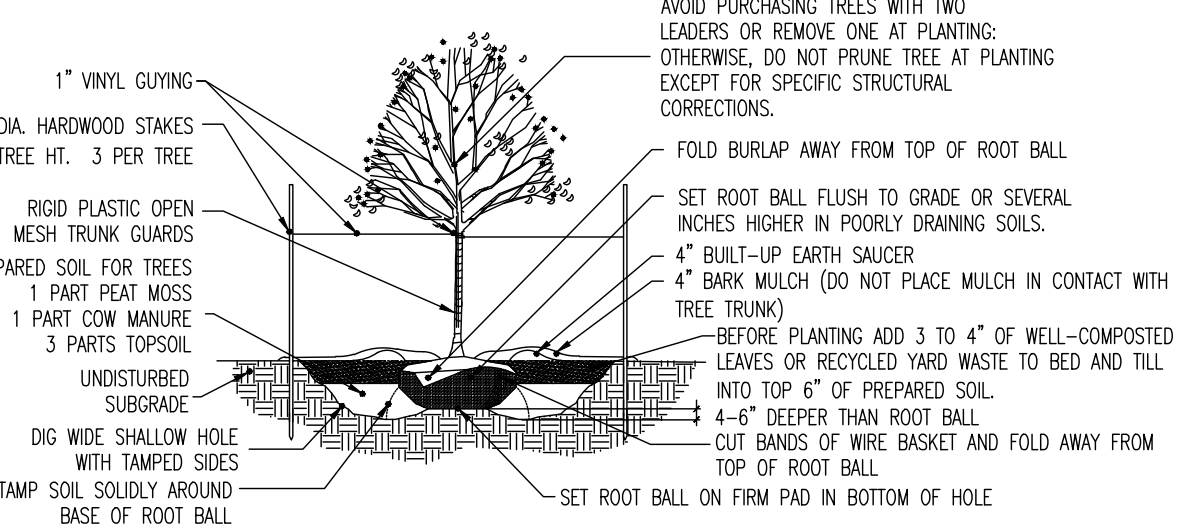
NOTE:
1. TOTAL HEIGHT OF THE ELECTRIC VEHICLE CHARGING SPOT SIGN SHALL BE NO MORE THAN 7 FEET FROM GRADE.

ELECTRIC CHARGING STATION SIGN DETAIL
NOT TO SCALE



NOTES:
1. TWO SEPARATE COATS OF APPROVED BITUMINOUS WATERPROOFING COMPOUND SHALL BE APPLIED PER MANUFACTURERS INSTRUCTIONS TO THE ENTIRE EXTERIOR OF STRUCTURE.
2. TWO SEPARATE COATS OF APPROVED TWO-PART EPOXY COATING SHALL BE APPLIED PER MANUFACTURERS INSTRUCTIONS TO THE ENTIRE INTERIOR OF STRUCTURE.

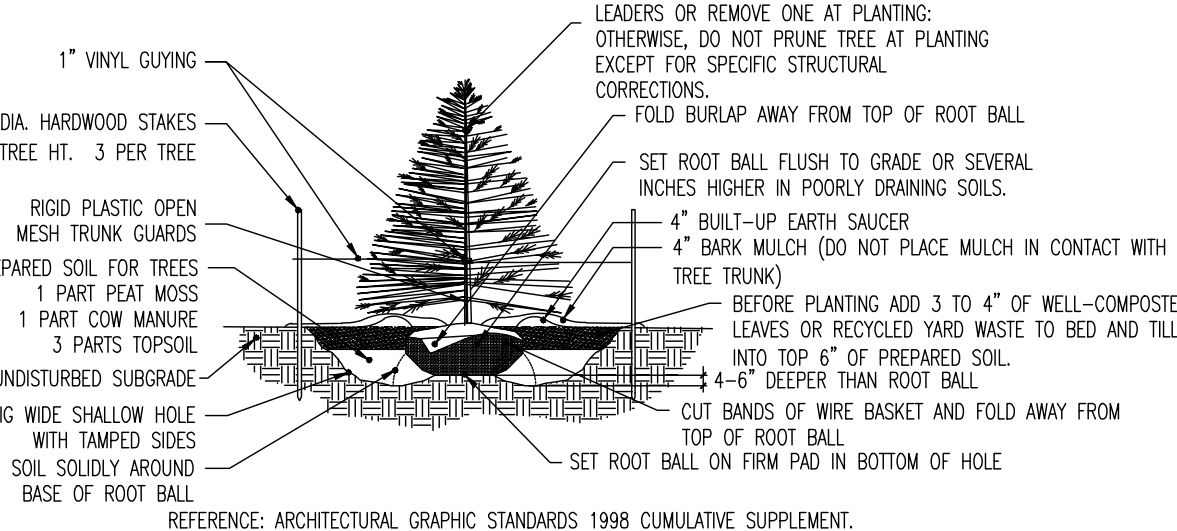
NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

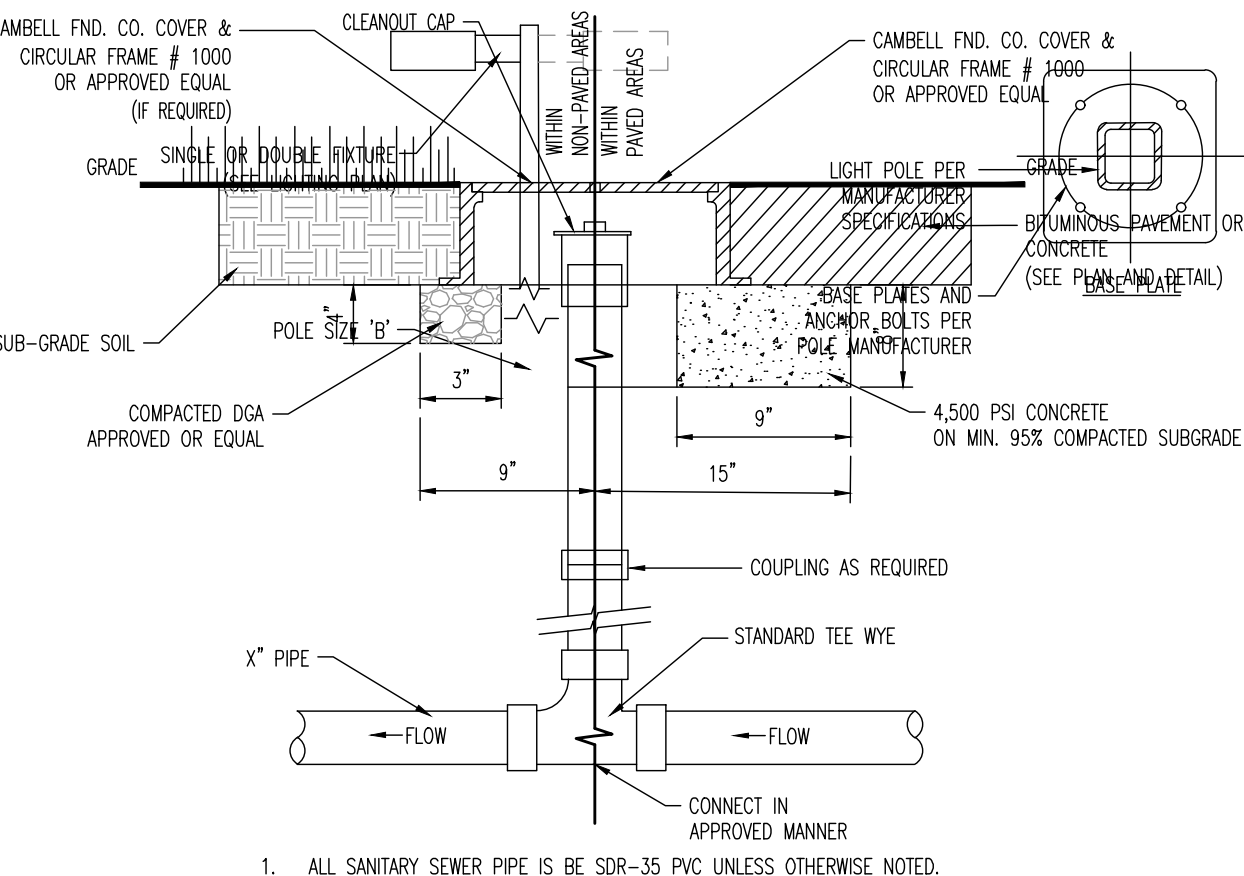
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



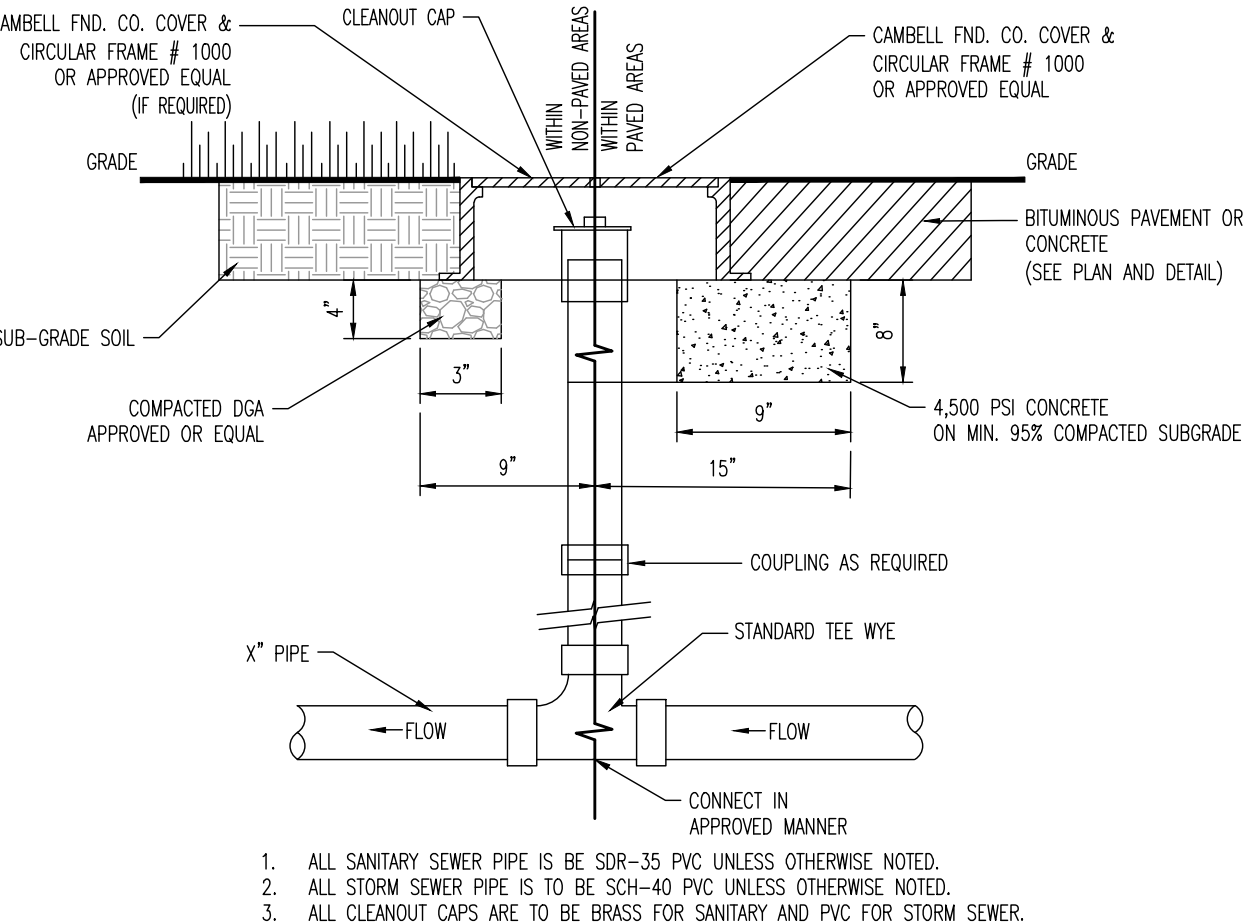
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EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



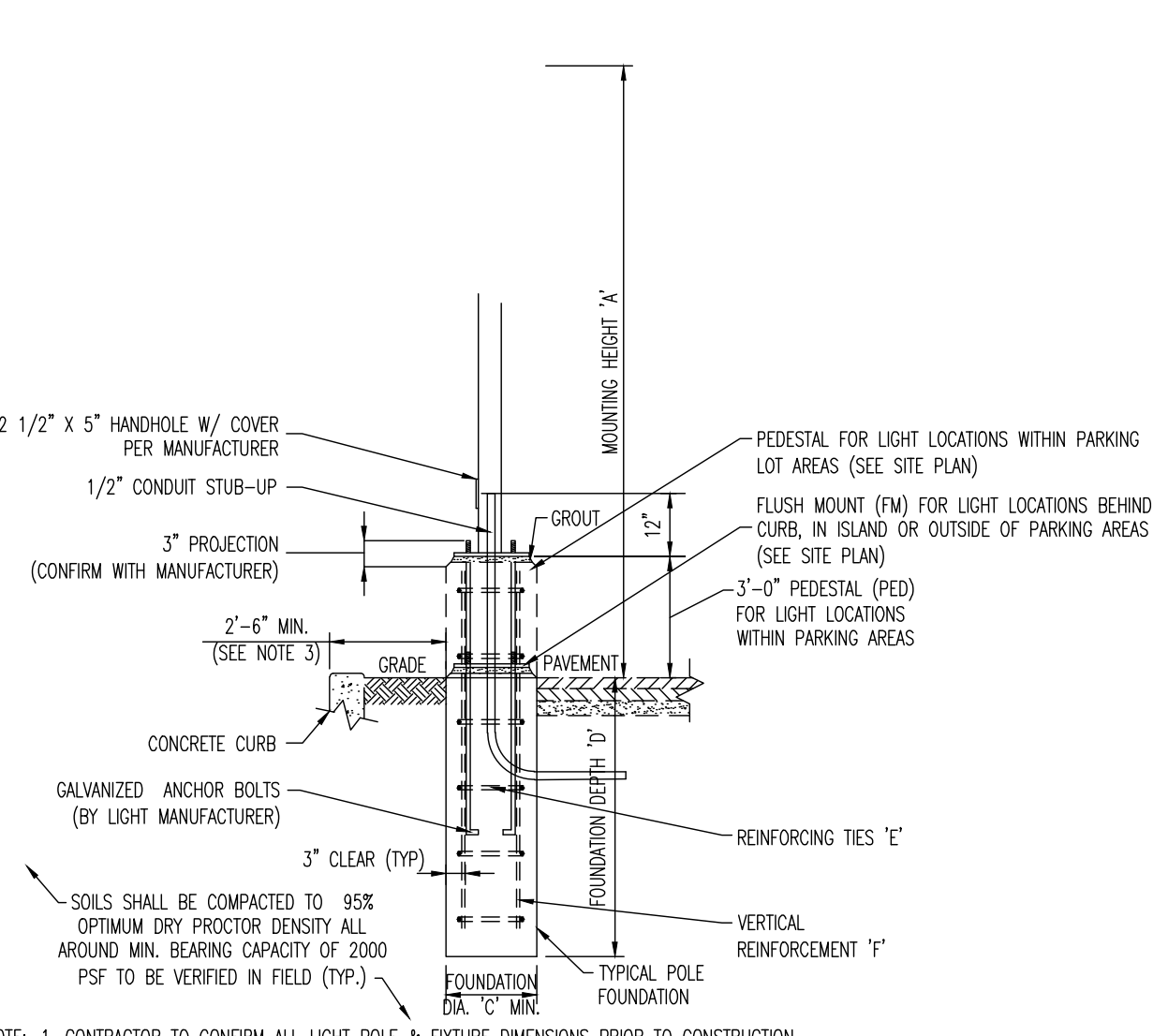
1. ALL SANITARY SEWER PIPE IS TO BE SDR-35 PVC UNLESS OTHERWISE NOTED.
2. ALL STORM SEWER PIPE IS TO BE SDR-40 PVC UNLESS OTHERWISE NOTED.
3. ALL CLEANOUT CAPS ARE TO BE BRASS FOR SANITARY AND PVC FOR STORM SEWER.
4. X" - SEE PLAN FOR PIPE DIAMETER.

CLEANOUT DETAIL
NOT TO SCALE



1. ALL SANITARY SEWER PIPE IS TO BE SDR-35 PVC UNLESS OTHERWISE NOTED.
2. ALL STORM SEWER PIPE IS TO BE SDR-40 PVC UNLESS OTHERWISE NOTED.
3. ALL CLEANOUT CAPS ARE TO BE BRASS FOR SANITARY AND PVC FOR STORM SEWER.
4. X" - SEE PLAN FOR PIPE DIAMETER.

CLEANOUT DETAIL
NOT TO SCALE



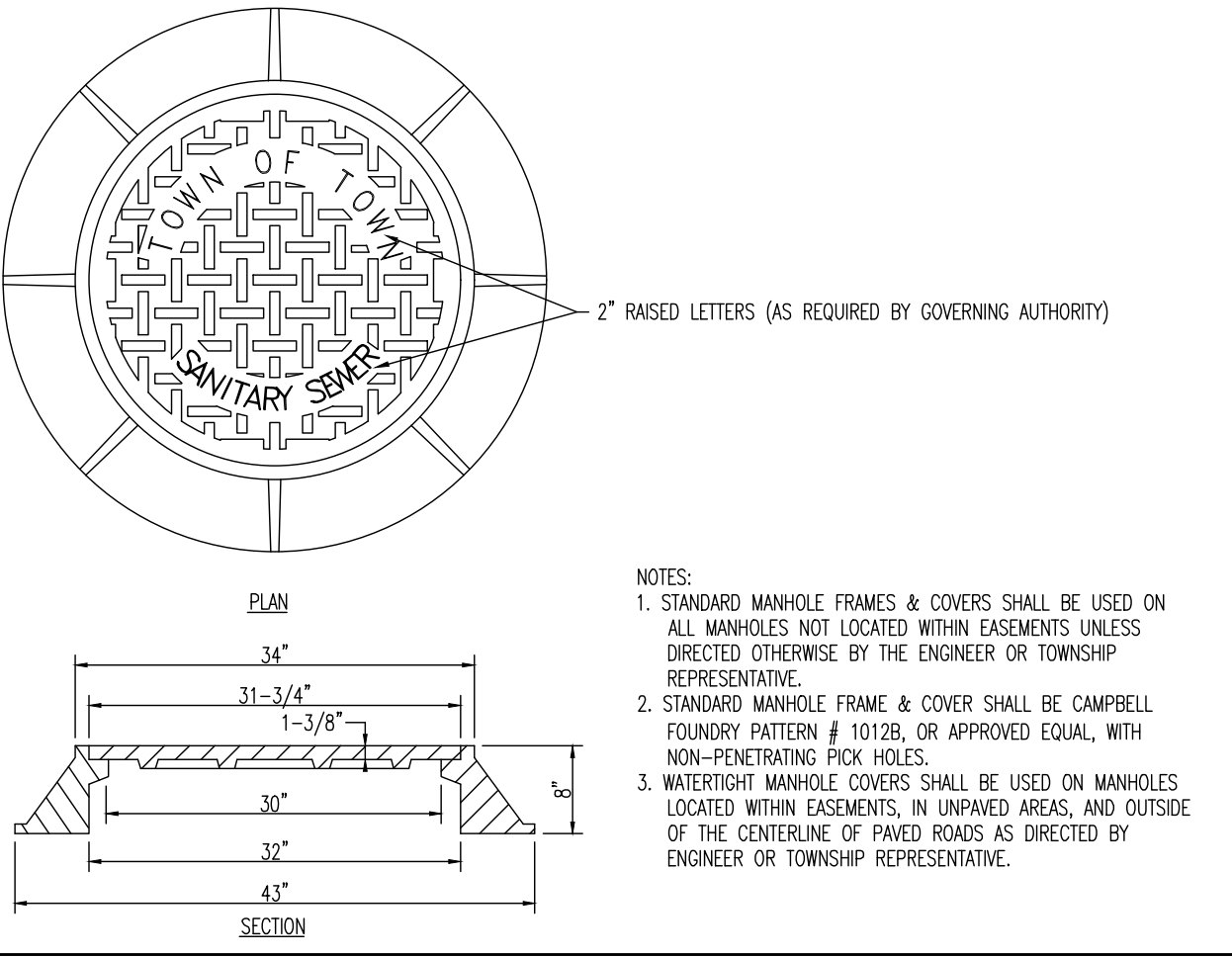
NOTE: 1. CONTRACTOR TO CONFIRM ALL LIGHT POLE & FIXTURE DIMENSIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO PROVIDE ADJUSTED POLE HEIGHT RESULTING IN MOUNTING HEIGHT 'A', TAKING INTO CONSIDERATION PEDESTAL (PED) OR FLUSH MOUNT (FM) FOUNDATION DESIGNATION AT EACH POLE LOCATION.
3. PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PREFERRED BUT TO BE ADJUSTED AS NEEDED TO PREVENT ENCRoACHMENT OVER PROPERTY LINE.
4. BASE PLATE & ANCHOR BOLTS PER POLE MANUFACTURER. LARGER FOOTING DIAMETER AND/OR ALTERNATE ARRANGEMENT OF REINFORCING STEEL MAY BE REQUIRED TO ACCOMMODATE ANCHOR SOIL CONFIGURATION. CONTRACTOR RESPONSIBLE TO COORDINATE DIMENSIONAL REQUIREMENTS FOR BASE PLATE, ANCHOR BOLTS & REINFORCING STEEL PRIOR TO CONSTRUCTION.

LIGHT POLE FOUNDATION SCHEDULE	
MOUNTING HEIGHT ABOVE GRADE 'A'	24'-25'
POLE DIA. 'B'	6" SQUARE (OR PER MANUFACTURER)
# OF FIXTURES	SINGLE OR DOUBLE
FOUNDATION DIAMETER 'C'	18" DIA. ROUND
FOUNDATION DEPTH 'D'	7.5'
REINFORCING TIES 'E'	#4 @ 12" O.C.
VERTICAL REINFORCEMENT 'F'	(6) #6 BARS EQUALLY SPACED

SOIL NOTES:
1. FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.
2. SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.

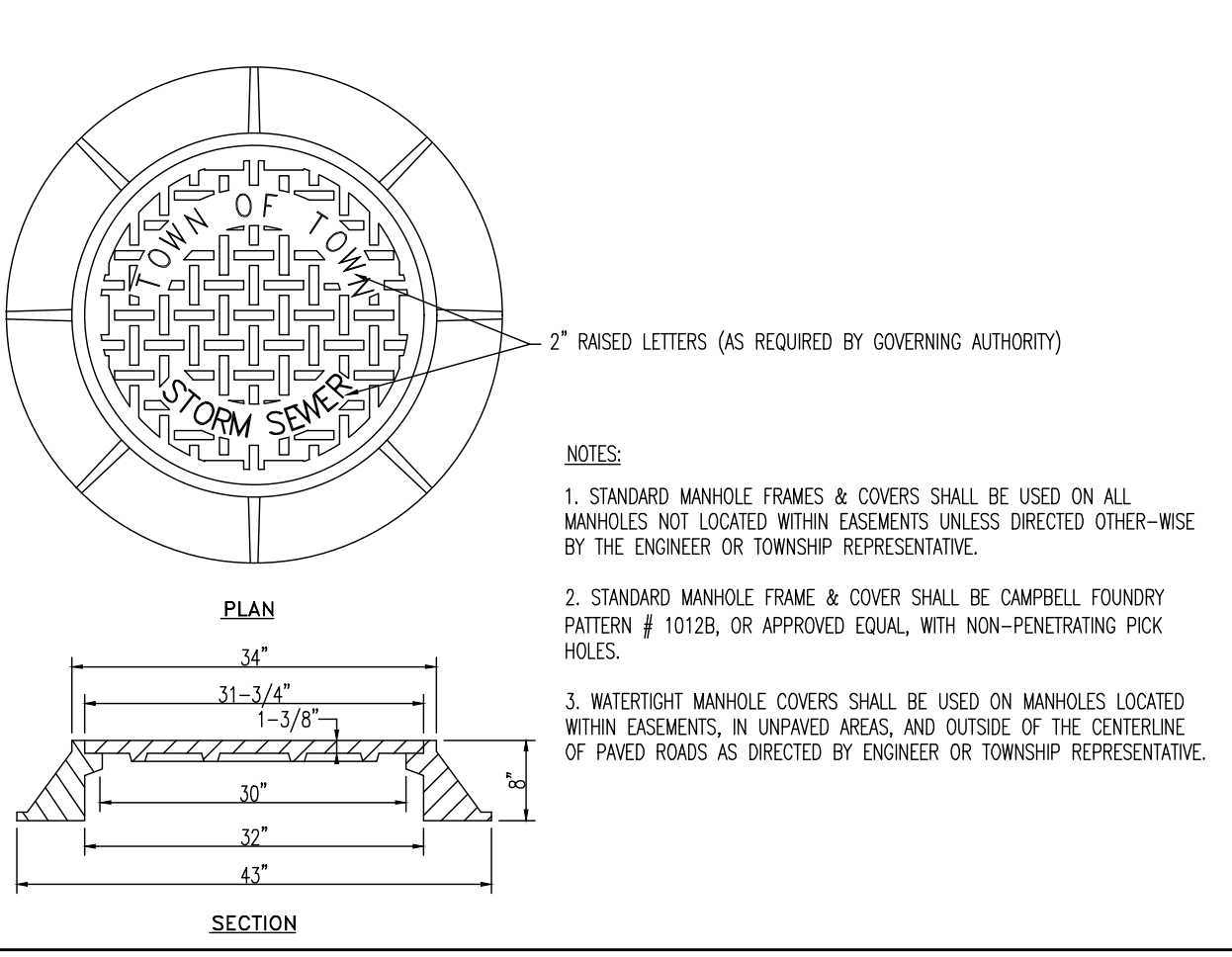
CONCRETE NOTES:
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
3. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
4. REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS AS WELL AS THE ACT AND UNIFORM BUILDING CODE.

AREA LIGHT FOUNDATION DETAIL
NOT TO SCALE



NOTES:
1. STANDARD MANHOLE FRAMES & COVERS SHALL BE USED ON ALL MANHOLES NOT LOCATED WITHIN EASEMENTS UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR TOWNSHIP REPRESENTATIVE.
2. STANDARD MANHOLE FRAME & COVER SHALL BE CAMPBELL FOUNDRY PATTERN # 1012B, OR APPROVED EQUAL, WITH NON-PENETRATING PICK HOLES.
3. WATERTIGHT MANHOLE COVERS SHALL BE USED ON MANHOLES LOCATED WITHIN EASEMENTS, IN UNPAVED AREAS, AND OUTSIDE OF THE CENTERLINE OF PAVED ROADS AS DIRECTED BY ENGINEER OR TOWNSHIP REPRESENTATIVE.

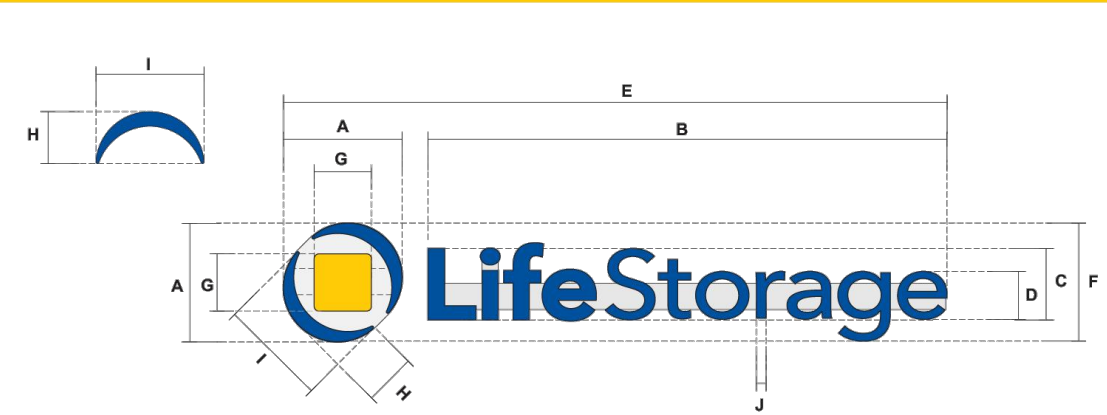
SANITARY MANHOLE FRAME DETAIL
NOT TO SCALE



NOTES:
1. STANDARD MANHOLE FRAMES & COVERS SHALL BE USED ON ALL MANHOLES NOT LOCATED WITHIN EASEMENTS UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR TOWNSHIP REPRESENTATIVE.
2. STANDARD MANHOLE FRAME & COVER SHALL BE CAMPBELL FOUNDRY PATTERN # 1012B, OR APPROVED EQUAL, WITH NON-PENETRATING PICK HOLES.
3. WATERTIGHT MANHOLE COVERS SHALL BE USED ON MANHOLES LOCATED WITHIN EASEMENTS, IN UNPAVED AREAS, AND OUTSIDE OF THE CENTERLINE OF PAVED ROADS AS DIRECTED BY ENGINEER OR TOWNSHIP REPRESENTATIVE.

STORM MANHOLE FRAME DETAIL
NOT TO SCALE

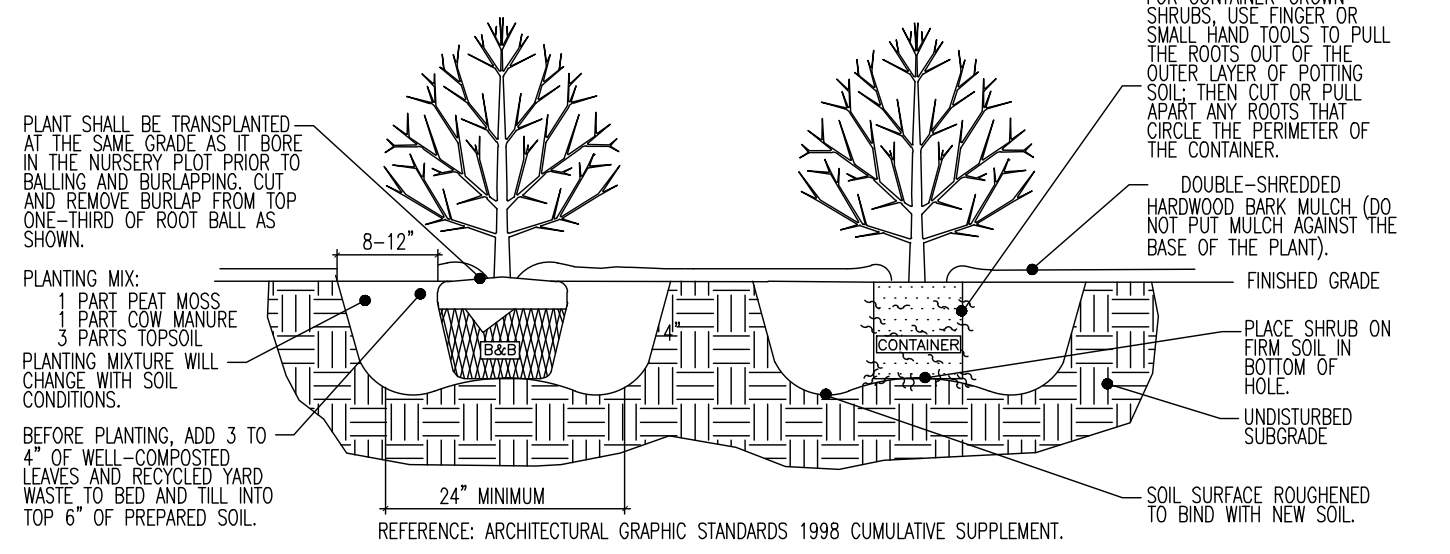
CHANNEL LETTERS - Linear on Raceway(s)



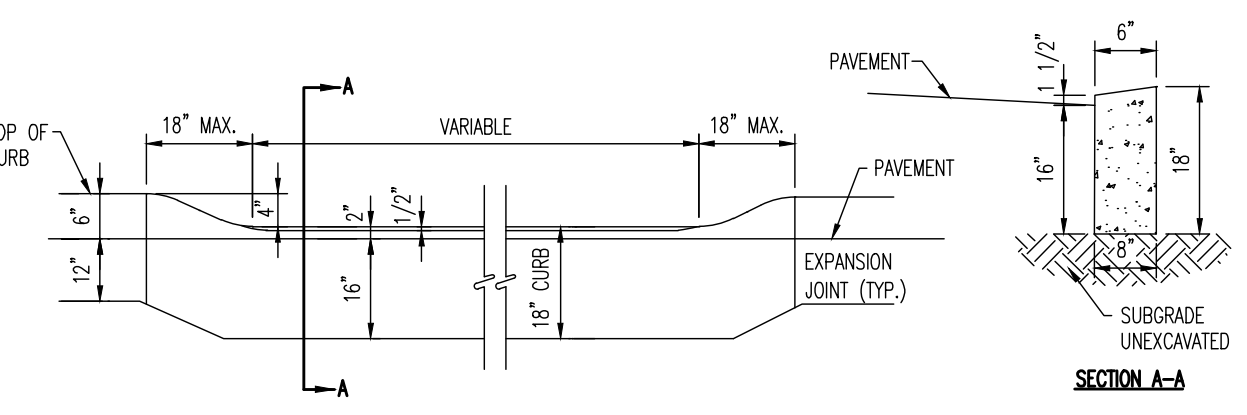
Sign	A	B	C	D	E	F	G	H	I	J	Sq Ft
CL-RW-LIN	0'-4 1/16"	23'-4"	3'-2 1/2"	2'-2"	20'-10"	0'-3 3/4"	2'-6 7/8"	2'-4"	4'-10 1/4"	5'-11 1/4"	A x E
	64.034"	279.96"	38.5"	25.92"	357.83"	63.74"	30.88"	27.98"	98.30"	8.29"	159.91

FAÇADE SIGN DETAIL
NOT TO SCALE

DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE

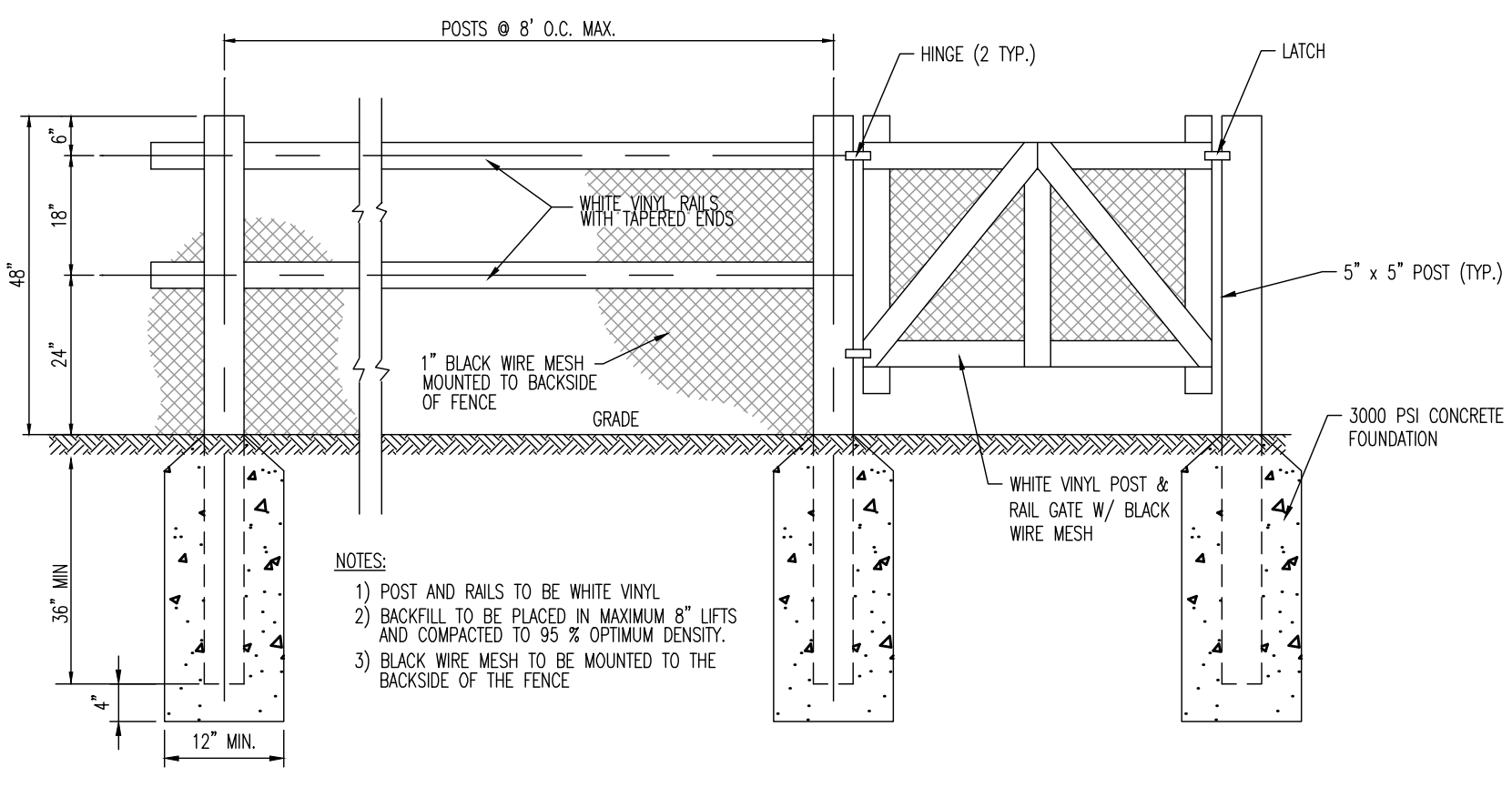


REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.



NOTES:
1. ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4" CLEAN CRUSHED STONE. ALL SUBGRADES SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO POURING.
2. EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL DISTANCES OF NOT MORE THAN 20' AND AT ALL STORM SEWER INLETS. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK, CONFORMING TO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE JOINT SHALL BE RECESSED 1/4" FROM THE TOP AND FRONT OF THE CONCRETE CURB.
3. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
4. DUNNY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
5. WIDTH OF JOINT FILLER STRIP SHALL BE EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2".
6. 1/2" PREFORMED EXPANSION JOINT FILLER, BITUMINOUS TYPE, CONFORMING TO AASHTO SPEC'S M-33, TO BE INSTALLED BETWEEN CURB AND NON-BITUMINOUS PAVEMENT OR BASE COURSE.

DEPRESSED CURB AT DRIVEWAY DETAIL
NOT TO SCALE



NOTES:
1. POST AND RAILS TO BE WHITE VINYL.
2. BACKFILL TO BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO 95% OPTIMUM DENSITY.
3. BLACK WIRE MESH TO BE MOUNTED TO THE BACKSIDE OF THE FENCE.

VINYL POST AND RAIL FENCE DETAIL
NOT TO SCALE

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Newtown, Pennsylvania: 1-267.655.0276 | Philadelphia, Pennsylvania: 1-215.253.4888 | Bethlehem, Pennsylvania: 1-610.978.4400

TITLE: **CONSTRUCTION DETAILS**

PROJECT: **LOT 15 JERNEE MILL, LLC
PROPOSED SELF STORAGE FACILITY**

JOB No: 2334-22-00807

DATE: 01/11/2023

DESIGNED BY: NSR

DRAWN BY: MP

CHECKED BY: RJM

SCALE: (H) NOT TO SCALE

SHEET No: 17

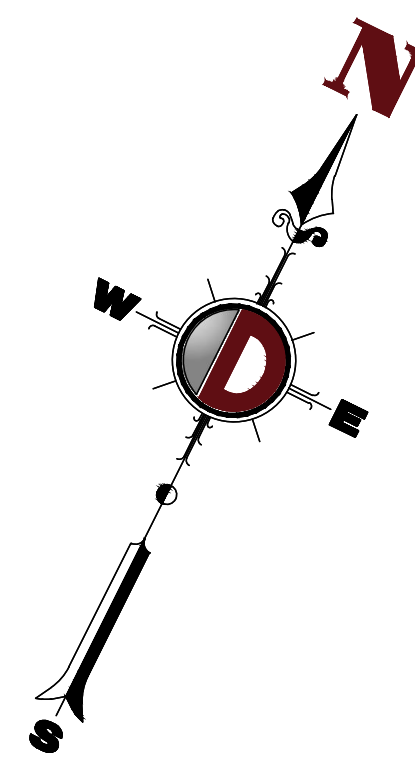
JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

RYAN MacNEILL
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 56484

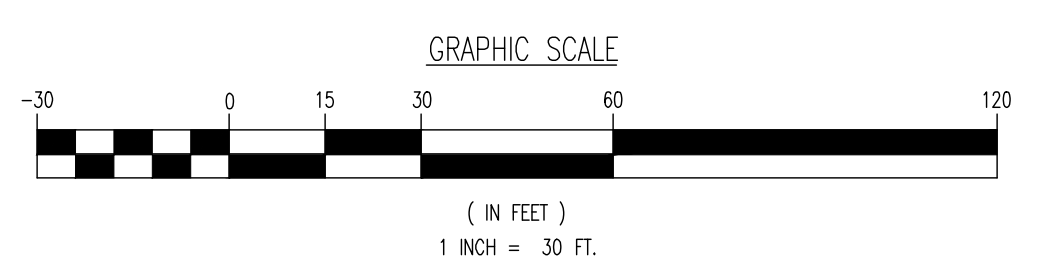
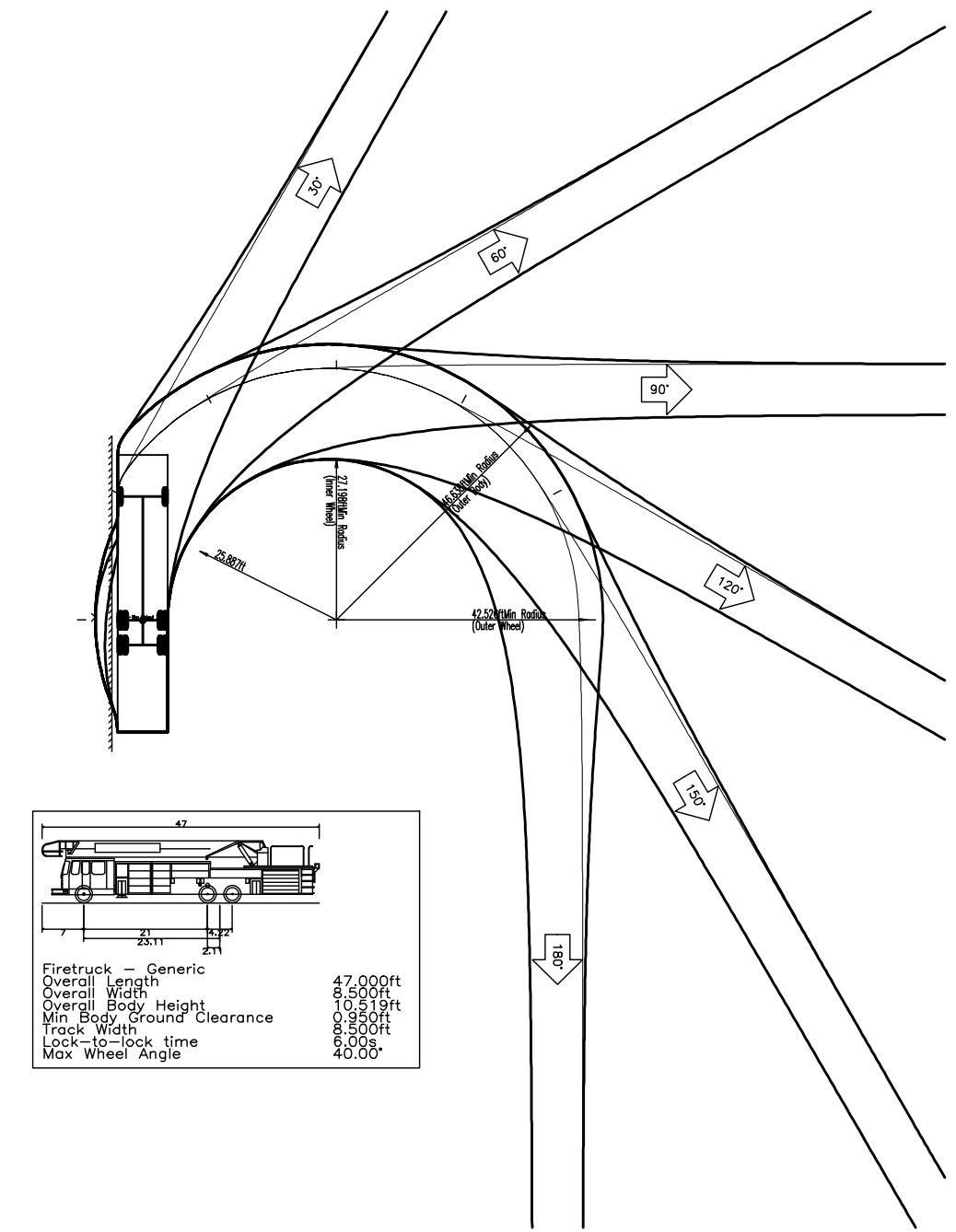
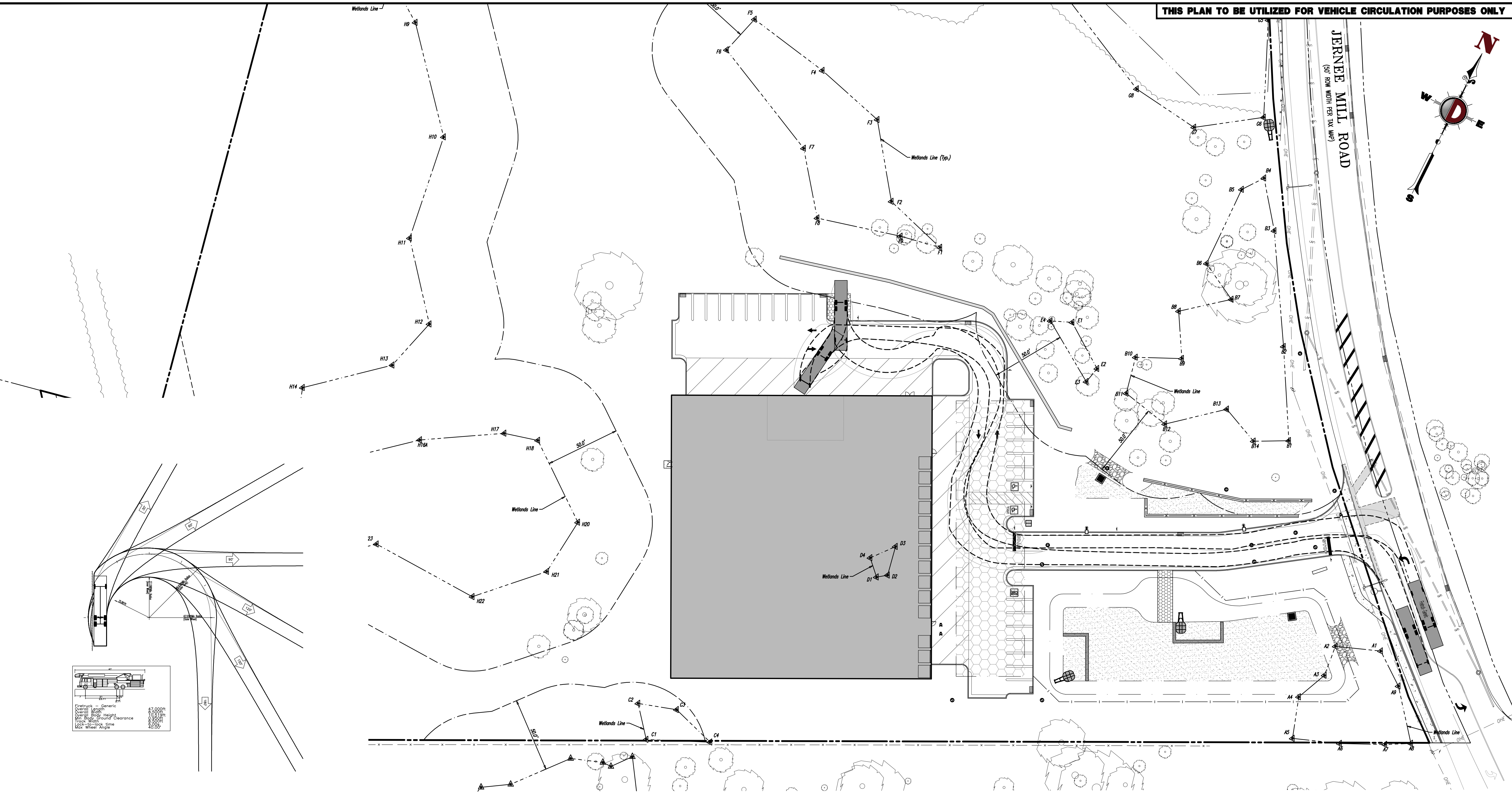
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Product Ver: 24.2s (LMS Tech)
Project: 2334 - 22 - 00807
Site: 17 CONSTRUCTION DETAILS
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THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



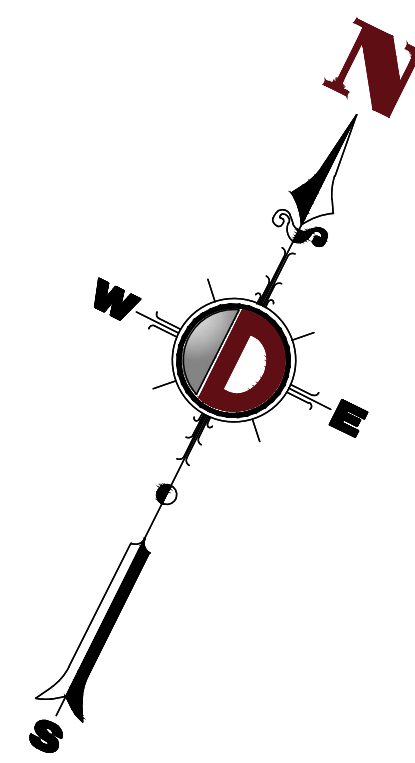
JERNEE MILL ROAD
(50' ROW WIDTH PER TAX MAP)



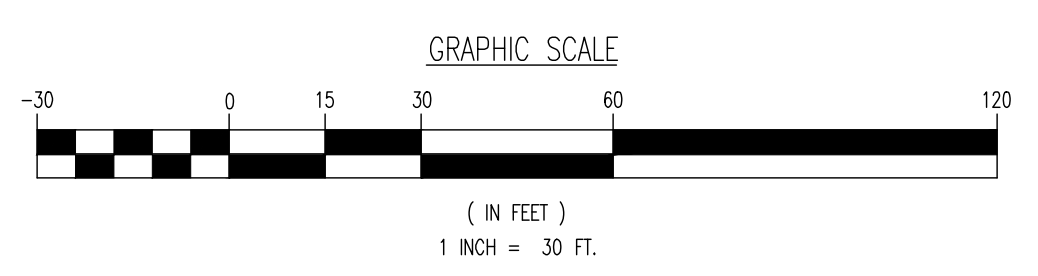
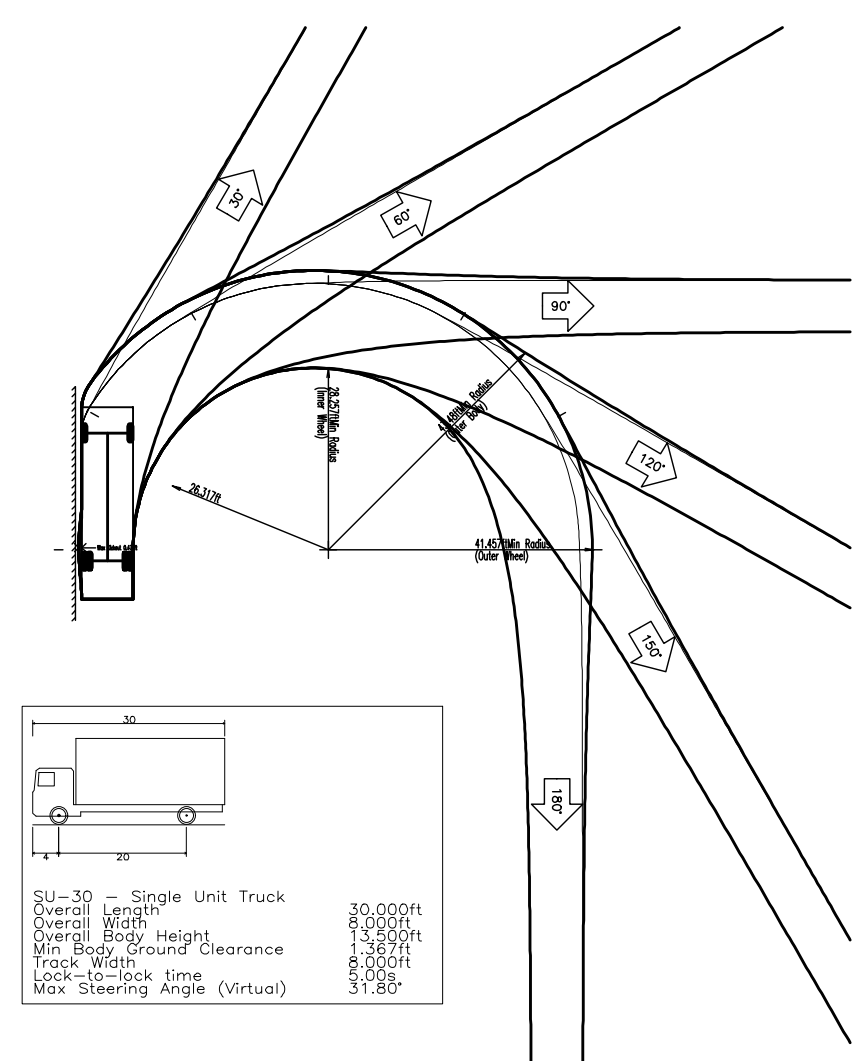
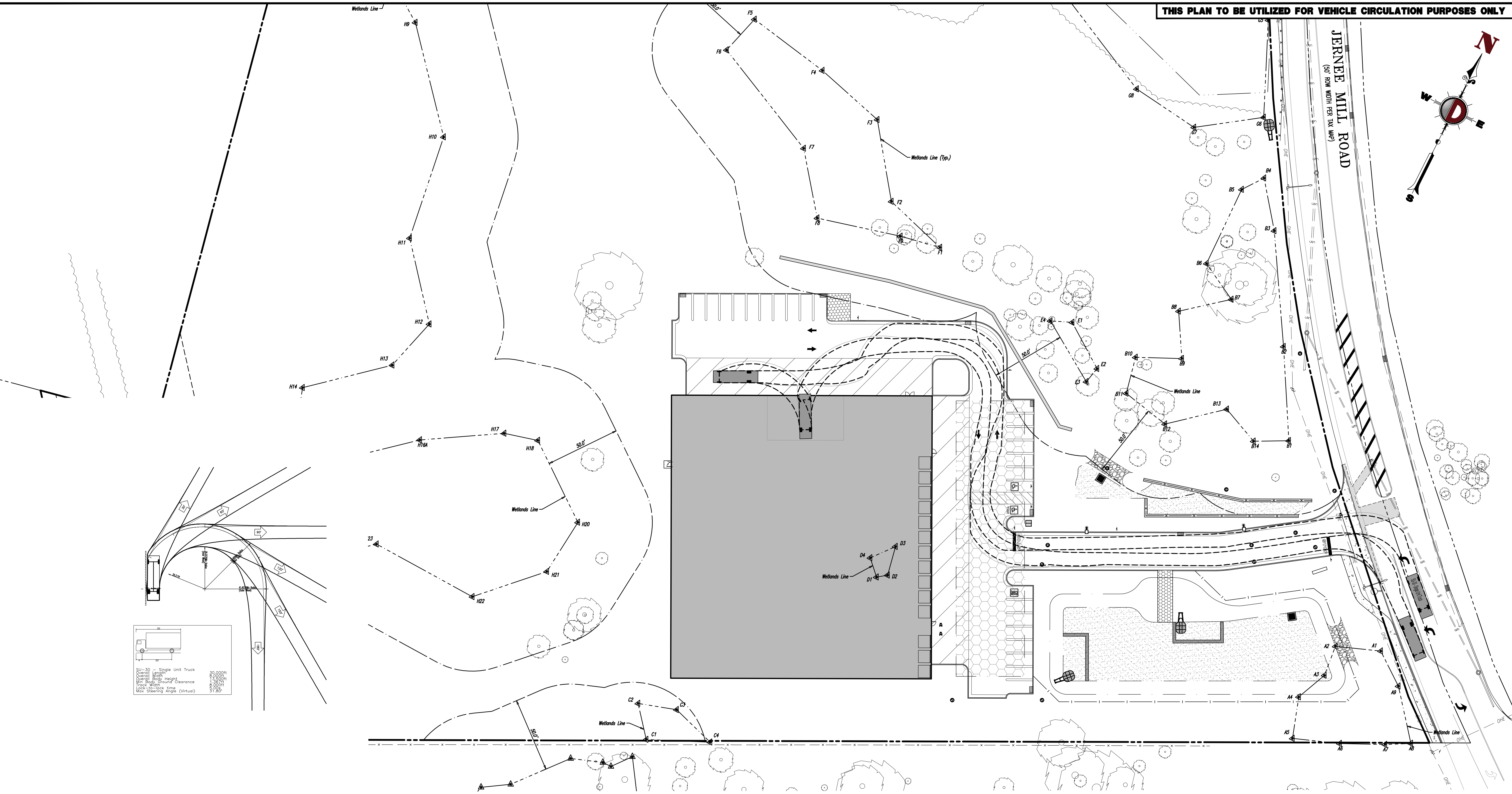
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<p>TITLE: VEHICLE CIRCULATION (FIRE)</p>	
<p>PROJECT: LOT 15 JERNEE MILL, LLC PROPOSED SELF STORAGE FACILITY</p> <p>BLOCK 62, LOTS 15 & 16 18 JERNEE MILL ROAD BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY</p>	
<p>JOB No: 2334-22-00807</p> <p>DATE: 01/11/2023</p> <p>SCALE: (H) 1"=30' (V)</p>	<p>DESIGNED BY: UV</p> <p>CHECKED BY: RJM</p>
<p>JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908</p>	<p>RYAN MacNEILL PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56484</p>
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<p>18 OF 19</p>	

Plotted: 07/25/23 - 2:50 PM, By: uverose, Product: Veri 24.2s (LMS Tech)
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THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



JERNEE MILL ROAD
(50' ROW WIDTH PER TAX MAP)



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<p>TITLE: VEHICLE CIRCULATION (SU-30)</p>	
<p>PROJECT: LOT 15 JERNEE MILL, LLC PROPOSED SELF STORAGE FACILITY BLOCK 62, LOTS 15 & 16 18 JERNEE MILL ROAD BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY</p>	
<p>JOB No: 2334-22-00807</p> <p>DESIGNED BY: KJH</p> <p>CHECKED BY: RJM</p>	<p>DATE: 01/11/2023</p> <p>SCALE: (H) 1"=30' (V)</p> <p>SHEET No: 19 OF 19</p>
<p>JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908</p>	<p>RYAN MacNEILL PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56484</p>
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