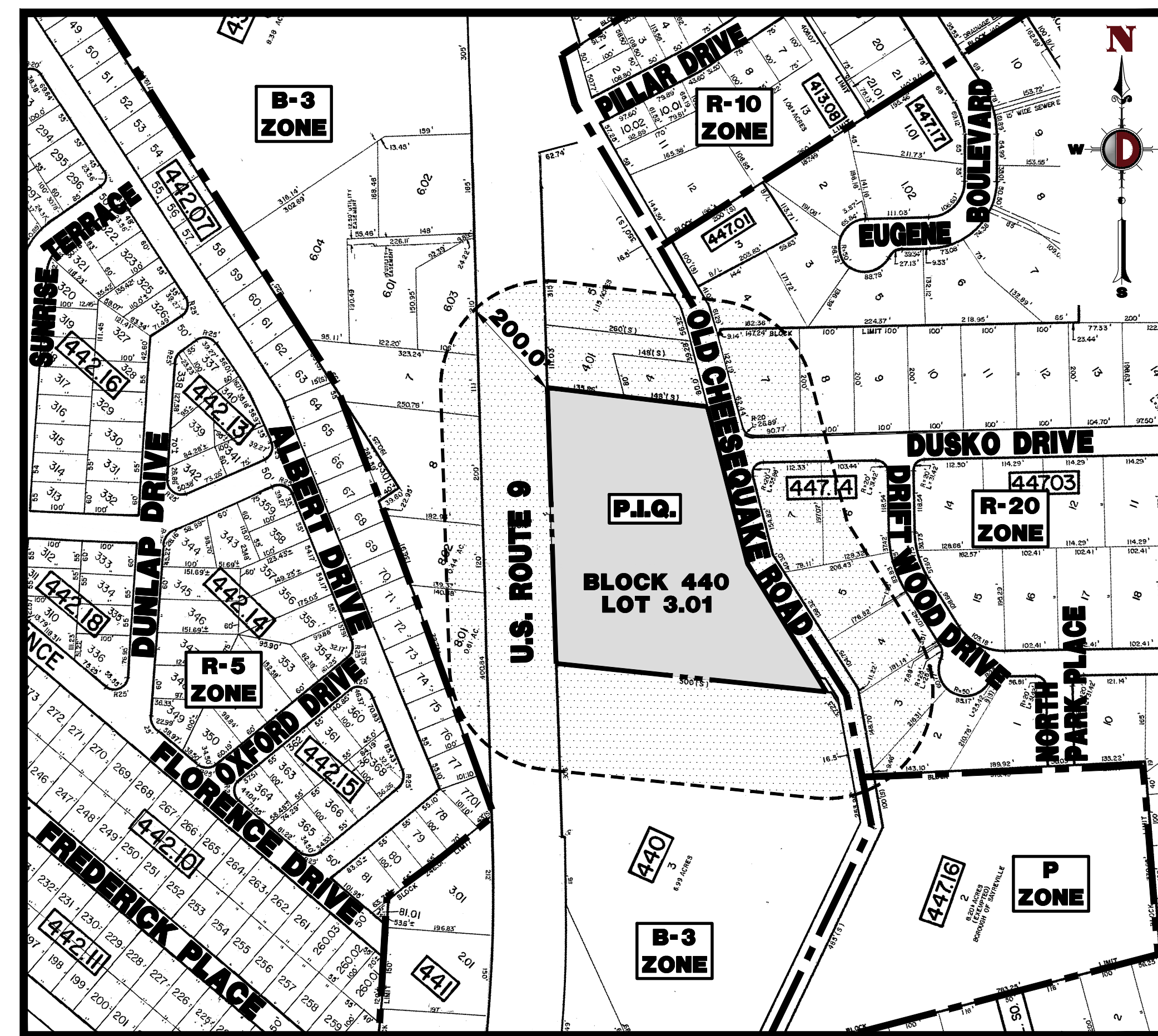


AMENDED PRELIMINARY AND FINAL SITE PLAN

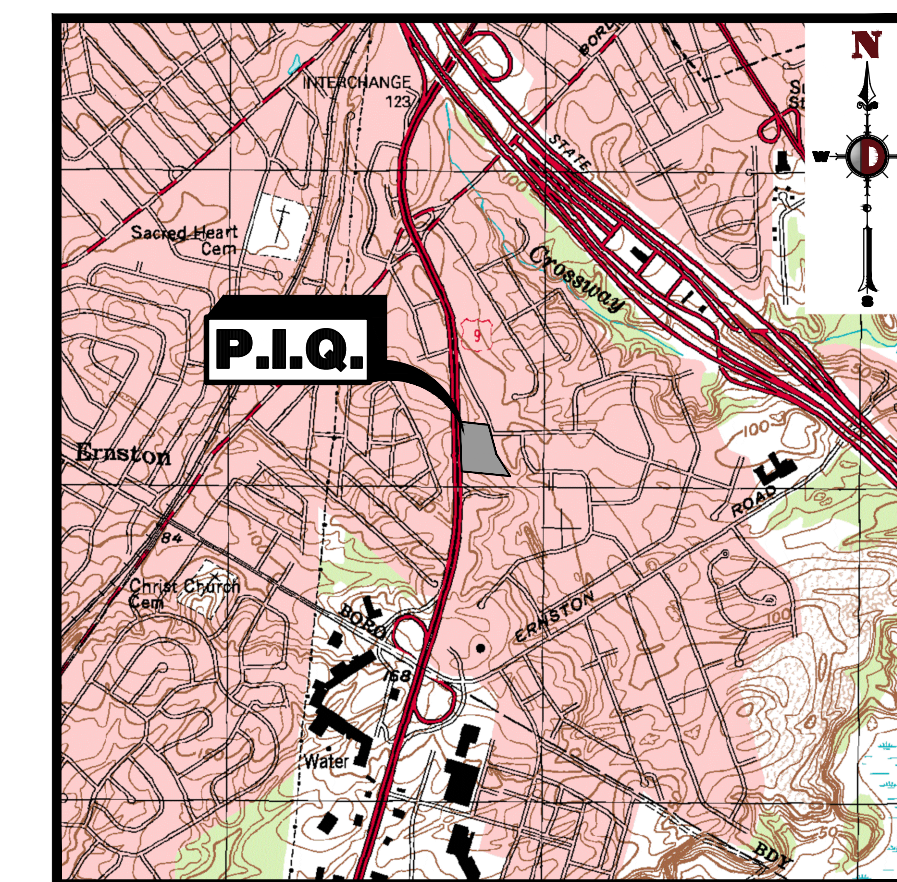
FOR TESLA MOTORS, INC. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS BLOCK 440, LOT 3.01; TAX MAP SHEET #118 - LATEST REV. DATED 04-25-95 969 US ROUTE 9 BOROUGH OF SAYREVILLE MIDDLESEX COUNTY, NEW JERSEY 08879

200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT
HESS RETAIL STORES, LLC 539 SOUTH MAIN STREET FINLEY, OH 45840	439.01	6.03
NINE SAYREVILLE, LLC 227 EAST 56 TH STREET #401 NEW YORK, NY 10022	439.01	7
HOMED TU & SHOU-HSIUNG LIN 8 BRADBURN PLACE EAST BRUNSWICK, NJ 08816	439.01	8
BERNARD J. SCHWARTZ 268 BUTLER BOULEVARD BAYVILLE, NJ 08721	439.01	8.01
C & W INFINITY, LLC 7 SPRAY COURT EAST BRUNSWICK, NJ 08816	439.01	8.02
CRESTVIEW OF SAYREVILLE, LP 1122 CLIFTON AVENUE CLIFTON, NJ 07013	440	3
PETERBANK OWNER PROPERTIES, LLC 107 CLAREMONT AVENUE COLONIA, NJ 07067	440	3.01
963 ROUTE 9, LLC 670 GROVE AVENUE EDISON, NJ 08820	440	4.02
FRONTIER SAYREVILLE, LLC 1801 SW 3 RD AVENUE #500 MIAMI, FL 33129	440	5
JAMES B. AND CATHERINE M. DENOTA 102 ALBERT DRIVE PARLIN, NJ 08859	442.07	73
MARSHA ZACK 104 ALBERT DRIVE PARLIN, NJ 08859	442.07	74
STEVEN E. ZHOLLIS II 106 ALBERT DRIVE PARLIN, NJ 08859	442.07	75
ANTHONY & NANCY W. SAVARESE 108 ALBERT DRIVE PARLIN, NJ 08859	442.07	76
TANIA RODRIGUES 33 DUSKO DRIVE PARLIN, NJ 08859	447	7
KENNETH R & CARMELITA PIPER TOOKES 21 DUSKO DRIVE PARLIN, NJ 08859	447	8
RONALD BECKER 9 DRIFTWOOD DRIVE PARLIN, NJ 08859	447.14	2
THOMAS & ALLISON HORNBECK 7 DRIFTWOOD DRIVE PARLIN, NJ 08859	447.14	3
CESAR A. QUITO TAPIA 5 DRIFTWOOD DRIVE PARLIN, NJ 08859	447.14	4
SALVATORE & DARLENE FILANINO 3 DRIFTWOOD DRIVE PARLIN, NJ 08859	447.14	56
GHASSAN ABULCASSIM 28 DUSKO DRIVE PARLIN, NJ 08859	447.14	6
AGUSTIN & MELISSA CABRAL 30 DUSKO DRIVE PARLIN, NJ 08859	447.14	7
BOROUGH OF SAYREVILLE 167 MAIN STREET SAYREVILLE, NJ 08872	447.16	2
DAPHNE M. DORCHY 1800 CHEESELAKE ROAD SOUTH AMBOY, NJ 08879	447.17	4



AREA MAP
1" = 200'



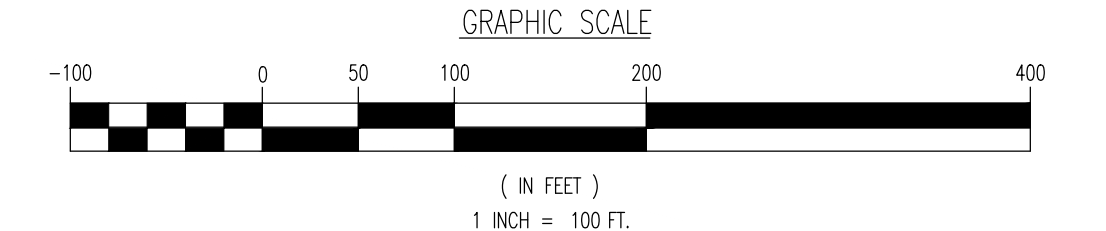
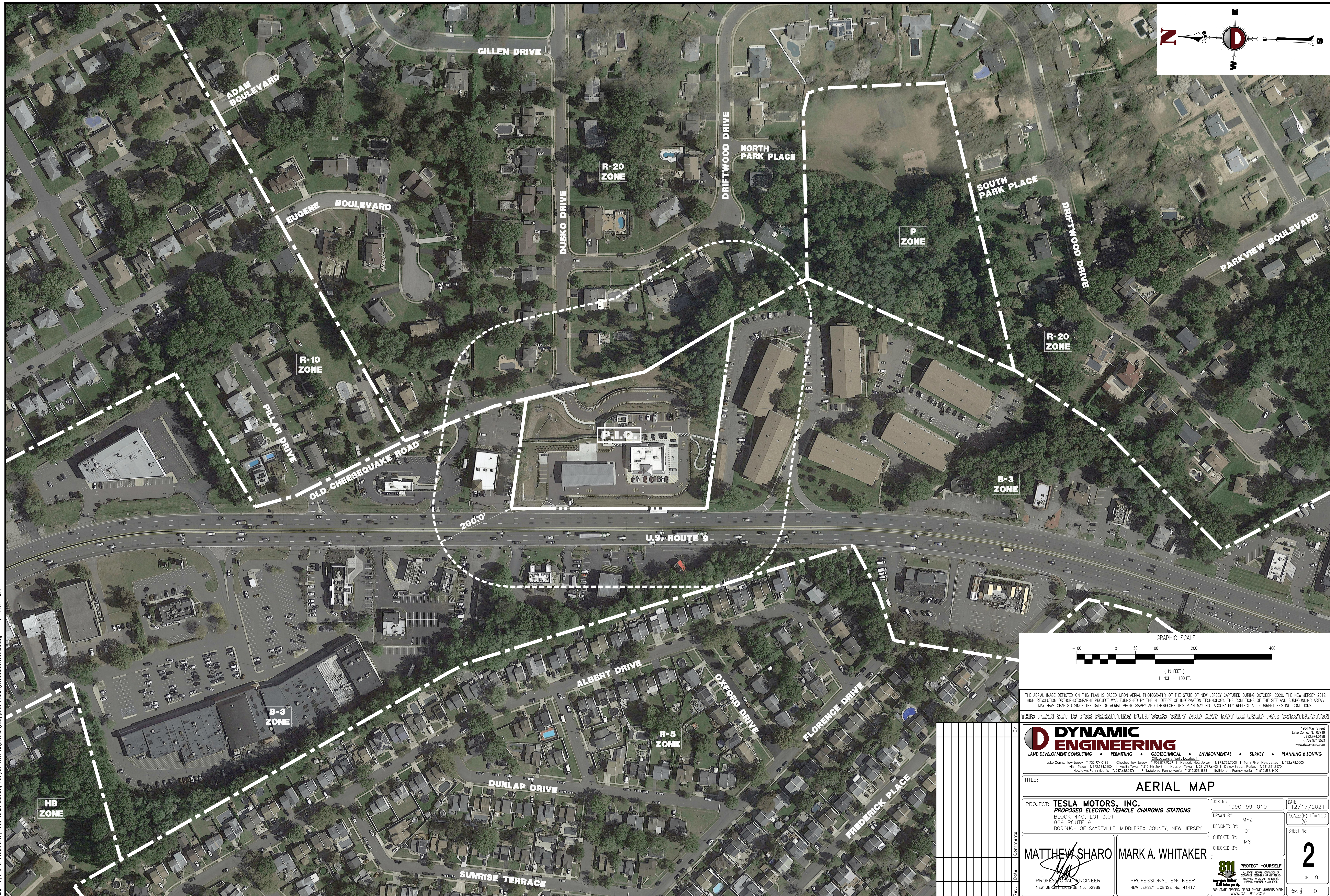
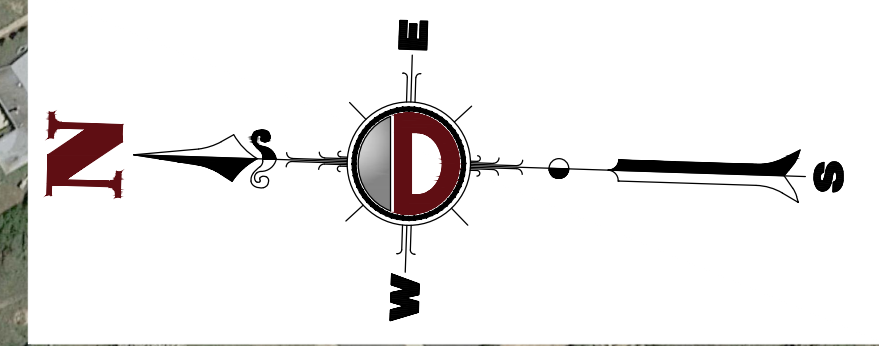
KEY MAP
1" = 2000'

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Product Ver: 24.1s (LMS Tech)
 File: P:\VEPCP PROJECTS\1990 Tesla Motors, Inc\99-010 Sayreville.Dwg\Site Plans\0199099010SKO.dwg, ----> COVER SHEET

ZONING BOARD OF ADJUSTMENT APPROVAL	
APPROVED AT THE ZONING BOARD OF ADJUSTMENT OF BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY	
CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

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TITLE: COVER SHEET		JOB No: 1990-99-010 DATE: 12/17/2021	
PROJECT: TESLA MOTORS, INC. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS		DRAWN BY: MFZ	
BLOCK 440, LOT 3.01		DESIGNED BY: DT	
969 ROUTE 9		CHECKED BY: MS	
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY		CHECKED BY: -	
MATTHEW SHARO PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52989		MARK A. WHITAKER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41417	
ALL USERS REQUIRE NOTIFICATION BY ELECTRONIC MEANS, OR BY OTHER MEANS, TO OBTAIN THE LATEST SERVICE ADDRESS. SEE THE 811 FOR STATE SERVICE DIRECT PHONE NUMBERS VISIT WWW.CALL811.COM		PROTECT YOURSELF 811 OF 9 Rev. # 0	



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED UPON AERIAL PHOTOGRAPHY OF THE STATE OF NEW JERSEY CAPTURED DURING OCTOBER, 2020. THE NEW JERSEY 2012 HIGH RESOLUTION ORTHOPHOTOGRAPHY PROJECT WAS FURNISHED BY THE NJ OFFICE OF INFORMATION TECHNOLOGY. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

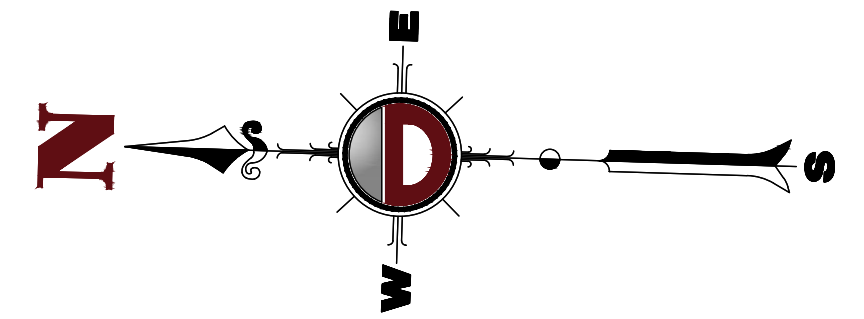
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TITLE: AERIAL MAP							
PROJECT: TESLA MOTORS, INC. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS	JOB No: 1990-99-010						
BLOCK 440, LOT 3.01 969 ROUTE 9 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY	DATE: 12/17/2021						
DESIGNED BY: MFZ	SCALE: (H) 1"=100' (V)						
CHECKED BY: MS	SHEET No:						
MATTHEW SHARO PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52989	MARK A. WHITAKER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41417						
<table border="1"> <tr> <td>Rev.</td> <td>Date</td> <td>Comments</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>		Rev.	Date	Comments			
Rev.	Date	Comments					
2 OF 9 Rev. # 0							

Plotted: 01/04/22 - 8:29 AM, By: kheeger, Product Ver: 24.1s (LMS Tech)
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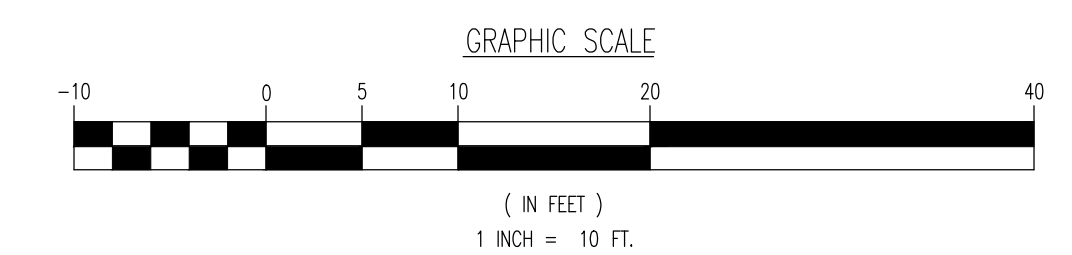
DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, DERRICKS OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REPAIR STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOLOGICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

- NOTES**
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

DEMOLITION PLAN LEGEND

	PROPOSED LIMIT OF DISTURBANCE LINE
	PROPOSED TREE PROTECTION FENCE LINE
	EXISTING IMPROVEMENTS TO BE REMOVED UNLESS OTHERWISE NOTED
	TREES TO REMAIN
	TREES TO BE REMOVED
	TREES TO BE TRANSPLANTED/RELOCATED



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DATE: 12/17/2021

DEMOLITION PLAN

PROJECT: TESLA MOTORS, INC. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS
BLOCK 440, LOT 3.01
969 ROUTE 9
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 1990-99-010
DRAWN BY: MFZ
DESIGNED BY: DT
CHECKED BY: MS
CHECKED BY: -

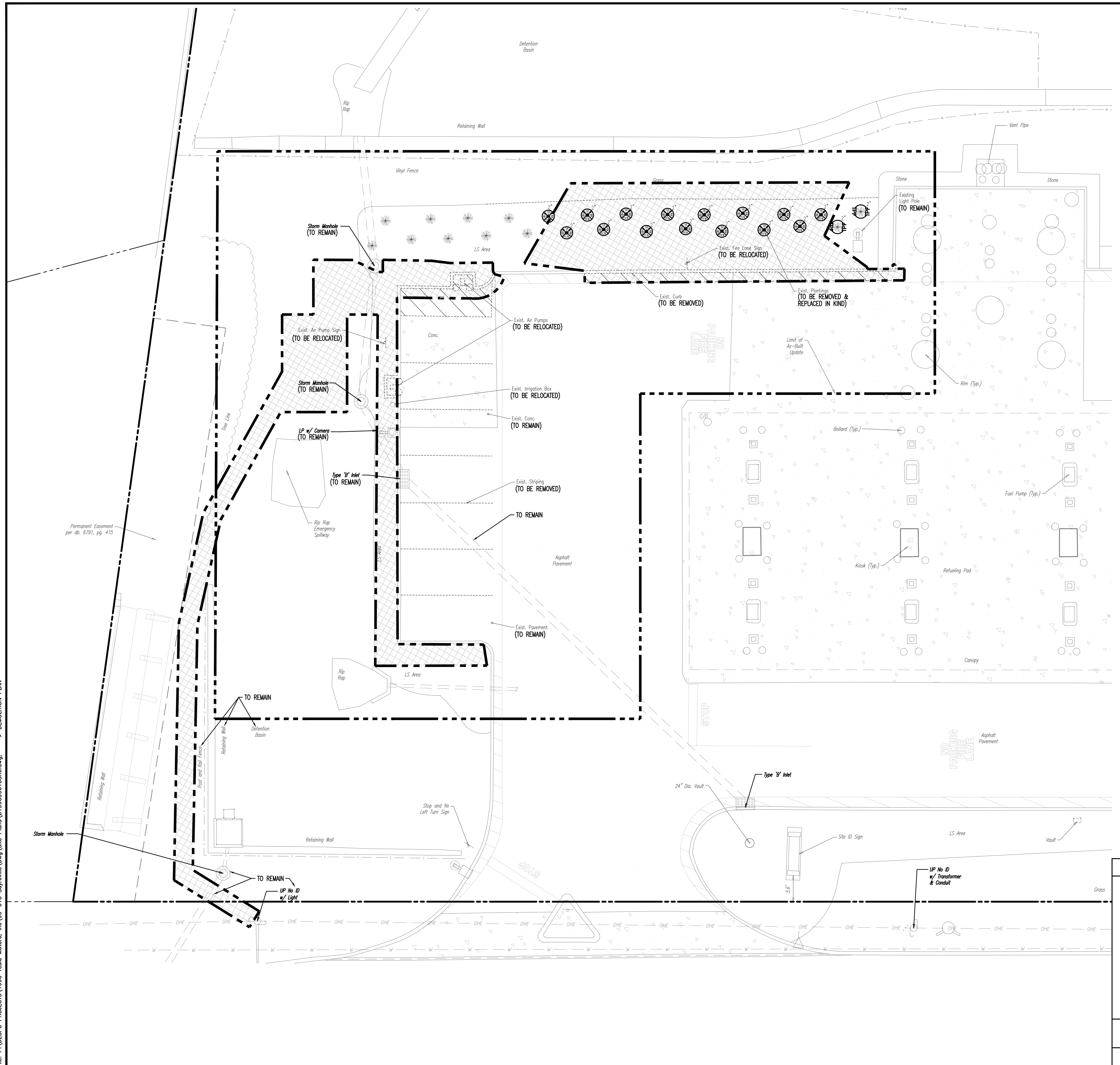
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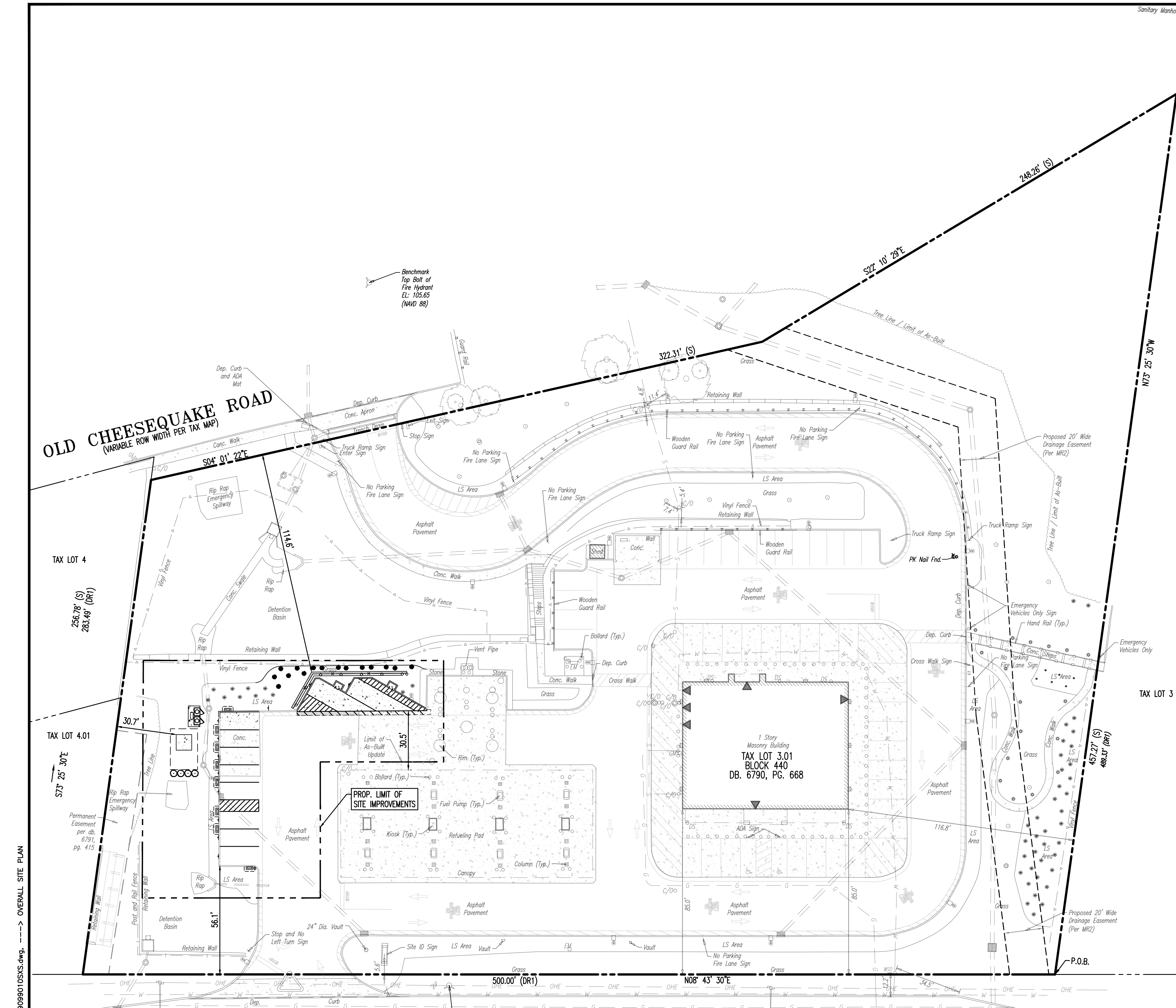
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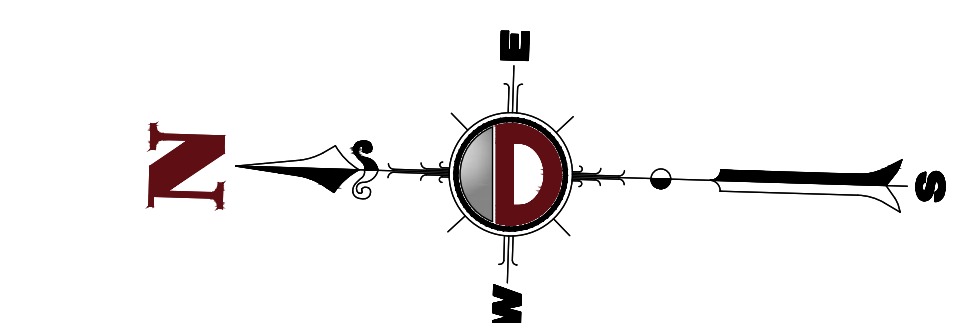


GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING: ASBUILT SURVEY DYNAMIC SURVEY, LLC 1504 MAIN STREET LAKE COMO, NEW JERSEY 07719 FILE #: 1990-99-0105 DATED: 04/06/16, LAST REVISED: 08/31/2021
- OWNER: RETLAW 967, LLC 13 FISHER ISLAND COURT MONROE, NEW JERSEY
- APPLICANT: TESLA MOTORS, INC. 140 VAN BRUNT STREET BROOKLYN, NY 11231
- PARCEL DATA: BLOCK 440, LOT 3.01 969 NUSH ROUTE 9 BOROUGH OF SAYREVILLE MIDDLESEX COUNTY, NEW JERSEY
- ZONED: B-3 (HIGHWAY BUSINESS) ZONE EXISTING USE: RETAIL (PERMITTED USE, §26-B1.4 ZONING SCHEDULE I-B) GASOLINE SERVICE STATION (CONDITIONAL USE, §26-B1.4 ZONING SCHEDULE I-B) (PREVIOUSLY APPROVED VARIANCE)
- BULK REQUIREMENTS

ZONE REQUIREMENT	ZONE B-3	EXISTING WMAA (PREVIOUSLY APPROVED)	PROPOSED
MINIMUM LOT AREA	20,000 SF	178,676 SF (4.10 AC)	178,676 SF (4.10 AC)
MINIMUM LOT WIDTH	100'	500.0'	500.0'
MINIMUM LOT FRONTAGE (1)	100'	1,072.325'	1,072.325'
MINIMUM LOT DEPTH	100'	310.4'	310.4'
PRINCIPAL STRUCTURE			
MINIMUM FRONT YARD SETBACK	50'	50.0' (CANOPY)	50.0' (CANOPY)
MINIMUM REAR YARD SETBACK	25'	186.6' (BUILDING)	186.6' (BUILDING)
MINIMUM SIDE YARD SETBACK (ONE SIDE)	10'	116.7'	116.7'
MINIMUM SIDE YARD SETBACK (BOTH SIDES)	20'	233.6'	233.6'
MAXIMUM BUILDING HEIGHT	35'	33.0' (1 STORY)	33.0' (1 STORY)
ACCESSORY STRUCTURE (TRASH COMPOUND)			
MAXIMUM SETBACK FROM OTHER STRUCTURES	10'	65.5'	65.5'
MINIMUM FRONT YARD SETBACK	50'	215.6'	215.6'
MINIMUM REAR YARD SETBACK (2)	50'	98.0'	98.0'
MINIMUM SIDE YARD SETBACK (3)	5'	227.1'	227.1'
MAXIMUM HEIGHT	15'	8.0'	8.0'
MAXIMUM LOT COVERAGE (BUILDINGS)	25%	7.1% (12,735 SF)	7.1% (12,735 SF)
MAXIMUM LOT COVERAGE (BUILDINGS AND PAVEMENT)	85%	46.9% (83,883 SF)	47.4% (84,700 SF)

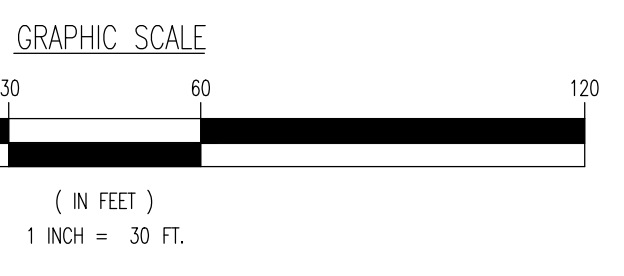
- N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (V): VARIANCE
- NOTES:
- EVERY PRINCIPAL BUILDING SHALL BE BUILT UPON A LOT HAVING MINIMUM STREET FRONTAGE EQUAL TO THE REQUIRED MINIMUM LOT WIDTH UPON AN APPROVED STREET WHICH SHALL BE IMPROVED IN ACCORDANCE WITH STREET STANDARDS ESTABLISHED BY THE BOROUGH OF SAYREVILLE OR THE RESIDENTIAL SITE IMPROVEMENT STANDARDS (RSIS), AS APPLICABLE. (§26-82.3.a)
 - ON THROUGH LOTS, NO ACCESSORY STRUCTURE ERRECTED IN THE "REAR" YARD SHALL BE NEARER TO THE REAR STREET LINE THAT THE MINIMUM FRONT YARD SETBACK FOR THE ZONE IN WHICH THE LOT IS LOCATED. (§26-82.6.a.7)
 - MINIMUM SETBACKS FROM SIDE LOT LINES SHALL BE ONE-HALF (1/2) THE SIDE YARD SETBACK IN NON-RESIDENTIAL ZONES. (§26-82.6.a.8)
- ADDITIONAL NOTES:
- IN THE CASE OF A THROUGH LOT, THE FRONT LINE OF SUCH LOT, SHALL BE CONSIDERED THAT LINE UPON WHICH THE MAJORITY OF THE BUILDINGS IN THE SAME BLOCK FRONT OF THE LOT IS SITUATED. THERE HAS BEEN NO CLEARLY DEFINED FRONTAGE ESTABLISHED, THE FRONT LOT LINE SHALL BE THE LINE UPON WHICH THE PRIMARY ENTRANCE OF THE PRINCIPAL BUILDING FACIES OR WILL FACE WHEN CONSTRUCTED. (§26-82.3.a)
 - FOR DEVELOPMENTS SITUATED ALONG COUNTY ROADWAYS OR OTHER COLLECTOR OR ARTERIAL ROUTES, THE BOARD MAY REQUIRE FRONTAGE REVERSAL AHEAD FROM THE COLLECTOR OR ARTERIAL ROADWAY OVER A SEPARATE ACCESS ROAD. REVERSED FRONTAGE LOTS SHALL BE DESIGNED WITH MINIMUM THREE (3) FOOT HIGH BURNING MINIMUM FIVE (5) FOOT HIGH CONTINUOUS EVERGREEN LANDSCAPING, MINIMUM FIVE (5) FOOT HIGH BOARD-ON-BOARD FENCING, OR ANY COMINATION THEREOF, ALONG ALL BOUNDARIES COMMON TO THE MAJOR ROADWAY, WHOSE PURPOSE SHALL BE THE VISUAL SCREENING OF ROADWAY TRAFFIC PERSPECTIVES FROM THE LOT INTERIOR AND THE PERCEPTION OF THE DETAILS OF THE LOT USAGE FROM THE TRAVELLED MAJOR ROADWAY. (§26-82.3.c)
 - RELATED COMPATIBLE BUILDINGS UNDER ONE (1) MANAGEMENT MAY BE ERECTED, USED OR OCCUPIED ON ONE (1) LOT, PROVIDED THAT ALL YARD, OPEN SPACE, SETBACK AND COVERAGE REQUIREMENTS ARE MET. (§26-82.4)
 - NO ACCESSORY STRUCTURE SHALL BE LOCATED IN THE REAR YARD OR IN ANY AREA WHERE FRONT YARD SETBACKS APPLY. (§26-82.6.a.4)
7. GASOLINE SERVICE STATION CONDITIONAL USE REQUIREMENTS (§26-85.3)
- THE MINIMUM LOT SIZE SHALL BE 20,000 SF. (COMPLIES)
 - THE MINIMUM LOT WIDTH SHALL BE 100 FT. (COMPLIES)
 - NO MORE THAN THREE (3) GASOLINE SERVICE STATIONS SHALL BE LOCATED WITHIN (1) LINEAR MILE. THE DISTANCE SHALL BE MEASURED ALONG THE CENTER LINE OF EXISTING STREETS TO THE NEAREST LOT LINE OF LAND USE FOR A GASOLINE SERVICE STATION. FURTHER, SUCH USE SHALL BE LOCATED NO LESS THAN 500 FT FROM ANY INSTITUTIONAL OR PUBLIC USE OR HOUSE OF WORSHIP. (PREVIOUSLY APPROVED VARIANCE - 4 GASOLINE SERVICE STATIONS WITHIN 1 LINEAR MILE)
 - ALL OUTDOOR STORAGE FACILITIES SHALL BE ENCLOSED BY A FENCE OR A WALL OR OTHER DURABLE VISIBLE SCREEN ACCORDING TO CONCEAL SUCH FACILITIES AND THE CONTENTS THEREOF FROM ADJACENT PROPERTY. (COMPLIES)
 - ALL AREAS NOT COVERED BY BUILDINGS AND PAVEMENT SHALL BE APPROPRIATELY LANDSCAPED AND MAINTAINED. (COMPLIES)
 - NO OUTDOOR HYDRAULIC OR MECHANICAL LIFTS OR OIL DRAINAGE OR MECHANICAL RITS SHALL BE PERMITTED. (NOT APPLICABLE)
 - NO GASOLINE PUMPS SHALL BE NEARER THAN 25 FT TO ANY STREET RIGHT-OF-WAY LINE AND ALL PUMP LINES AND AT LEAST 50 FT FROM THE BOUNDARY OF A RESIDENTIAL ZONE. (COMPLIES)
 - ALL OTHER STANDARDS OF THE ZONE IN WHICH THE USE IS LOCATED SHALL BE MET. (COMPLIES)
8. OFF-STREET PARKING & DRIVE ASILES
- GASOLINE SERVICE STATIONS - 4 SPACES FOR EACH BAY, PLUS 2 SPACES FOR EACH SERVICE VEHICLE (§26-88.1.a) RETAIL USES - 5 SPACES PER 1,000 SF OF BUILDING AREA (§26-88.1.a)
 - 0 BAYS X (4 SPACES / BAY) + 0 SERVICE VEHICLES X (2 SPACES / VEHICLE) = 0 SPACES REQUIRED
 - 5,585 SF X (5 SPACES / 1,000 SF) = 28 SPACES REQUIRED
 - 28 TOTAL SPACES REQUIRED
 - = 50 TOTAL SPACES PROVIDED (PREVIOUSLY APPROVED)
 - = 53 TOTAL SPACES PROPOSED (COMPLIES)
 - EVERY SUCH SPACE PROVIDED SHALL MEASURE AT LEAST 9 FT IN LENGTH, EXCLUSIVE OF ACCESS DRIVES AND ASILES. (§26-88.1.b.1) (COMPLIES)
 - HARSH STRIPING SHALL BE REQUIRED. (§26-88.1.b.1) (MAINTENANCE)
 - PERPENDICULAR PARKING REQUIRES AN ASILE WIDTH OF 24 FT. (§26-88.1.b.2) (COMPLIES)
 - EACH OFF-STREET PARKING, LOADING OR SERVICE AREA SHALL BE CONNECTED TO A PUBLIC STREET RIGHT-OF-WAY BY MEANS OF A DRIVEWAY, AND EACH PARKING SPACE SHALL CONNECT TO AN ASILE PROVIDING ACCESS THERETO. (§26-88.1.b.3) (COMPLIES)
 - NO OFF-STREET PARKING AREA SHALL BE LOCATED IN A MINIMUM REQUIRED FRONT YARD SETBACK AREA OR WITHIN 5 FT OF A PROPERTY LINE. (§26-88.1.b.8) (COMPLIES)
 - NO AUTOMOBILES SHALL BE PARKED OR STORED IN ANY AREA OF A LOT OTHER THAN A GARAGE, DRIVEWAY OR PARKING LOT. (§26-82.9.b) (COMPLIES)



GENERAL NOTES CONTINUED

- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
- BEFORE THE STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AGENCIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND NO CONSTRUCTION SHALL BE PROCEED UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN THE REPORT & PLANS.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- IF PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES THAT MAY OCCUR DURING CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSATURATED MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHOWING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNIFY CONTRACTORS AND SUBCONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY TO THE LIMITED EXTENT OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS. COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW AND REVIEW OF A SPECIFIC ITEM SHALL NOT IMPLY THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT SUBCONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.



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F: 973.974.3521
www.dynamic-engineering.com

PROJECT: TESLA MOTORS, INC. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS

TITLE: OVERALL SITE PLAN

JOB No: 1990-99-010 DATE: 12/17/2021

DESIGNED BY: MFZ SCALE: (H) 1"=30' (V)

CHECKED BY: DT SHEET No:

CHECKED BY: MS

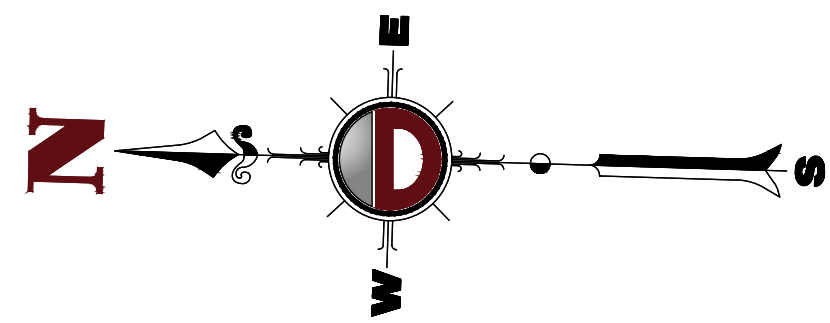
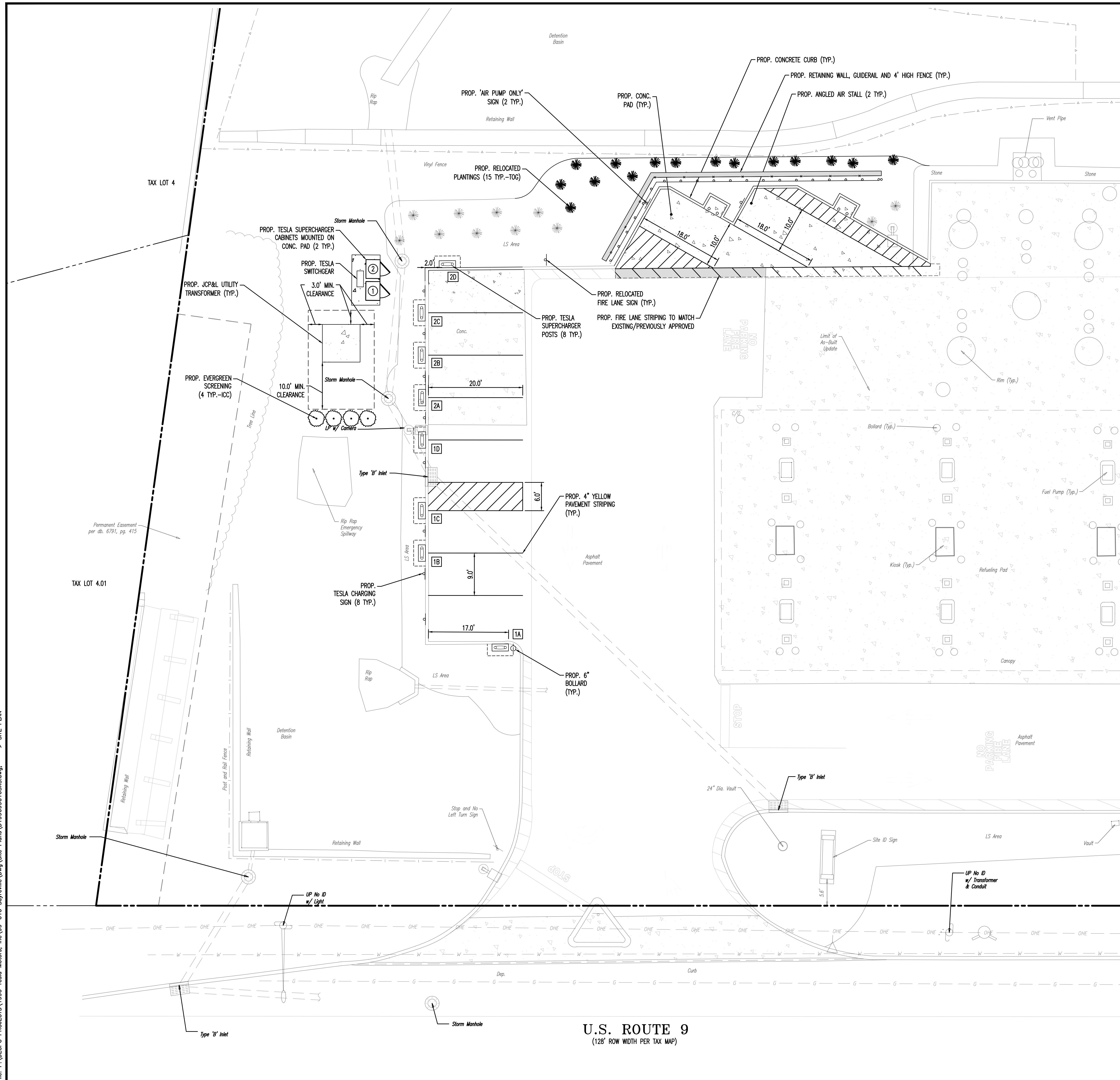
MATTHEW SHARO PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52989

MARK A. WHITAKER PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41417

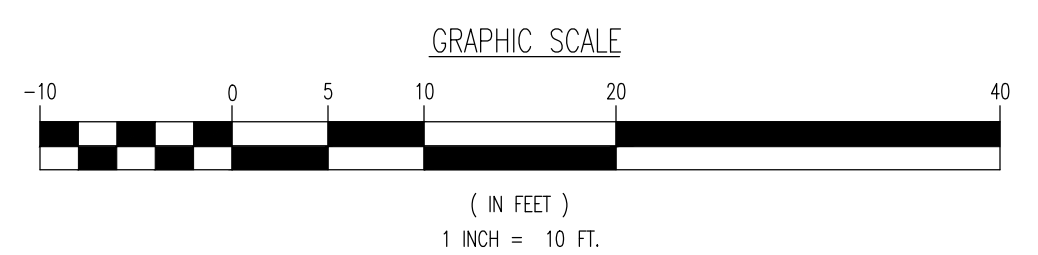
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Rev. # 0

Plotted: 01/04/22 - 8:29 AM, By: kleece, Product Ver: 24.1.s (LMS Tech)
 File: P:\BCEPC PROJECTS\1990 Tesla Motors, Inc\99-010 Sayreville.Dwg\Site Plans\0199099010SXS.dwg, ---> SITE PLAN



PAVEMENT LEGEND	
	PROPOSED CONCRETE
	PROPOSED PAVEMENT



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 Newkirk, Pennsylvania T: 567.685.0276 | Philadelphia, Pennsylvania T: 215.253.4868 | Spillertown, Pennsylvania T: 410.598.4400

TITLE: **SITE PLAN**

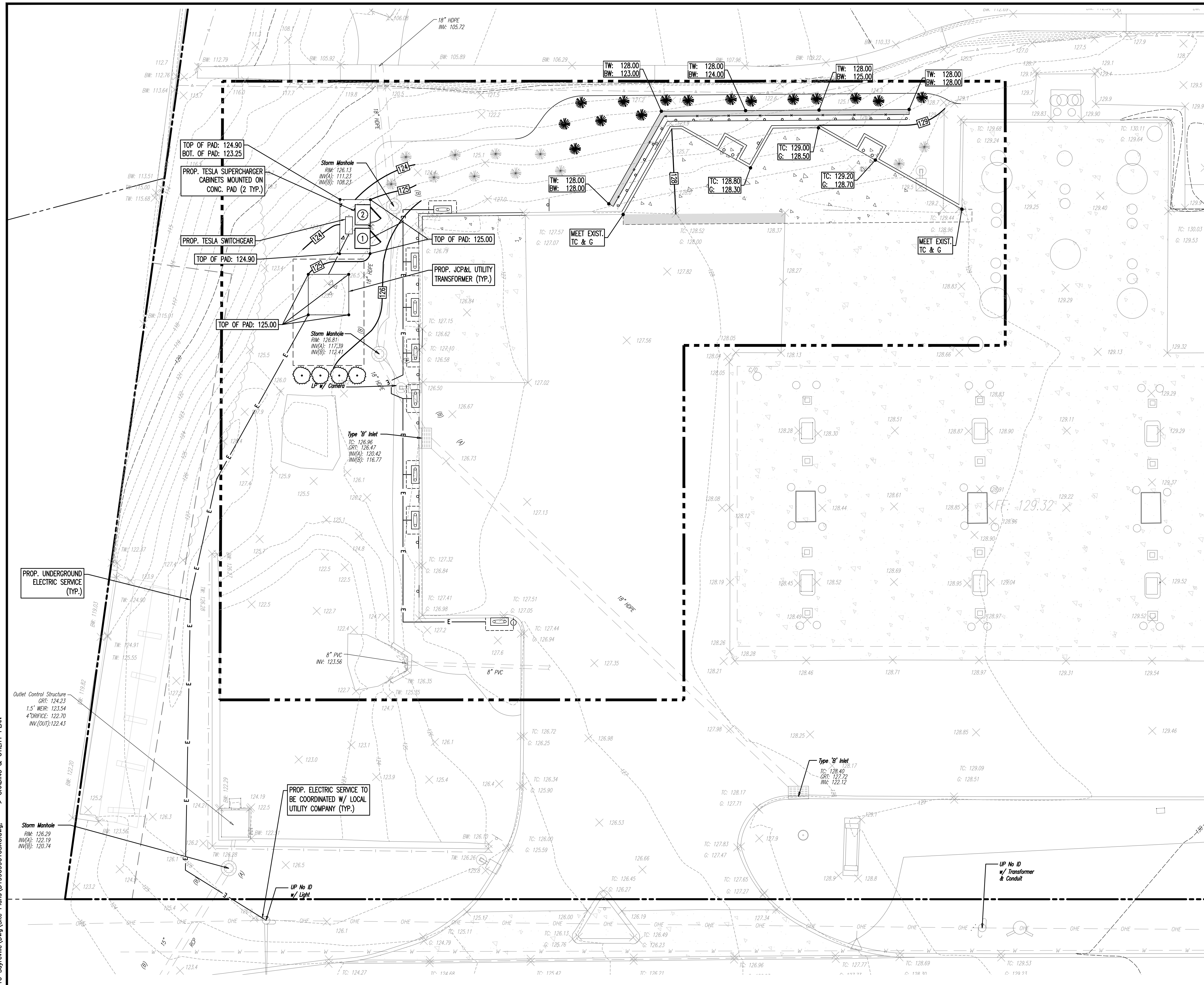
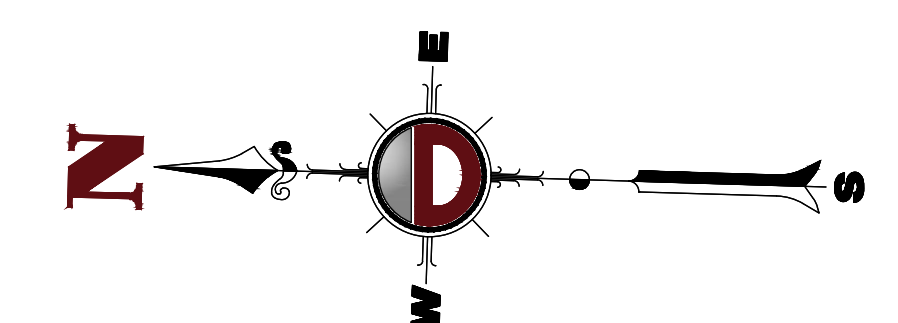
PROJECT: **TESLA MOTORS, INC. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS**
 BLOCK: 440, LOT 3.01
 969 ROUTE 9
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 1990-99-010 DATE: 12/17/2021
 DRAWN BY: MFZ SCALE: (H) 1"=10' (V)
 DESIGNED BY: DT SHEET No:
 CHECKED BY: MS
 CHECKED BY: -

MATTHEW SHARO PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52989
MARK A. WHITAKER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41417

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ADA NOTES

ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES AND NJ BARRIER FREE SUBCODE (NAC 5:23-7) FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:

- SIDEWALKS/ ACCESSIBLE ROUTES**
 - RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX., 1.0% MIN. (1.5% MAX. FOR NEW CONSTRUCTION)
 - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/2" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- CURB RAMP**
 - SLOPE: 1:12 (8.33) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - SIDE FLARE SLOPE: 1:10 (10%) MAX. (WHERE PERIS CROSS RAMP)
 - BOTTOM LANDINGS: 48" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - TOP LANDINGS: 36" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)
- ACCESSIBILITY PARKING SPACES**
 - SPACE AND ACCESS ASLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- CROSSWALKS**
 - RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/2" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- RAMP**
 - SLOPE: 1:12 (8.33) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - EXISTING RAMPS: SLOPE: 1:10 (10%) MAX. FOR RISE OF 6"; 1:8 (12.5%) MAX. FOR MAX. RISE OF 3"
 - MAX. RISE: 30"
 - MIN. CLEAR WIDTH: 36"
 - MIN. LANDING CLEAR LENGTH: 60"
 - MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)

GRADING NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST (100% MOISTURE CONTENT) AT TIME OF PLACEMENT. THE CONTRACTOR SHALL VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING C/D SHEETS PRIOR TO INSTALLATION.
4. SUBGRADE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
7. MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
8. CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESSIBLE AREAS. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE, WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
9. THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
10. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNERS GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

EXISTING UTILITY NOTES

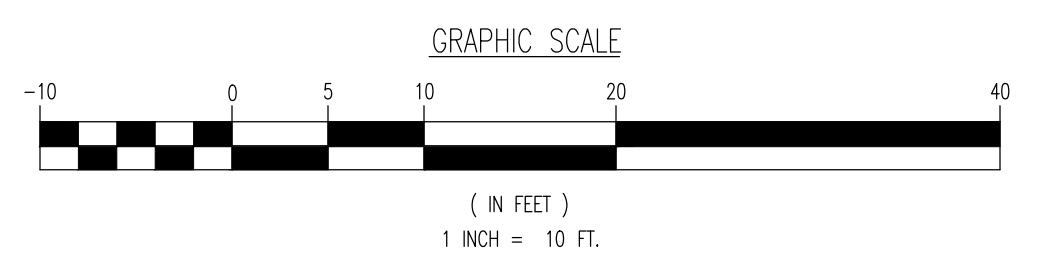
EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

EXISTING GAS SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

SANITARY SEWER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

UTILITY NOTES

1. PAD-MOUNTED TRANSFORMERS AND PAD-MOUNTED EQUIPMENT HAVE UNDERGROUND ELECTRICAL CABLES ENTERING AND EXITING THEM BELOW GRADE. WHEN IT IS DECIDED TO INSTALL PLANTS OR OBJECTS AROUND A PAD, CALL THE APPROPRIATE STATE ONE-CALL AGENCY FOUND IN SECTION 3.1.5 BEFORE DIGGING SO THAT UNDERGROUND CABLE LOCATIONS CAN BE MARKED.
2. THREE (3) FEET MINIMUM CLEARANCE SHALL BE MAINTAINED EVEN AFTER ALL PLANTS HAVE REACHED THEIR MATURITY. TO ALL FUTURE GROWTH, PLANT VEGETATION SHOULD BE PLACED AT LEAST SEVEN (7) FEET FROM THE BACK AND SIDE OF THE PAD-MOUNTED DEVICE, PEDESTAL, OR HARDWARE. AVOID PLANTING SHRUBS OR SITTING POSTS DIRECTLY OVER CABLES.
3. IF PAD-MOUNTED EQUIPMENT IS A SWITCH OR OTHER SIMILAR DEVICE WITH FRONT, SIDE, OR REAR DOORS, THE MINIMUM 3-FEET CLEARANCE SHALL BE INCREASED TO 10 FEET.
4. MINIMUM SAFETY CLEARANCES TO GAS METERS SHALL BE THREE (3) FEET AND TO TANKS CONTAINING FLAMMABLE LIQUIDS OR GASES (E.G., PROPANE, GAS, OXYGEN) FIFTEEN (15) FEET.
5. FOR MINIMUM CLEARANCES TO BUILDINGS OR STRUCTURES - SEE EXHIBIT 22.
6. COMPANY SHALL NOT BE RESPONSIBLE FOR REPLACING SHRUBS, PLANTS, FENCES, WALLS, SCREENINGS, AND OTHER OBSTRUCTIONS THAT NEED TO BE KEPT FOR MAINTENANCE OR RESTORATION WORK.



GRADING/UTILITY GRAPHIC LEGEND

<p>EXIST. GUY WIRE</p> <p>EXIST. LIGHT POLE</p> <p>EXIST. BUILDING LIGHT</p> <p>EXIST. SHOE BOX LIGHT</p> <p>EXIST. COBRA LIGHT POLE</p> <p>EXIST. TRAFFIC SIGNAL POLE</p> <p>EXIST. MANHOLE</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. "C" INLET</p> <p>EXIST. YARD INLET</p> <p>EXIST. FLARED END SECTION</p> <p>EXIST. HEADWALL</p> <p>EXIST. UTILITY POLE</p>	<p>EXIST. MONITORING WELL</p> <p>APPROX. TEST PIT LOCATION</p> <p>EXIST. FIRE HYDRANT</p> <p>EXIST. WATER VALVE</p> <p>EXIST. GAS VALVE</p> <p>EXIST. GAS METER</p> <p>EXIST. ELECTRIC METER</p> <p>EXIST. ELECTRIC BOX</p> <p>EXIST. CLEAN OUT</p> <p>EXIST. WELL</p> <p>EXIST. WATER SHUT OFF VALVE</p> <p>EXIST. TELEPHONE BOX</p> <p>EXIST. CABLE TV BOX</p> <p>PROP. HEADWALL</p>	<p>PROP. WATER VALVE</p> <p>PROP. GAS VALVE</p> <p>PROP. STORM CLEANOUT</p> <p>PROP. SANITARY CLEANOUT</p> <p>PROP. AREA LIGHT</p> <p>PROP. OUTLET CONTROL STRUCTURE</p> <p>PROP. DRAINAGE MANHOLE</p> <p>PROP. SANITARY SEWER MANHOLE</p> <p>PROP. "A" INLET</p> <p>PROP. "B" INLET</p> <p>PROP. "C" INLET</p> <p>PROP. YARD INLET</p> <p>PROP. FLARED END SECTION</p>	<p>PROPERTY LINE (PARCEL IN QUESTION)</p> <p>OFF-SITE PROPERTY LINES</p> <p>EXIST. CABLE LINE</p> <p>PROP. CABLE LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>PROP. ELECTRIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>PROP. FIBER OPTIC LINE</p> <p>EXIST. GAS LINE</p> <p>PROP. GAS LINE</p> <p>EXIST. OVERHEAD WIRES</p> <p>PROP. OVERHEAD WIRES</p> <p>EXIST. TELEPHONE LINE</p> <p>PROP. TELEPHONE LINE</p> <p>EXIST. WATER LINE</p> <p>PROP. WATER LINE</p>	<p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)</p> <p>PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)</p> <p>EXIST. SANITARY SEWER LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>EXIST. STORM DRAIN LINE</p> <p>PROP. STORM DRAIN LINE</p> <p>EXIST. MINOR CONTOUR & ELEVATION</p> <p>PROP. FINISH GRADE CONTOUR & ELEVATION</p> <p>PROP. DIRECTION OF DRAINAGE FLOW ARROW</p>	<p>EXIST. SPOT ELEVATIONS</p> <p>EXIST. GUTTER ELEV.</p> <p>EXIST. TOP OF CURB ELEV.</p> <p>EXIST. FINISH FLOOR ELEV.</p> <p>EXIST. GARAGE FLOOR ELEV.</p> <p>PROP. GRADE SPOT ELEV.</p> <p>PROP. TOP OF CURB & FINISHED GRADE ELEV.</p> <p>PROP. FINISHED FLOOR ELEV.</p> <p>PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)</p> <p>PROP. TOP OF EXTENDED CURB (OH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (OL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB</p>
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www.dynamiceng.com

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PROJECT: **TESLA MOTORS, INC. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS**

LOT: 440, LOT 3.01
969 ROUTE 9
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

TITLE: **GRADING & UTILITY PLAN**

DATE: 12/17/2021

DESIGNED BY: MFZ

CHECKED BY: MS

DATE: 12/17/2021

SCALE: (H) 1"=10' (V)

SHEET NO: **6**

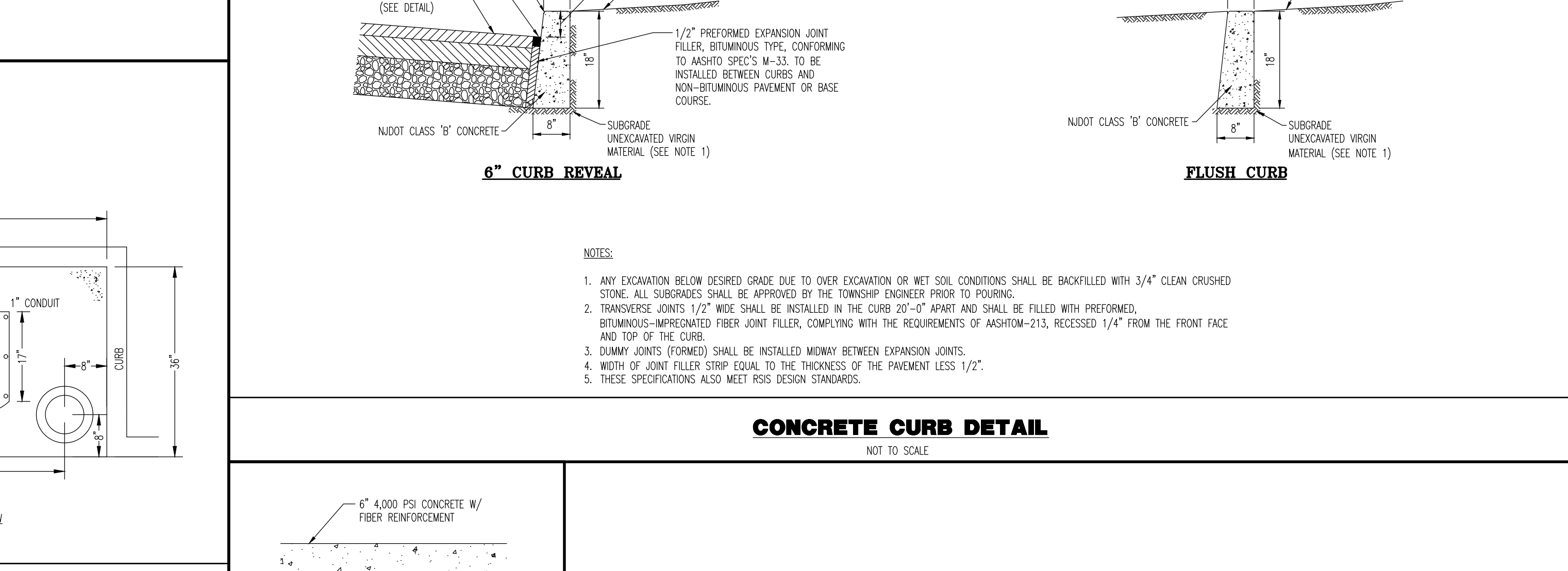
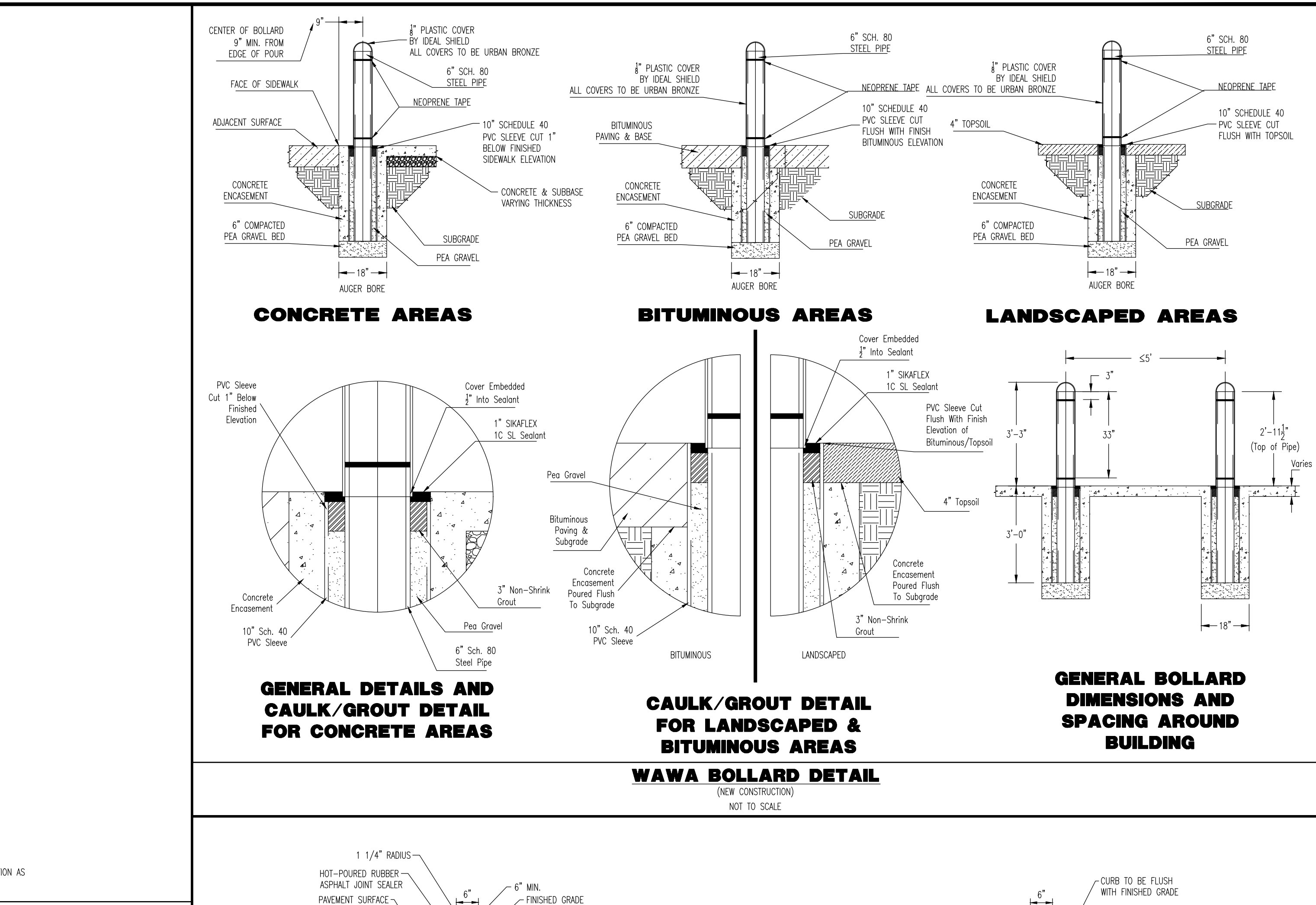
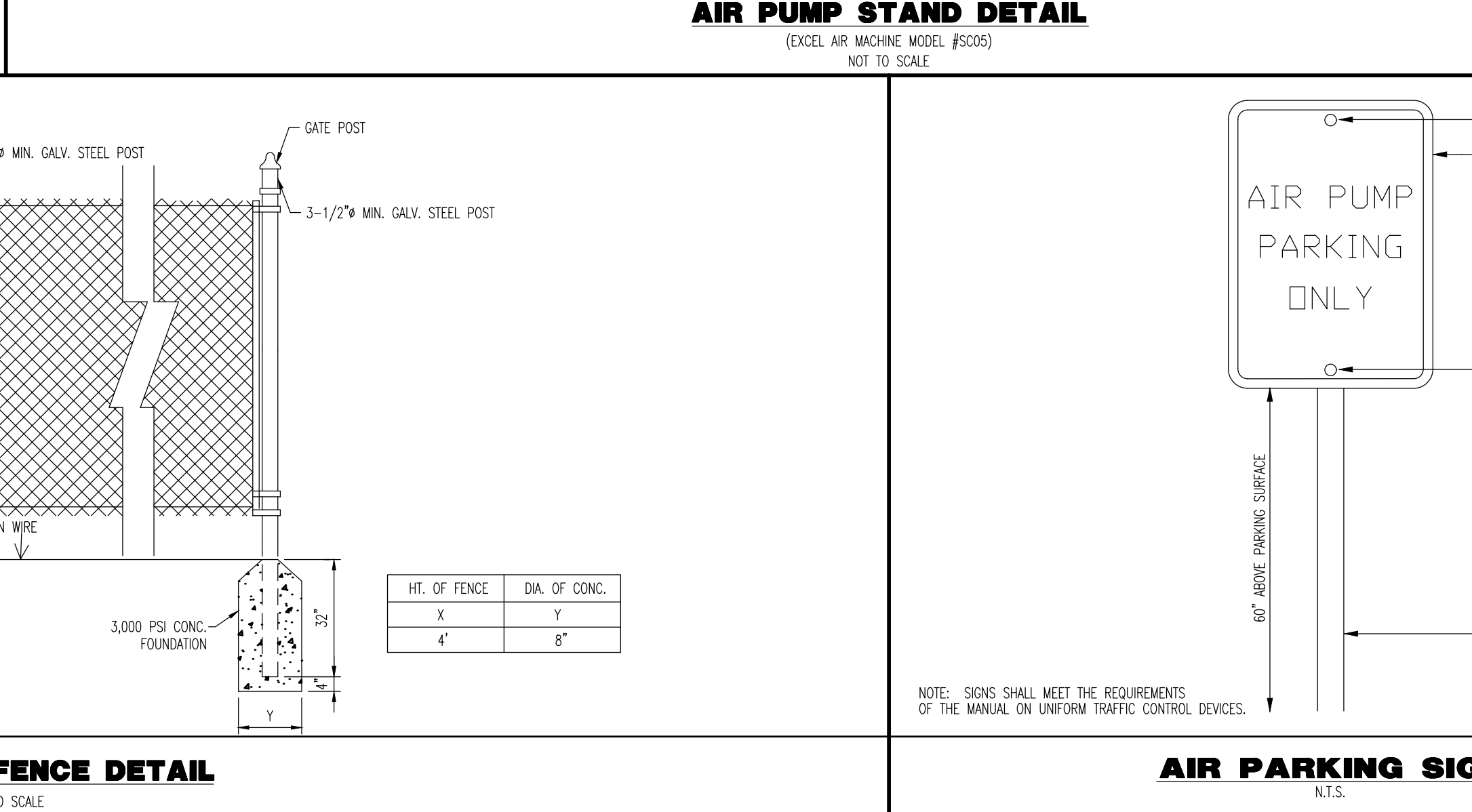
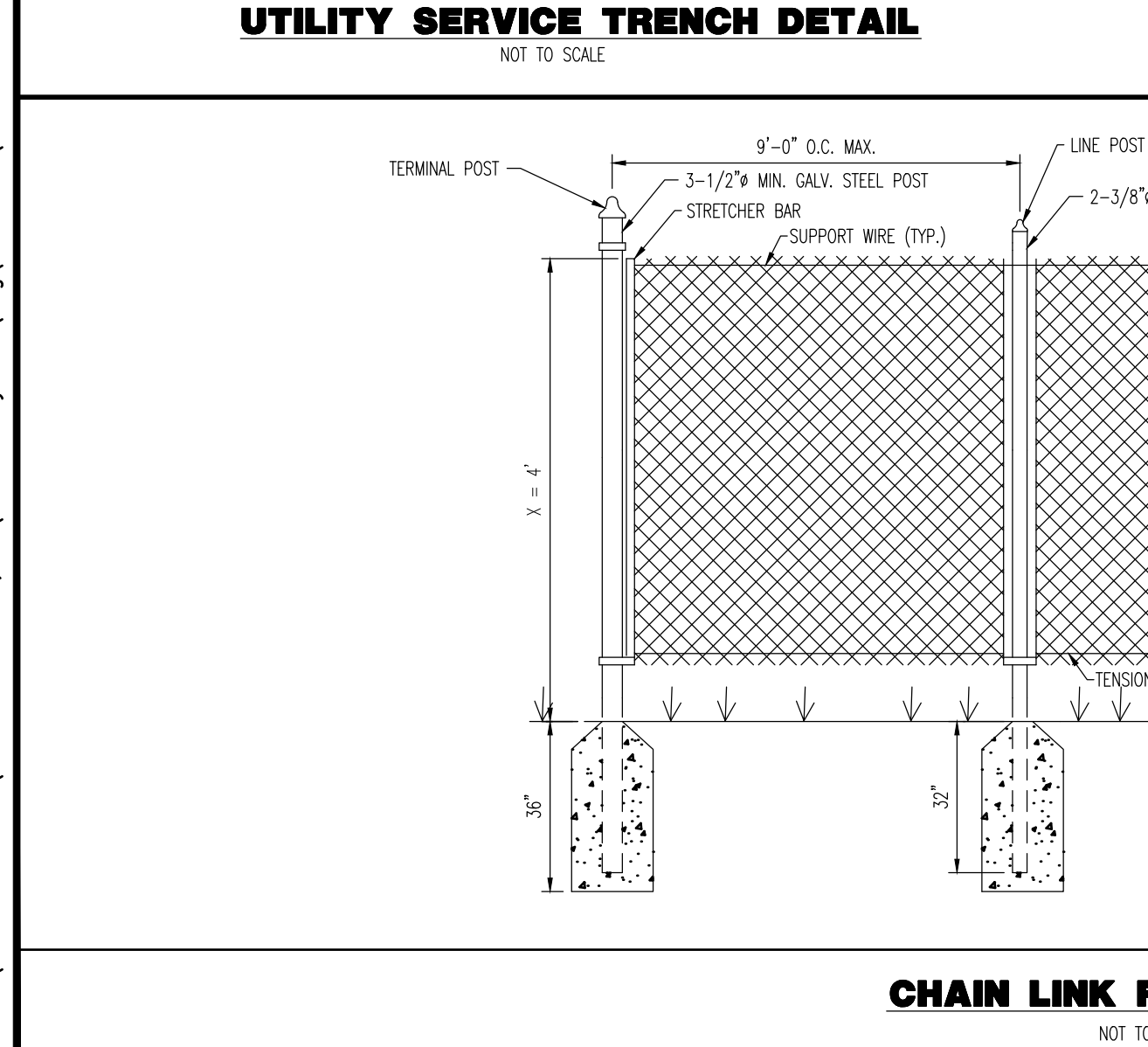
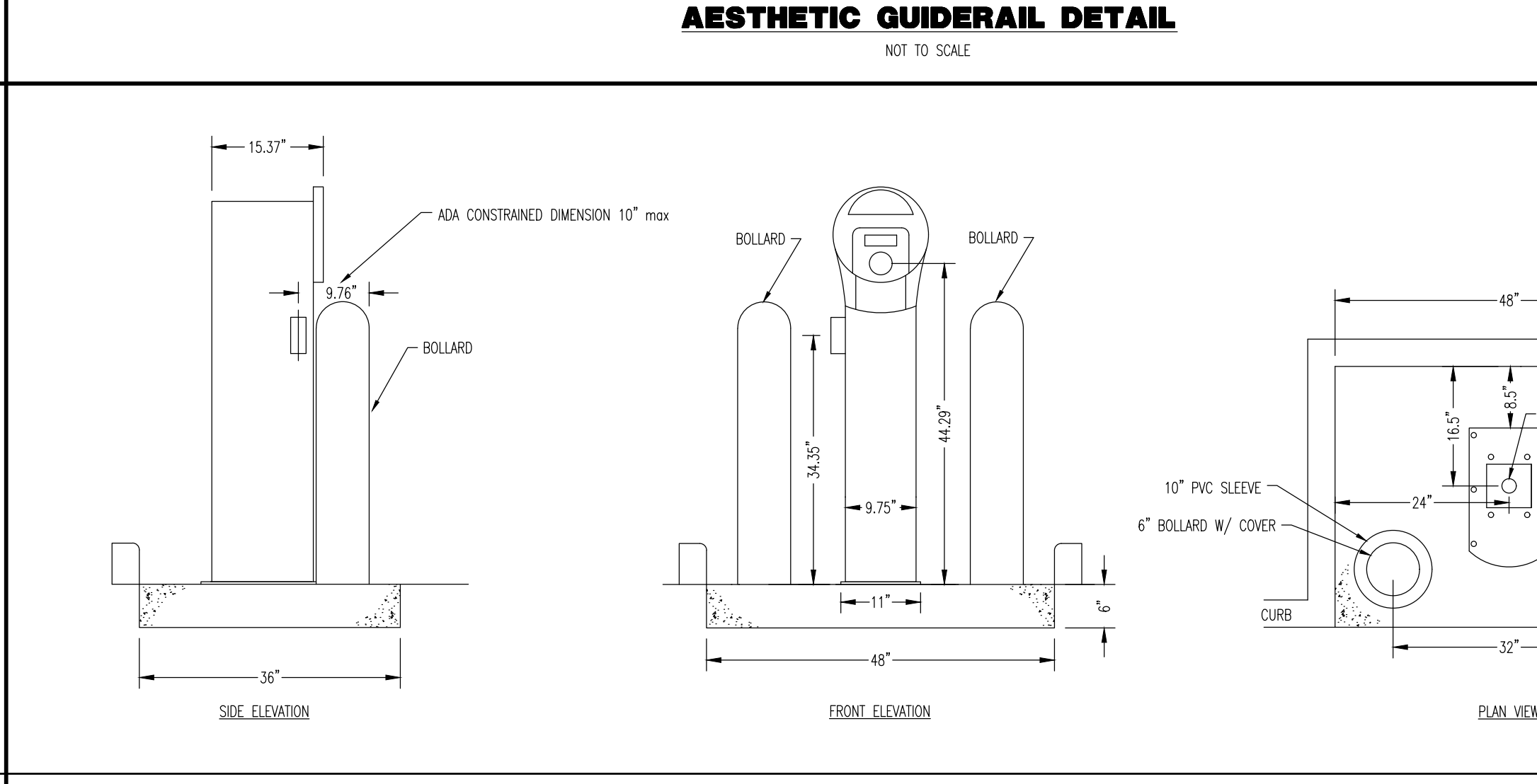
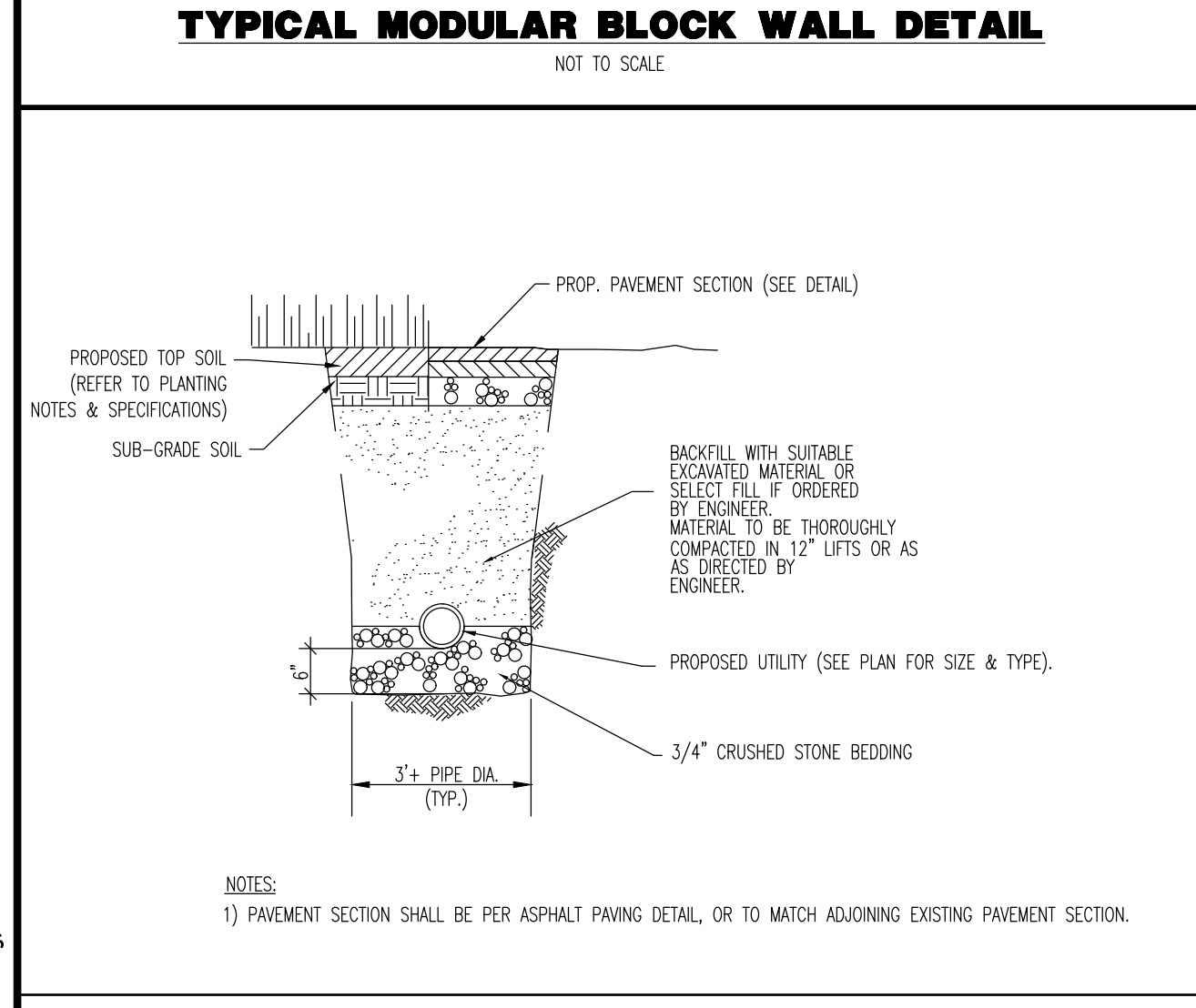
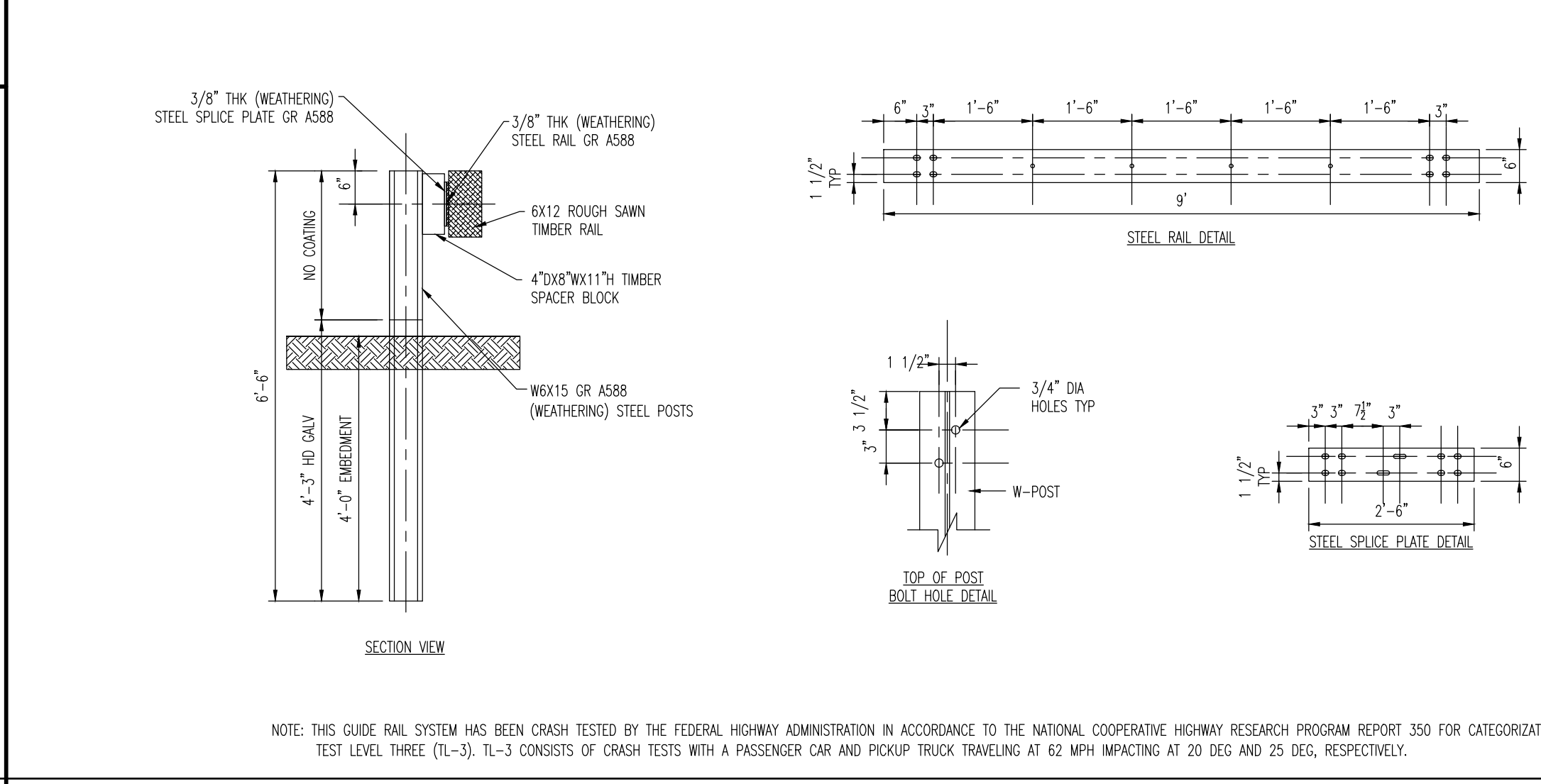
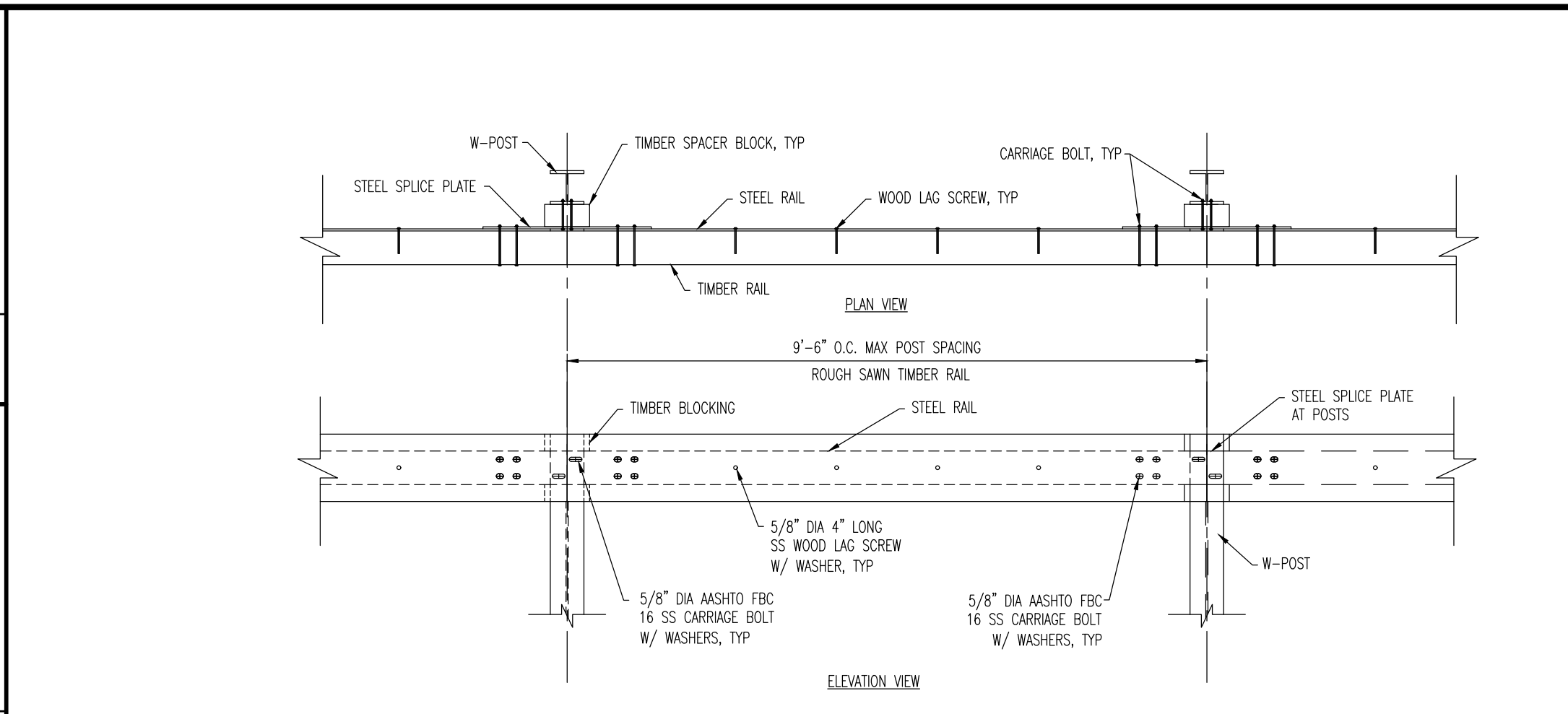
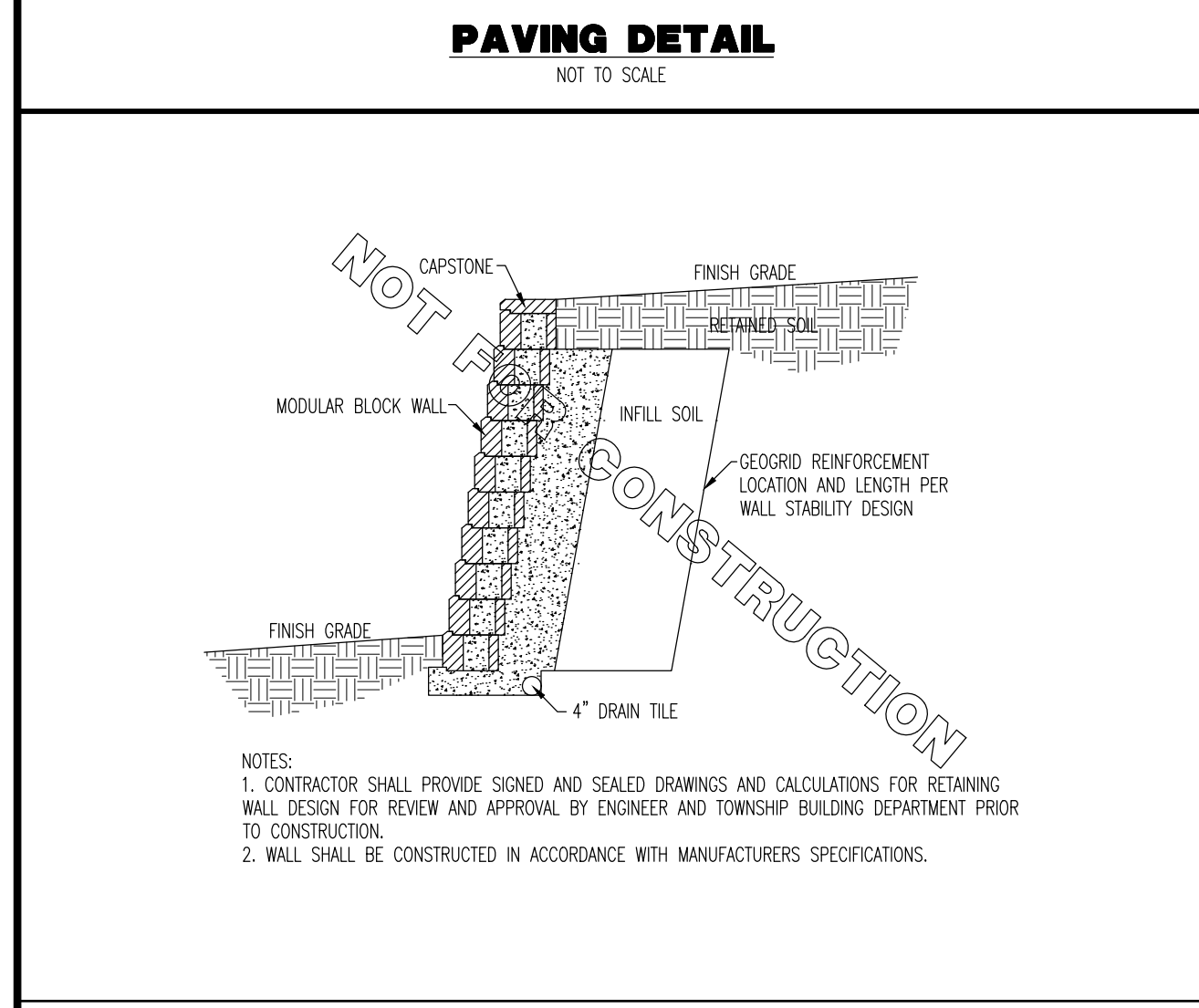
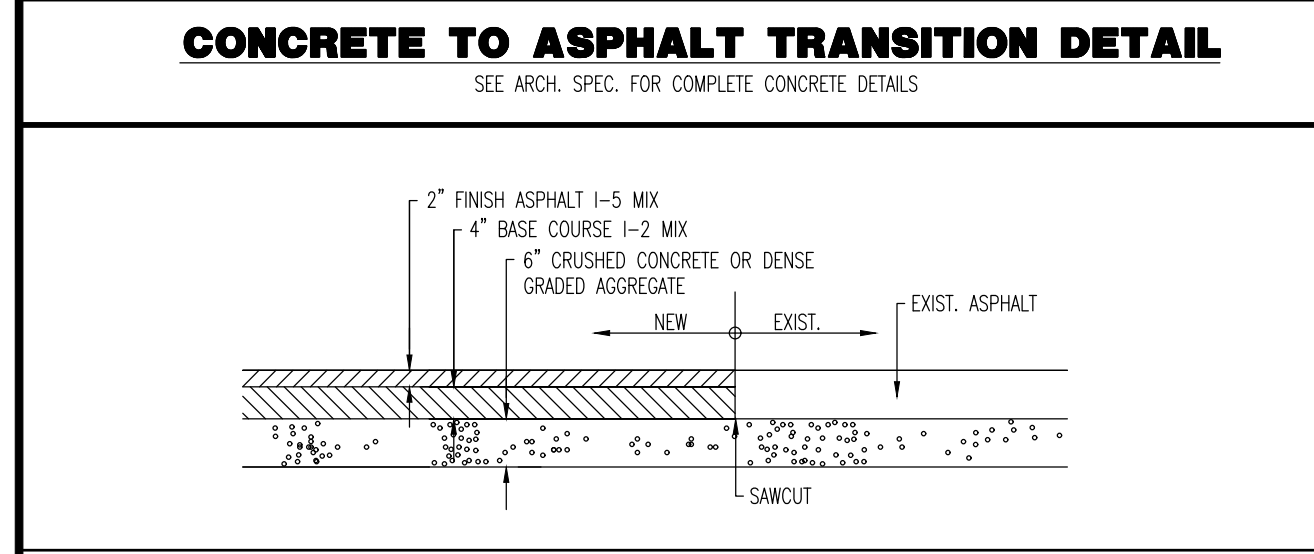
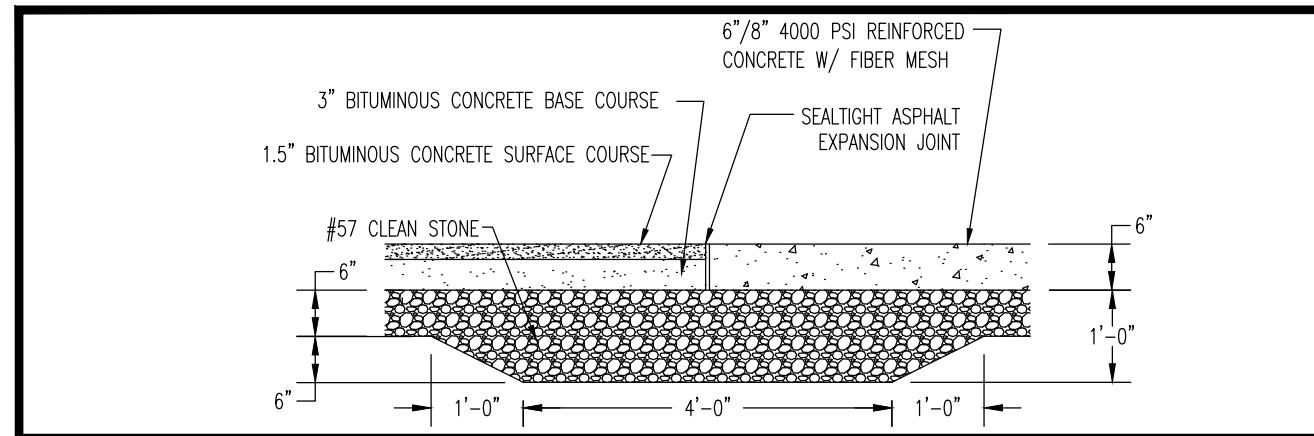
OF 9

Rev. # 0

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52989

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41417

PROTECT YOURSELF
ALL UTILITIES MUST BE LOCATED PRIOR TO ANY EXCAVATION OR OTHER WORK. FAILURE TO DO SO MAY RESULT IN DAMAGE TO UTILITIES AND PERSONAL INJURY OR DEATH.
FOR STATE SPECIFIC DIAL BEFORE YOU DIG NUMBERS VISIT: www.call811.com



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F: 732.974.3521
www.dynamiceng.com

TITLE: **CONSTRUCTION DETAILS**

PROJECT: **TESLA MOTORS, INC. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS**
BLOCK 440, LOT 3.01
969 ROUTE 9
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 1990-99-010
DATE: 12/17/2021
DRAWN BY: MFZ
SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: DT
SHEET No: 7
CHECKED BY: MS
CHECKED BY: -

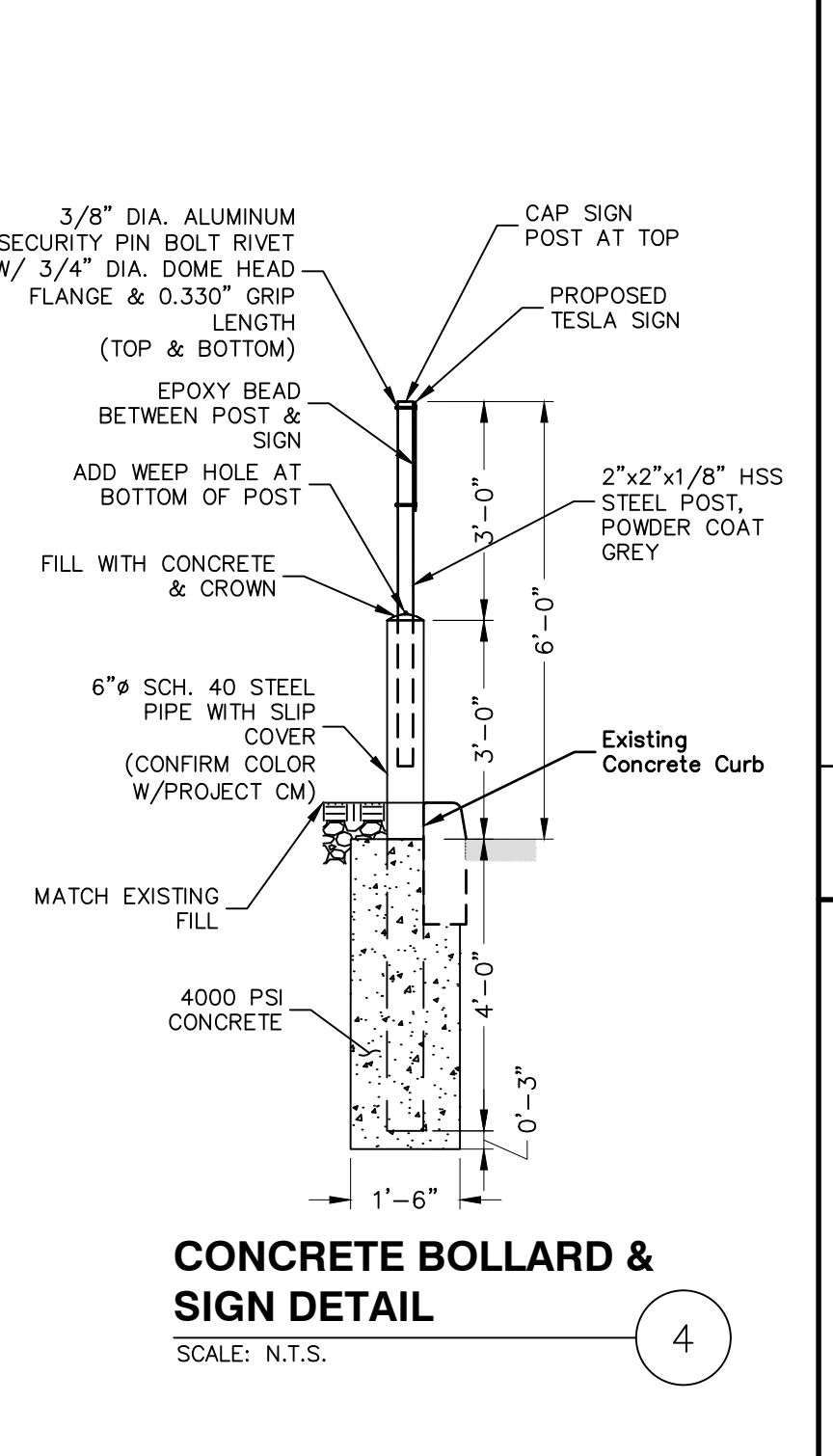
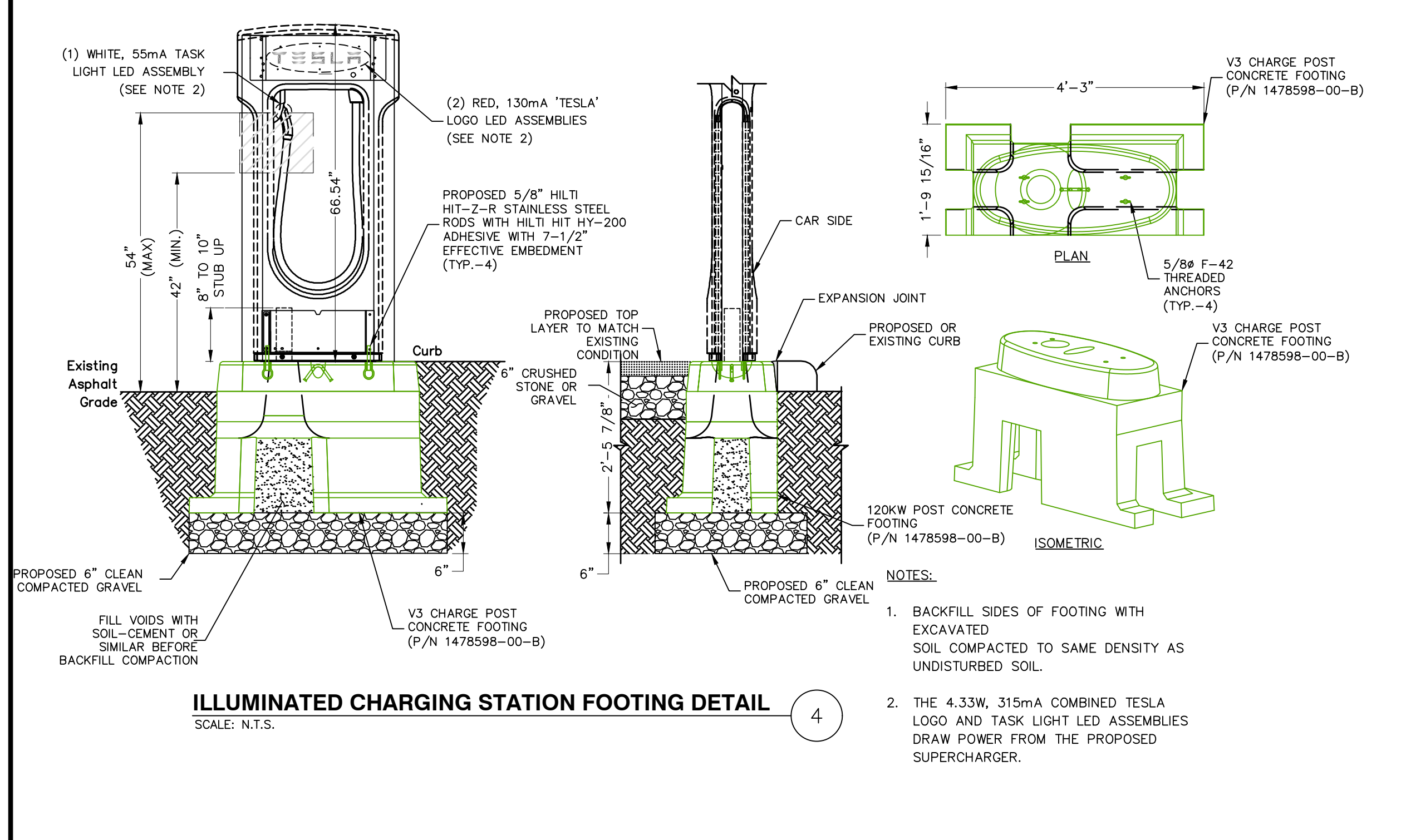
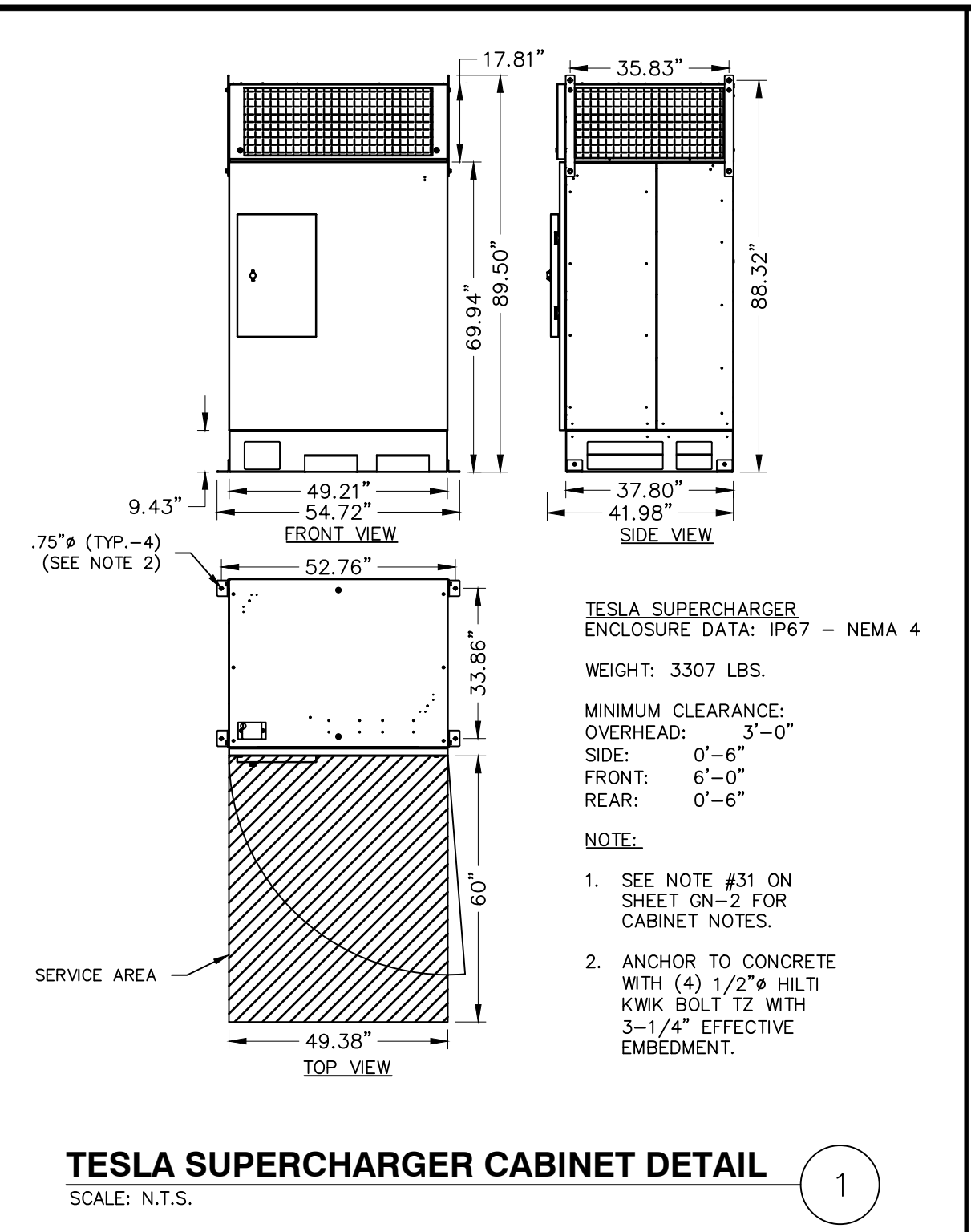
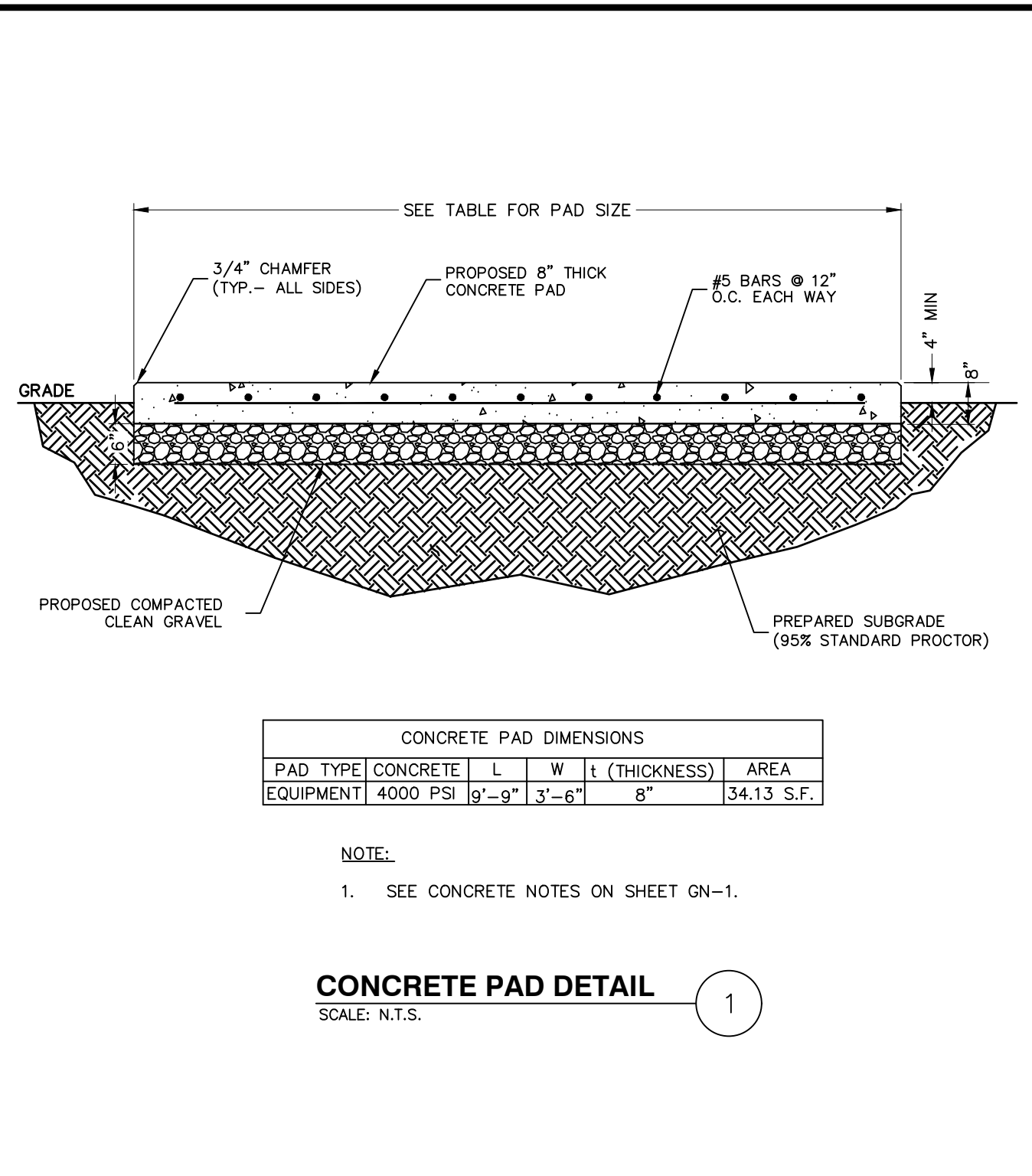
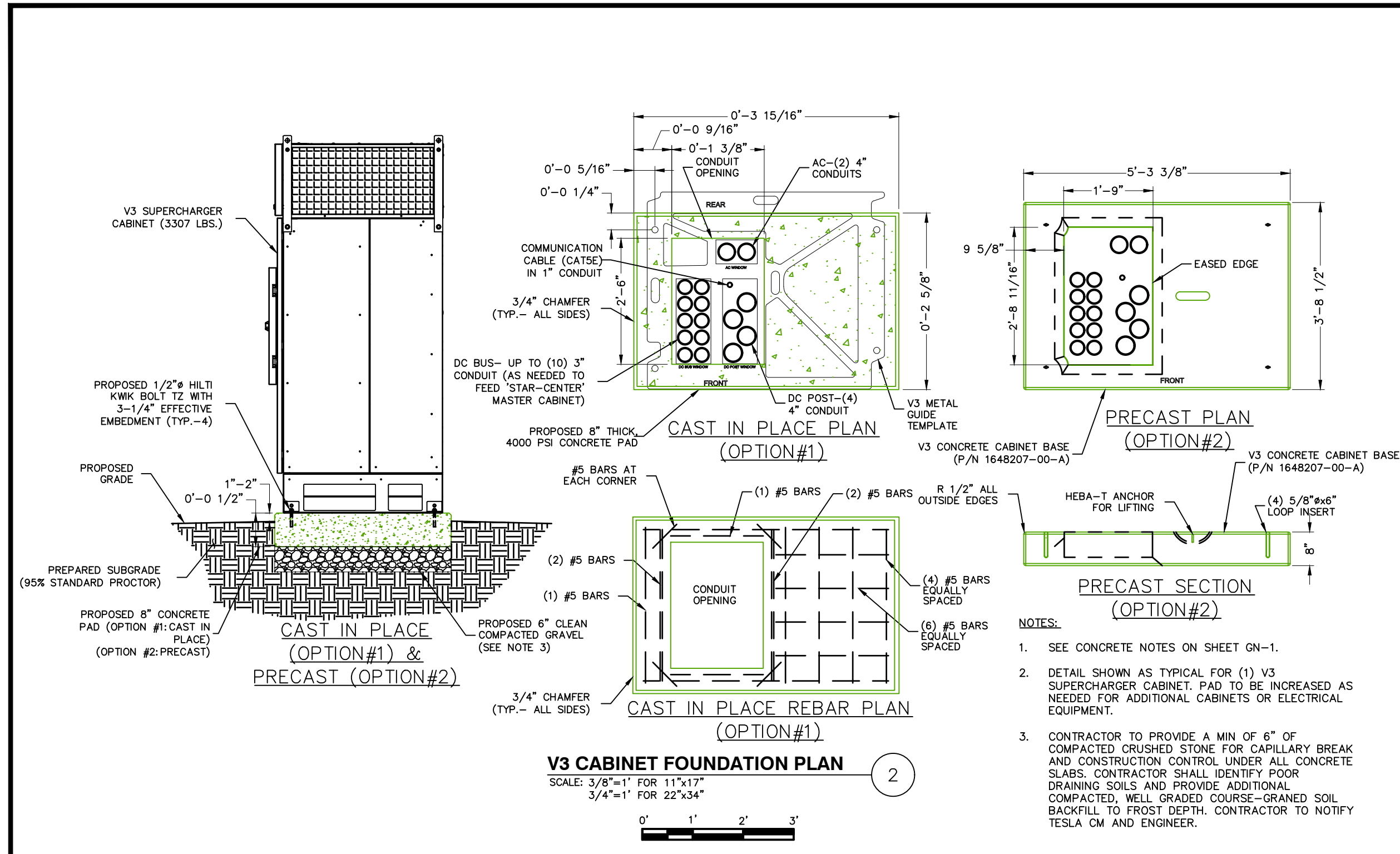
MATTHEW SHARO PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

MARK A. WHITAKER PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41417

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF LICENSE HOLDERS. IF ANY PERSON PREPARES TO SIGN THE SEALS OF ANY STATE OFFICE WITHOUT BEING A LICENSED PROFESSIONAL ENGINEER, HE OR SHE WILL BE SUBJECT TO PROSECUTION.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

Rev. # 0

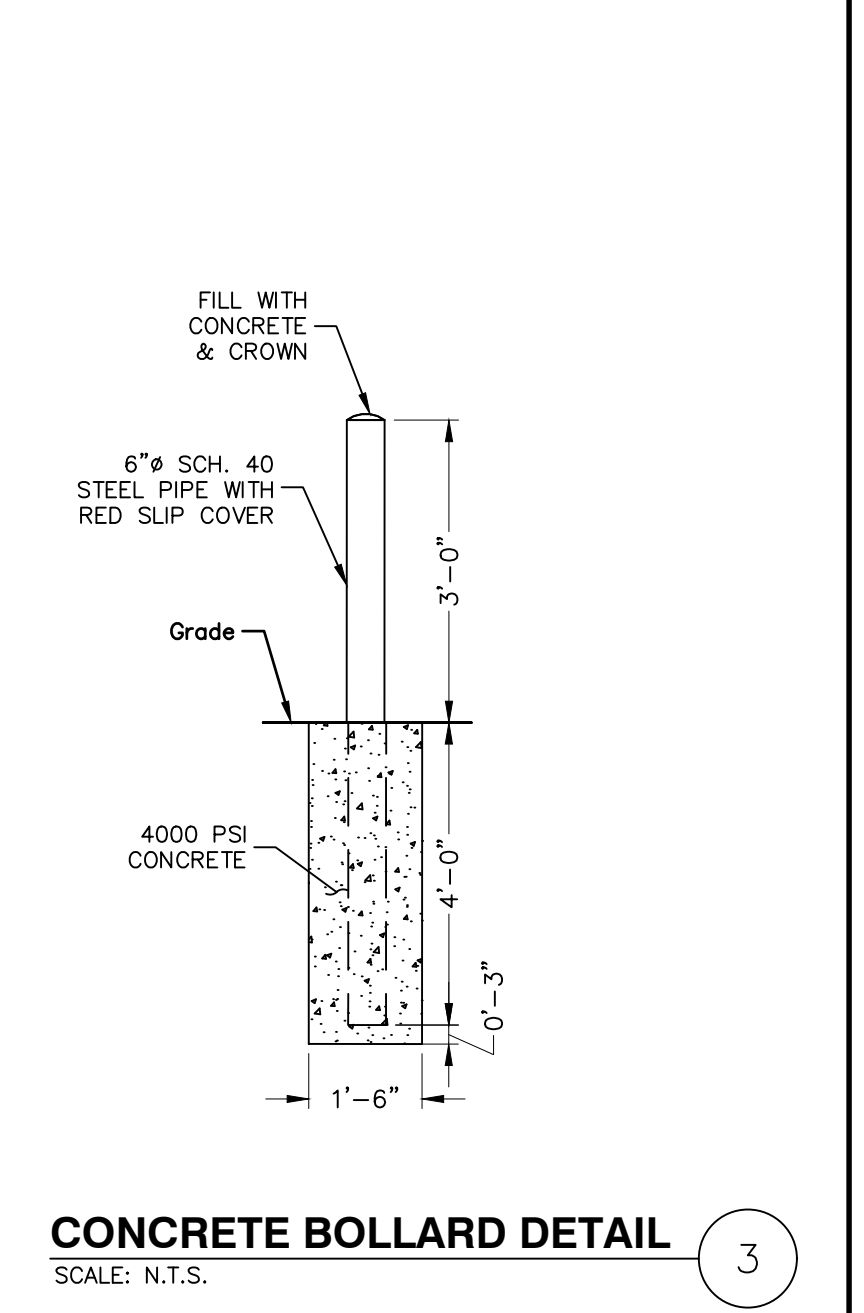
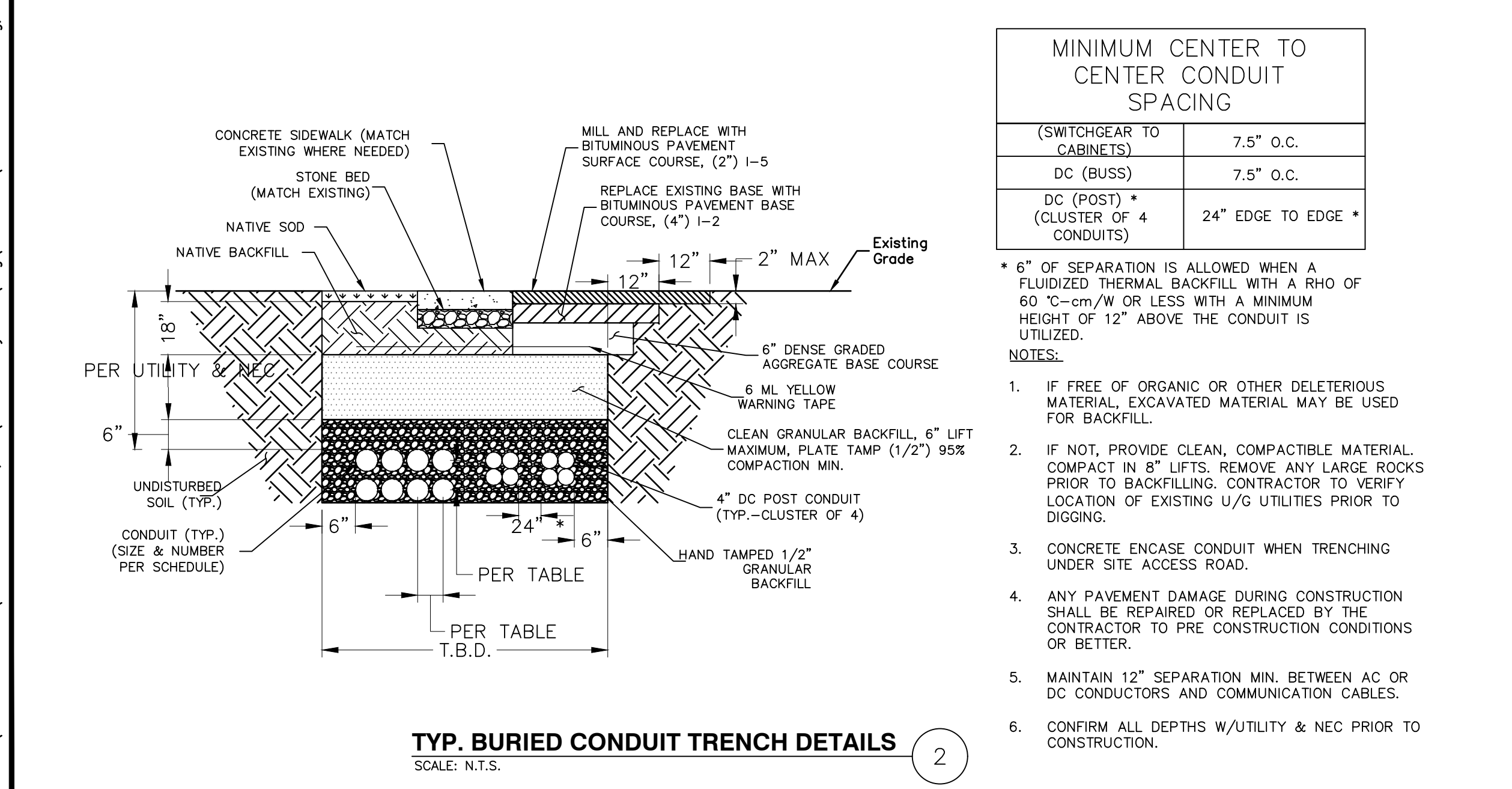
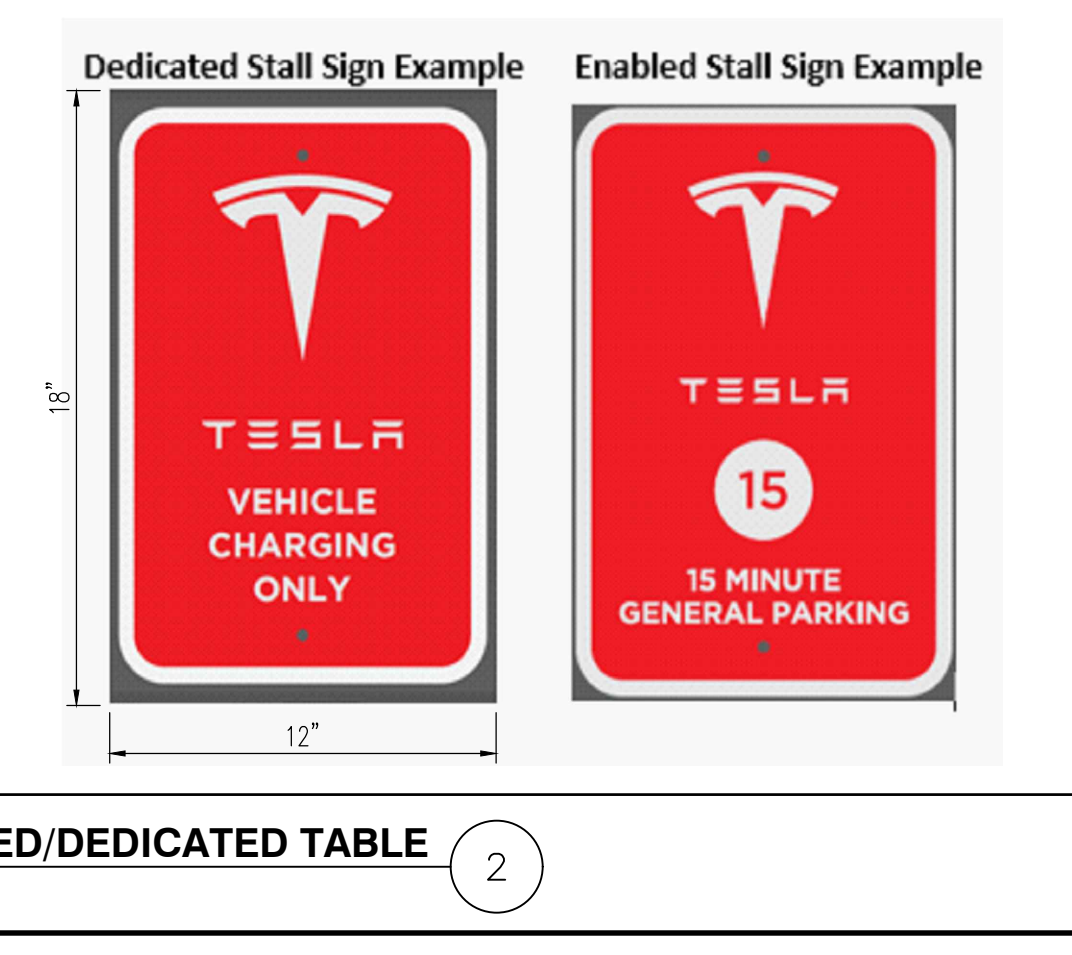
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Charge Post Schedule

Supercharger	Charge Post	Dedicated/Enabled
1	1A	Dedicated
	1B	Dedicated
	1C	Enabled
	1D	Enabled
2	2A	Enabled
	2B	Enabled
	2C	Enabled
	2D	Enabled

SIGNAGE & ENABLED/DEDICATED TABLE
SCALE: N.T.S.



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T: 732.974.0198
F: 732.974.3521
www.dynamiceng.com

DATE: 12/17/2021

PROJECT: TESLA MOTORS, INC.
PROPOSED ELECTRIC VEHICLE CHARGING STATIONS
BLOCK 440, LOT 3.01
969 ROUTE 9
BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

JOB No: 1990-99-010

DESIGNED BY: MFZ

CHECKED BY: DT

CHECKED BY: MS

SCALE: (H) NOT TO (V) SCALE

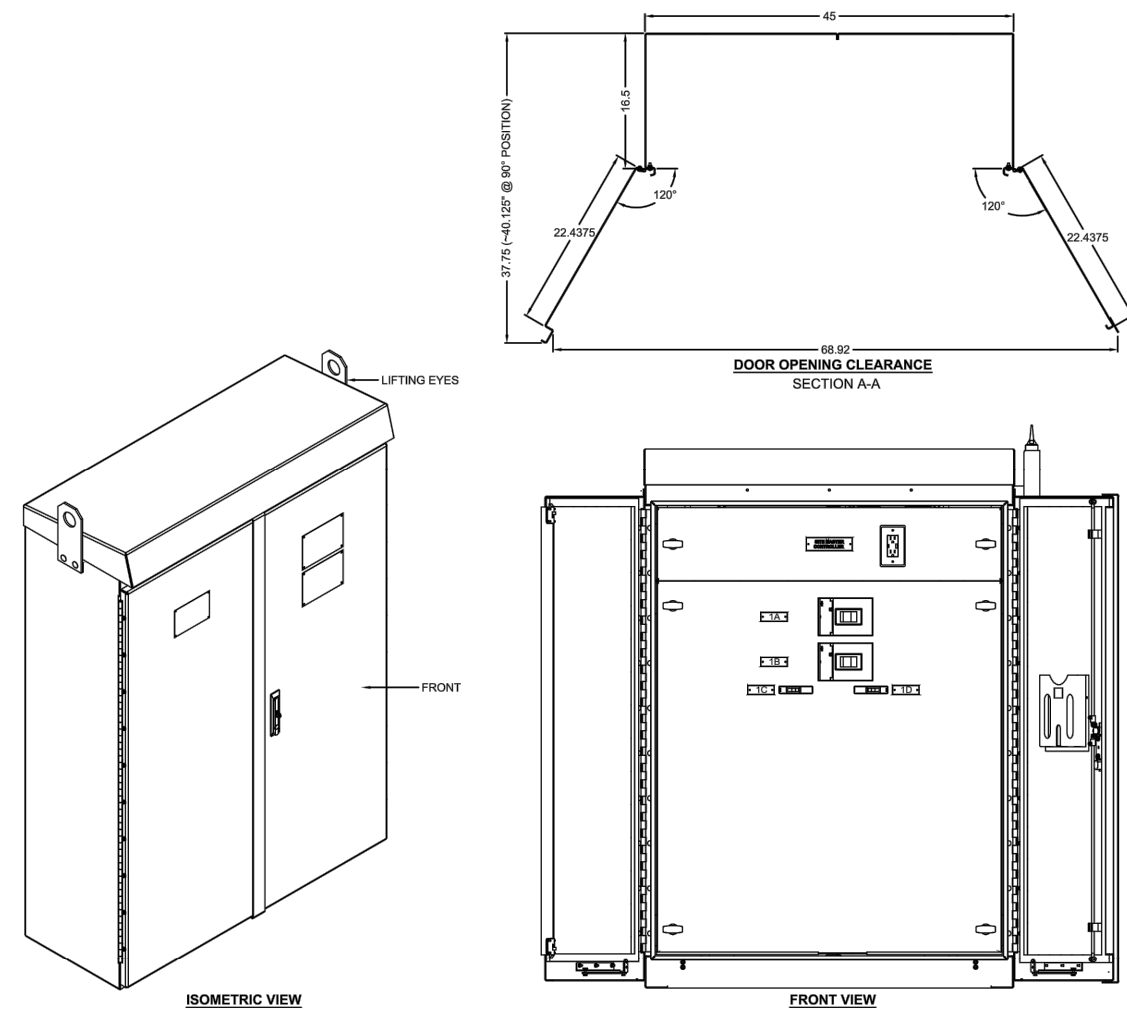
SHEET No: 8 OF 9

PROTECT YOURSELF
ALL LIVES REQUIRE ADEQUATE PROTECTION OF EXISTING UTILITIES. IF ANY UTILITIES ARE NOT SHOWN ON THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MARKING THEM PRIOR TO CONSTRUCTION.

FOR STATE SPECIFICATIONS, DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

Rev. # 0

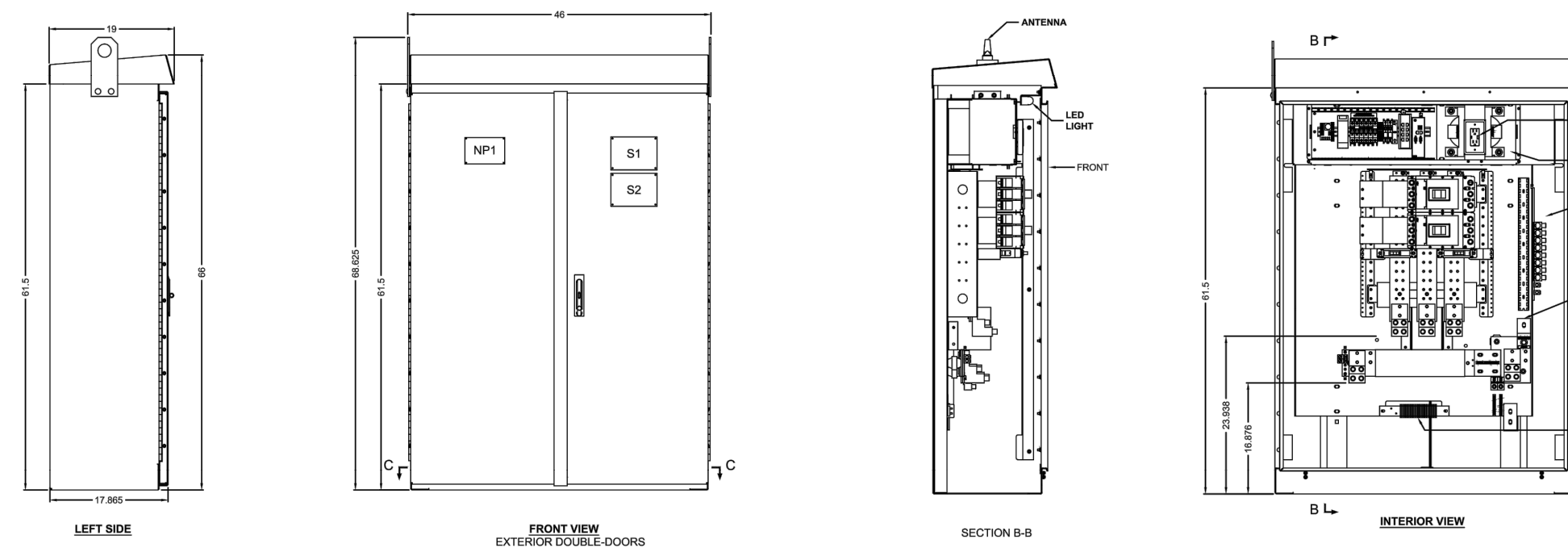
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PRODUCT DESCRIPTION & RATINGS:
PRODUCT TYPE
 - EV-C (SERVICE SWITCHBOARD)
 - MAIN LUGS ONLY
POWER SYSTEM DATA
 - 30 AWG, 480V/277 VOLTS
 - 65KA SHORT CIRCUIT RATING
 - INCOMING - BOTTOM FEED
BUS SYSTEM DATA
 - 100% SILVER PLATED COPPER MAIN BUS
 - DENSITY RATED AT 1000A PER SQUARE INCH
 - 98% CONDUCTIVITY RATED IN ACCORDANCE w/ UL94
 - BRACED FOR A MIN. OF 65,000 AMPS (rms) SHORT CIRCUIT CURRENT
 - ALL LIVE PARTS IN SERVICE SWITCHBOARDS SHALL BE 12" MINIMUM OFF FINISHED FLOOR
 - (1) 1/4" X 2" CU GROUND BUS
ENCLOSURE DATA
 - NEMA-3R, #12 GAUGE FORMED STEEL, BOLTED FRAMEWORK
 - #12 GAUGE, FORMED STEEL COVERS & DOORS
 - EXTERIOR SHALL CONFORM TO INGRESS PROTECTION REQUIREMENTS IN ACCORDANCE WITH NEMA 3R RATING
 - ENCLOSURE SHALL BE TAMPER-RESISTANT (DOOR HANDLES SHALL BE EQUIPPED WITH PADLOCK HASP)
 - FINISH SHALL BE WHITE
 - FRONT ACCESSIBLE ONLY
CODE STANDARDS
 - UL94
LUGS
 - CUAL MECHANICAL
NAMERATES
 - LAMICOID TYPE (BLACK w/WHITE LETTERS, UNLESS OTHERWISE NOTED)
ACCESSORIES
 - STRIP HEATER AND CONTROLLER INSTALLED INSIDE ENCLOSURE.

NO.	DESCRIPTION	BY	DATE
REVISIONS			

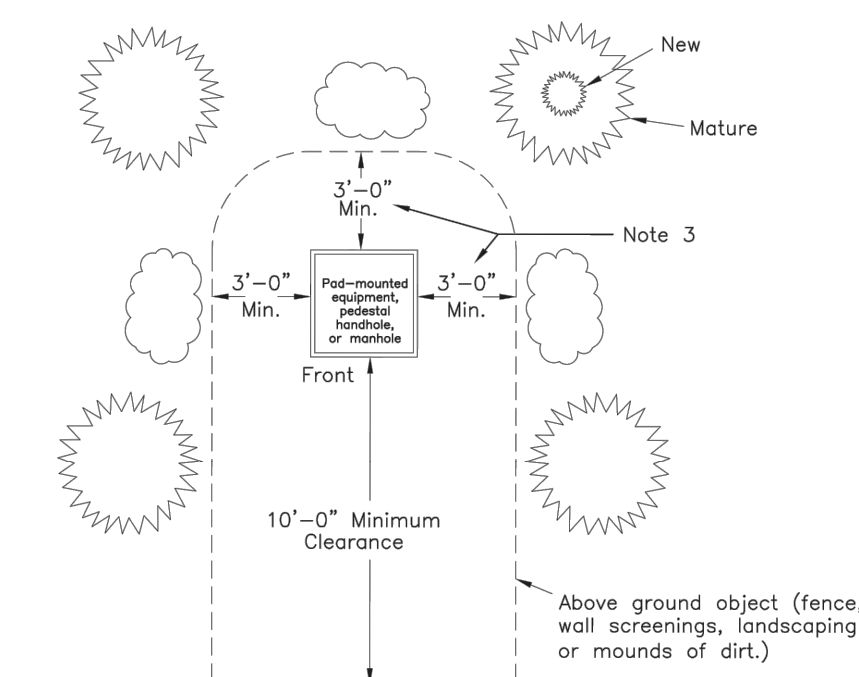
LINCOLN ELECTRIC PRODUCTS CO., INC.
 947 LEHIGH AVE., UNION, N.J. 08869
 (908) 688-2900 FAX (908) 688-8549
 Website: www.ljeproduct.com



SIGNAGE:
 NP1 LINCOLN NAMEPLATE (2.5" x 6" ALUMINUM)
 S1 DANGER NO VOLT TO BILINGUAL
 S2 DANGER ARC FLASH (BILINGUAL)

NO.	DESCRIPTION	BY	DATE
REVISIONS			

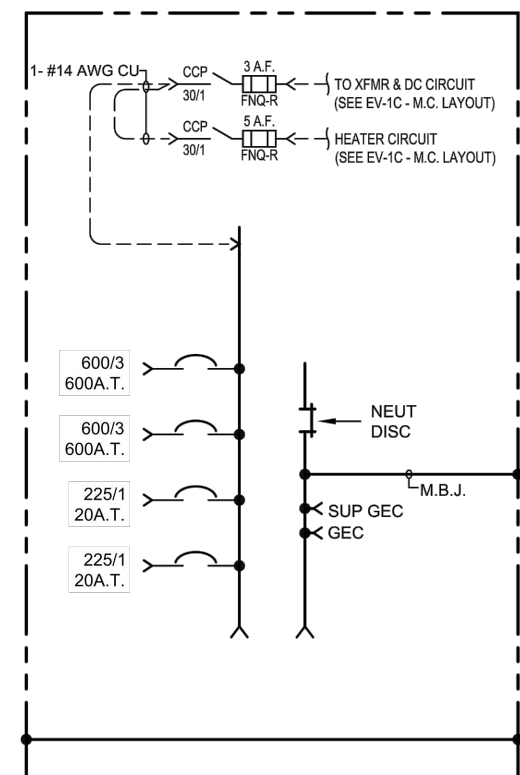
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- Notes:**
- Warning:** Pad-mounted transformers and pad-mounted equipment have underground electric cables entering and exiting them below grade. When it is decided to install plants or objects around a pad, call the appropriate state One-Call agency found in Section 3.13 before digging so that underground cable locations can be marked.
 - Three (3) feet minimum clearance shall be maintained even after all plants have reached their maturity. To allow future growth, plant vegetation should be placed at least seven (7) feet from the back and side of the pad-mounted device, pedestal, or hardware. Avoid planting shrubs or setting posts directly over cables. Avoid vegetation with thorns or spines.
 - If pad-mounted equipment is a switch or other similar device with front, side, or rear doors, the minimum 3-foot clearance shall be increased to 10 feet.
 - Minimum safety clearances to gas meters shall be three (3) feet and to tanks containing flammable liquids or gases (e.g., propane, gas, oxygen) fifteen (15) feet.
 - For minimum clearances to buildings or structures - see Exhibit 22.
 - Company shall not be responsible for replacing shrubs, plants, fences, wall screenings, and other obstructions that need to be removed for maintenance or restoration work.

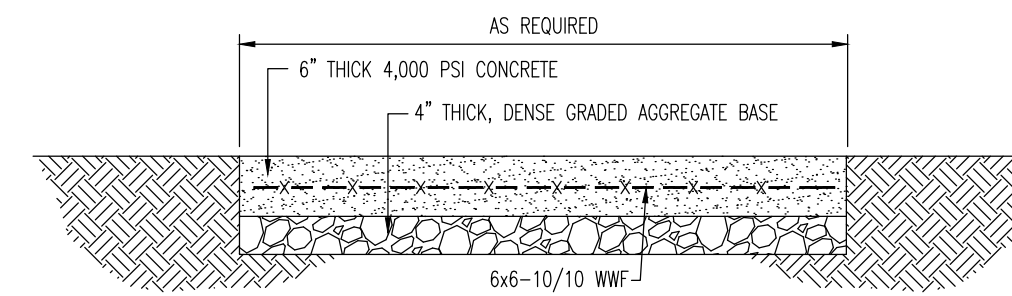
CLEARANCES OF PAD-MOUNTED EQUIPMENT, PEDESTALS, HANDHOLES, OR MANHOLES FROM SHRUBS, PLANTS, FENCES, WALL SCREENINGS, & OTHER OBSTRUCTIONS

FirstEnergy
 Service Guide REV. 1
EXHIBIT 23
 12/17/2021



ONE-LINE

CUR. LOCN.	DESIGNATION	DEVICE MANUFACTURER	FRAME RATING	TRIP RATING/TYPE	# OF POLES	DEVICE CAT. NO.	QTY.	LUG INFORMATION				NOTES		
								NEUTRAL	GROUND	TYPE	CABLE CONDUCTOR MATERIAL			
1A	SUPERCHARGER #1	EATON	600A PDG3	600A TFA	3	PDG3M007TFAN	2	#2-500 KCMIL	#2-600 KCMIL	#6-350 KCMIL	MECHANICAL	ALUMINUM	BOTTOM	PADLOCK HASPS (CAT. # PDG3XPLKT) MECHANICAL LUGS (CAT. # PDG3XLT630)
1B	SUPERCHARGER #2	EATON	600A PDG3	600A TFA	3	PDG3M007TFAN	2	#2-500 KCMIL	#2-600 KCMIL	#6-350 KCMIL	MECHANICAL	ALUMINUM	BOTTOM	
1C	SPARE	EATON	225A PDG2	25A TFF	1	PDG21M0027FFL	1	#14-10 AWG	#14-10 AWG	#14-10 AWG	MECHANICAL	ALUMINUM	BOTTOM	
1D	SPARE	EATON	225A PDG2	25A TFF	1	PDG21M0027FFL	1	#14-10 AWG	#14-10 AWG	#14-10 AWG	MECHANICAL	ALUMINUM	BOTTOM	
	INCOMING						4	#2-600 KCMIL	#2-600 KCMIL	#6-350 KCMIL	MECHANICAL	ALUMINUM	BOTTOM	



- NOTES:**
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
 - ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
 - ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED, (BE WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
 - REINFORCING STEEL BARS SHALL BE A MINIMUM ASTM A615, GRADE 60, AND SHALL BE FIELD WEDGED IN PLACE.
 - ALL FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS, AS WELL AS THE ACI AND UNIFORM BUILDING CODE.
 - EXPANSION JOINTS 1/2" WIDE OF PREMOULDED BITUMINOUS MATERIALS SHALL BE INSTALLED.

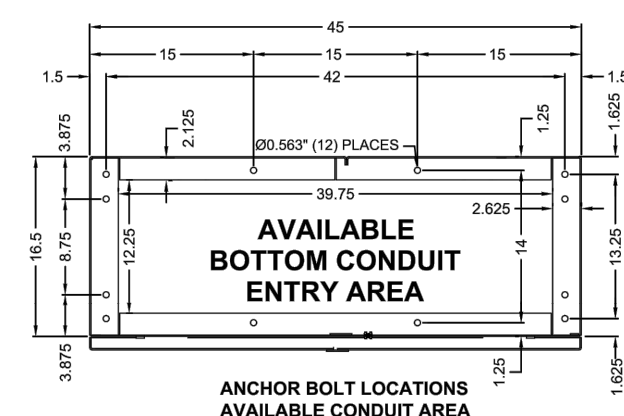
CONCRETE PAD DETAIL
 NOT TO SCALE

NO.	DESCRIPTION	BY	DATE
REVISIONS			

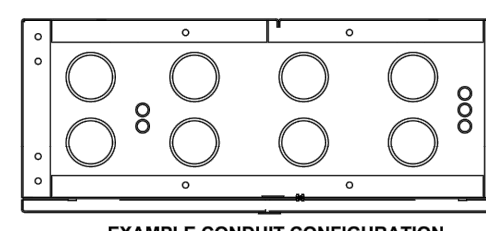
LINCOLN ELECTRIC PRODUCTS CO., INC.
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ANCHOR BOLT LOCATIONS AVAILABLE CONDUIT AREA



EXAMPLE CONDUIT CONFIGURATION 4" PVC CONDUIT

NO.	DESCRIPTION	BY	DATE
REVISIONS			

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Product Ver: 24.1a (LMS Tech)
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TITLE: **CONSTRUCTION DETAILS**

PROJECT: **TESLA MOTORS, INC. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS**

JOB No: 1990-99-010 DATE: 12/17/2021

DRAWN BY: MFZ SCALE: (H) NOT TO (V) SCALE

DESIGNED BY: DT SHEET No:

CHECKED BY: MS

CHECKED BY: -

MATTHEW SHARO PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52989

MARK A. WHITAKER PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41417

811 PROTECT YOURSELF
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 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

Rev. # 0