

**LOCATION MAP**  
1" = 3,280' (APPROX.)

# USE VARIANCE AND PRELIMINARY AND FINAL MAJOR SITE PLAN

## FOR

# EPIC CHURCH

## BLOCK 257, LOT 3.06

# BOROUGH OF SAYREVILLE

## MIDDLESEX COUNTY, NEW JERSEY



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### GENERAL NOTES

1. THE SUBJECT PROPERTY IS KNOWN AS LOT 3.06 IN BLOCK 257 AS SHOWN ON SHEET #1 OF THE OFFICIAL TAX MAP OF THE BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY, DATED AUGUST 17, 1980 AND REVISED THROUGH JULY 2008.
2. THE PROPERTY IS LOCATED IN THE SED-3 ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 409.438 SF, 13.991 ACRES.
3. OWNER: EPIC CHURCH INTERNATIONAL, INC.  
237 MAIN STREET  
SAYREVILLE, NJ 08872
4. APPLICANT: SAYREVILLE SEAPORT ASSOCIATES URBAN RENEWAL, L.P.  
7 GRADUA FARMS  
MADISON, NJ 07940
5. THE SUBJECT PROPERTY IS PRESENTLY DEVELOPED WITH A CHURCH AND ASSOCIATED SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, PARKING AREAS, STORM SEWER, AND STORMWATER MANAGEMENT FACILITIES, UTILITY SERVICES, LIGHTING, AND LANDSCAPING. THE APPLICANT PROPOSES TO MODIFY THE EXISTING PARKING AREAS INCLUDING ASSOCIATED MODIFICATIONS TO THE STORM SEWER AND STORMWATER MANAGEMENT FACILITIES, UTILITY SERVICES, LIGHTING, AND LANDSCAPING.
6. THE FOLLOWING VARIANCES AND/OR DESIGN WAIVERS MAY BE REQUIRED FROM THE FOLLOWING ORDINANCE SECTIONS IF DETERMINED BY THE ZONING BOARD:  
  - VARIANCE 1: \$24-88.2 A VARIANCE FOR THE EXISTING AND PROPOSED CHURCH USE WHEREAS CHURCHES ARE NOT A PERMITTED USE IN THE SED-3 ZONE.
  - VARIANCE 2: \$24-88.3 A VARIANCE FOR AN EXISTING LOT AREA OF 13.991 ACRES AND PROPOSED LOT AREA OF 13.871 ACRES WHEREAS A MINIMUM LOT AREA OF 26 ACRES IS REQUIRED FOR CONVEY LOTS.
  - VARIANCE 3: \$24-88.4 A VARIANCE FOR AN EXISTING BUILDING HEIGHT OF APPROXIMATELY 50 FEET WHEREAS A MAXIMUM BUILDING HEIGHT OF 35 FEET IS PERMITTED.
  - VARIANCE 4: \$24-88.5 A VARIANCE FOR EXISTING AND PROPOSED OFF-STREET PARKING SPACES QUANTITY OF TWO (2) SPACES WHEREAS SEVEN (7) SPACES ARE REQUIRED.

**UTILITIES**

1. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE EXCAVATED BY PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE DEPTHS PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING UTILITIES, MATERIALS, AND SIZES. TEST PIT LOGS IDENTIFY PROPOSED UTILITIES (SEE EXISTING UTILITIES PLAN) PRIOR TO CONSTRUCTION TO VERIFY THE DEPTHS, MATERIALS, AND SIZES. TEST PIT LOGS IDENTIFY PROPOSED UTILITIES (SEE EXISTING UTILITIES PLAN) PRIOR TO CONSTRUCTION TO VERIFY THE DEPTHS, MATERIALS, AND SIZES. TEST PIT LOGS IDENTIFY PROPOSED UTILITIES (SEE EXISTING UTILITIES PLAN) PRIOR TO CONSTRUCTION TO VERIFY THE DEPTHS, MATERIALS, AND SIZES.
2. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR SHALL VERIFY ALL REQUIRED UTILITY RELOCATIONS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
3. STORM SEWERS SHALL BE CLASS II (OR HIGHER) FINISHED REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PNEUMATIC GASKET (GYLOK SUPERSIL OR EQUIVALENT), AND HIGH DENSITY POLYETHYLENE PIPE (HDP) AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
4. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL OVERSIZED DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
5. WATER SERVICE IS TO BE PROVIDED FROM THE PROPOSED 12" WATER MAIN WITHIN FUTURE REVERTON BOULEVARD (FORMERLY CHEVALER AVENUE). PERMITTING AND CONSTRUCTION OF THE PROPOSED 12" WATER MAIN WITHIN FUTURE REVERTON BOULEVARD BY OTHERS. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, AMERICAN WATERWORKS ASSOCIATION STANDARDS, AND BOROUGH OF SAYREVILLE AND OTHER APPLICABLE REGULATIONS. 12" WATER MAIN PIPE MATERIAL SHALL BE 200 PVC PIPE MADE FROM 1284 COMPOUND FIBER ASTH D718 IN ACCORDANCE WITH THE DIMENSIONAL, CHEMICAL AND PHYSICAL REQUIREMENTS OF ASTM D718. THE WATER MAIN PIPE SHALL BE MANUFACTURED FROM NATIONAL SANITATION FOUNDATION (NSF) APPROVED COMPONENTS AND MEET THE REQUIREMENTS OF AMERICAN WATER WORKS ASSOCIATION COMPONENTS - HEALTH EFFECTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F 1319 "STANDARD SPECIFICATION FOR PLASTIC PRESSURE RINGS USING EPDM OR EPDM-Like GASKETS" AND ASTM F 777 "STANDARD FOR ELASTOMER SEAL (GASKETS) FOR JOINING PLASTIC PIPE. ALL WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF THE PIPE TO THE PROPOSED GRADE EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE BOROUGH.
6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO THE PROPOSED SEWER MAIN WITHIN FUTURE PETER FISHER BOULEVARD PERMITTING AND CONSTRUCTION OF THE PROPOSED SEWER MAIN WITHIN FUTURE PETER FISHER BOULEVARD BY OTHERS. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. PIPE MATERIALS SHALL BE PVC SDR35, EXCEPT AS NOTED OTHERWISE ON THE PLAN. EXCEPT WHERE SHALLOW DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES INCLUDING FORCE MAINS AND LATERSALS SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF THE PIPE TO THE PROPOSED GRADE EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE BOROUGH.
7. ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE INSTALLED IN SEPARATE TRENCHES. TRENCHES ARE PROHIBITED WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
8. AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT. IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATER-TIGHT CONSTRUCTION THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINTS WITH WATER-TIGHT JOINTS THAT IS A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWER SEAL, MODEL 85501 OR EQUIVALENT AT DIPPING JOINTS.
9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS (IF REQUIRED) SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.

### MISCELLANEOUS NOTES

CONSTRUCTION OF THE PROPOSED IMPROVEMENTS FOR BLOCK 257, LOT 3.06 CANNOT TAKE PLACE UNTIL THE STORMWATER COLLECTION SYSTEM ALONG CHEVALER AVENUE, FUTURE REVERTON BOULEVARD, PETER FISHER BOULEVARD, SOUTH AVENUE, AND THEIR CONNECTION TO THE WET POND AND THE WET POND HAVE BEEN CONSTRUCTED.

The Borough of Sayreville  
**TAX ASSESSOR'S OFFICE**  
167 MAIN STREET • SAYREVILLE, NJ 08872  
TEL.: 732.390.7080 • FAX 732.651.3159

List of property owners within a 200' radius of Block 257 Lot 3.06 (Maser):

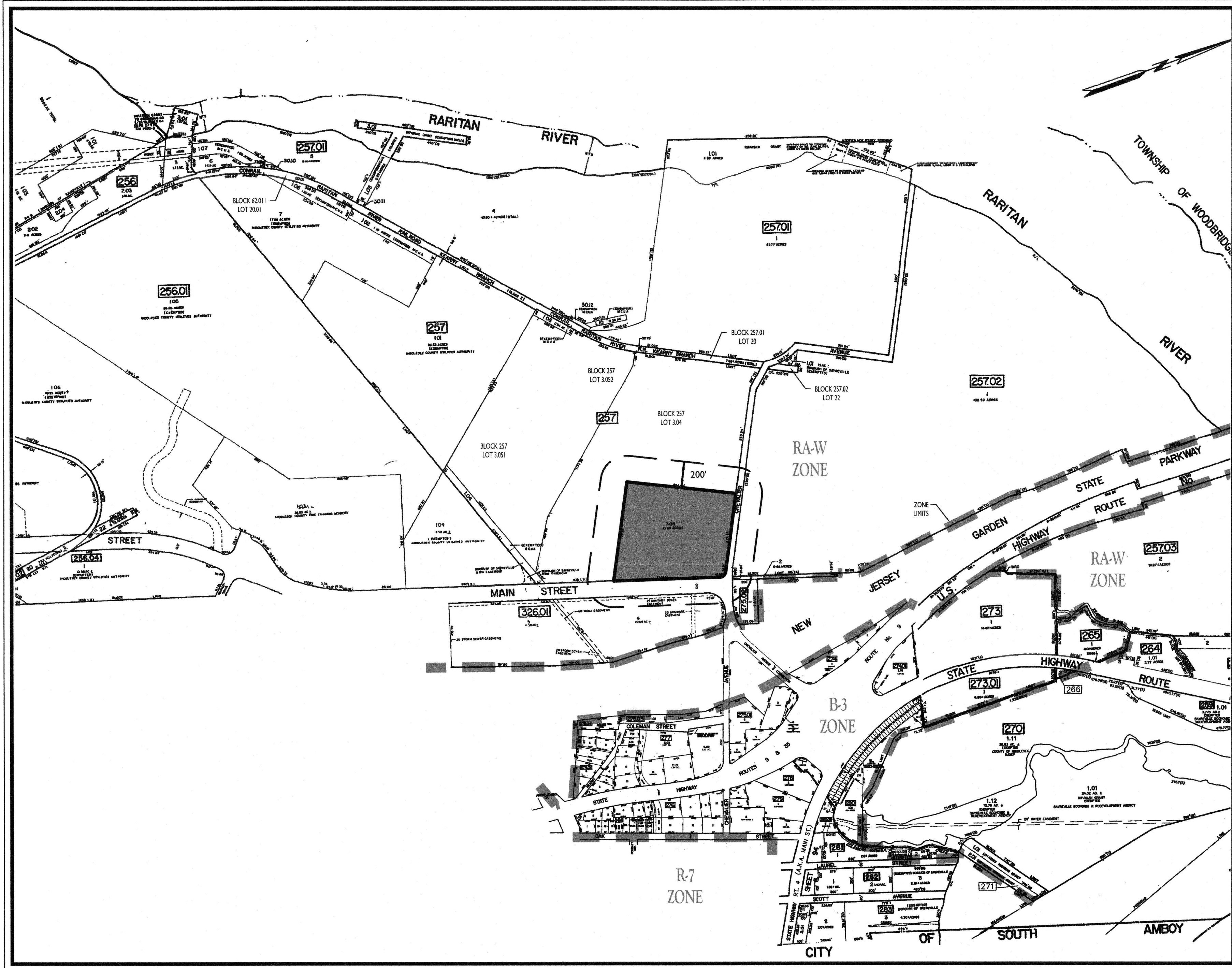
BLOCK	LOT	QUALIFIER	OWNER
257	3.04		Sayreville Economic & Redevelopment Agency c/o NA Properties 1000 Chevalier Avenue Sayreville, NJ 08872
257.02	1		Sayreville Economic & Redevelopment Agency c/o NA Properties 1000 Chevalier Avenue Sayreville, NJ 08872
257.02	1	801	Sayreville Economic & Redevelopment Agency 167 Main Street Sayreville, NJ 08872
275.02	1		New Jersey Turnpike Authority Turnpike & Highway 18 East Brunswick, NJ 08816
326.01	6		New Jersey Turnpike Authority 581 Main Street Woodbridge, NJ 07095

EASEMENTS  
Borough of Sayreville  
167 Main Street  
Sayreville, NJ 08872

This is to certify that the preceding list of names, address and block and lot numbers are, to the best of my knowledge, within a 200' radius of property known as Block 257 Lot 3.06, on the official tax map for the Borough of Sayreville.

Dated: November 30, 2020  
Joseph J. Kuspsch, Jr.  
Tax Assessor

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### ADA INSTRUCTIONS TO CONTRACTOR:

1. THE DESIGN OF ALL PROPOSED CURB RAMPS, SIDEWALKS, AND CROSSWALKS SHALL MEET THE LATEST ADA REQUIREMENTS.
2. CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCES/EXITS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:  
  - A. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:8 (12.5% PER FOOT OR NORMALLY 3.0%) IN ANY DIRECTION.
  - B. CURB RAMPS - SLOPES SHALL NOT EXCEED 1:12 (8.3%).
  - C. LANDINGS SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:8 (12.5% PER FOOT OR NORMALLY 3.0%) IN ANY DIRECTION.
  - D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. C&G OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH. THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (2.1% PER FOOT OR NORMALLY 2.0%) IN CROSS SLOPE.
  - E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND LEVEL LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (2.1% PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE.
  - F. DOORWAYS - SHALL HAVE A LEVEL LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (2.1% PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THE LANDING AREA SHALL BE NO LESS THAN 48 INCHES IN LENGTH, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
3. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

### ZONING ORDINANCE CRITIQUE

PROJECT MUNICIPALITY	PROJECT ZONE	EXISTING USE	PROPOSED USE	PERMITTED USE
EPIC CHURCH	BOROUGH OF SAYREVILLE	CHURCH	CHURCH	YES
BLOCK 257, LOT 3.06	SED-3	CHURCH	CHURCH	YES

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
Min. LOT AREA	30 AC.	13,991 AC. (409,438 SF)	13,681 AC. (595,930 SF)
Min. LOT DEPTH	500 FT	643.0 FT	643.0 FT
Min. LOT DEPTH	400 FT	834.4 FT	834.4 FT
Min. BLDG. COVERAGE	50%	15.0% (91,543 SF)	15.4% (91,543 SF)
Min. IMPERVIOUS COVERAGE	75%	68.5% (417,292 SF)	73.8% (439,911 SF)

PRINCIPAL BUILDING		FEET	
		50 FT +/-	50 FT +/-
Min. FRONT YARD SETBACK	100 FT	144.5 FT	144.5 FT
Min. SIDE YARD SETBACK (ONE)	50 FT	133.0 FT	133.0 FT
Min. SIDE YARD SETBACK (BOTH)	50 FT	N/A	N/A
Min. REAR YARD SETBACK	100 FT	254.4 FT	254.4 FT
Min. BUILDING HEIGHT	35 FT	50 FT +/-	50 FT +/-

OFF STREET PARKING	REQUIREMENTS	EXISTING	PROPOSED
NUMBER (PLACE OF WORK/PI)	1.5 SPACES PER CLASSROOM + 3 SEATS (1,500 SEATS = 334 SPACES)	154 FT	154 FT
NUMBER (SUNDAY SCHOOL)	1.5 SPACES PER CLASSROOM, BUT NOT LESS THAN 1.8 SPACES PER TEACHER AND STAFF (10 CLASSROOMS = 15 SPACES)	840 SPACES	844 SPACES

OFF STREET LOADING	REQUIREMENTS	EXISTING	PROPOSED
NUMBER (SUNDAY SCHOOL)	1 SPACE / 25,000 SF + 1 SPACE / ADDITIONAL 15,000 SF.	2 SPACES	2 SPACES
NUMBER (TOTAL)	(111,195 SF = 7 SPACES)	(E)	(E)

### INDEX OF SHEETS

SHT. No.	DESCRIPTION
1	COVER SHEET
2	EXISTING SITE CONSTRAINTS AND DEMOLITION PLAN
3	DIMENSION PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	LANDSCAPE PLAN
7	LIGHTING PLAN
8	SOIL EROSION AND SEDIMENT CONTROL PLAN
9-10	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
11	PROFILES AND CONSTRUCTION DETAILS
12	CONSTRUCTION DETAILS

**Daniel W. Busch**  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: GE42093  
MASER CONSULTING, INC.  
N.J. C.O.A. #: 24632786650

### USE VARIANCE AND PRELIMINARY AND FINAL MAJOR SITE PLAN FOR EPIC CHURCH

BLOCK 257  
LOT 3.06  
TAX MAP SHEET 91  
BOROUGH OF SAYREVILLE  
MIDDLESEX COUNTY  
NEW JERSEY

**RED BANK OFFICE**  
Corporate Headquarters  
331 Newman Springs Road  
Suite 202  
Red Bank, NJ 07071  
Phone: 732.383.1950  
Fax: 732.383.1984

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/30/21	BM	DB

PROJECT NUMBER: 09005007  
DRAWING NAME: C-COVER-CHURCH

### COVER SHEET

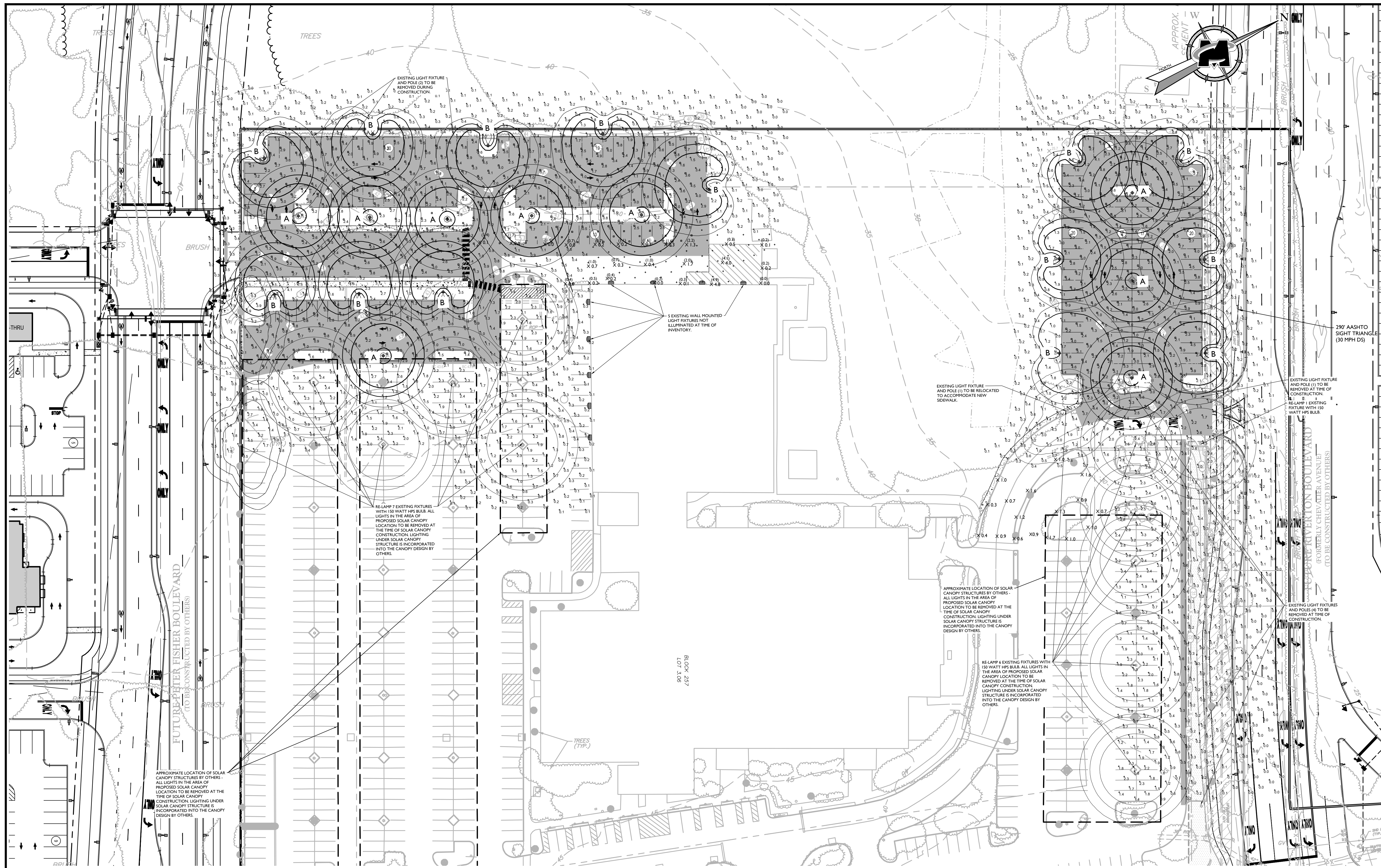












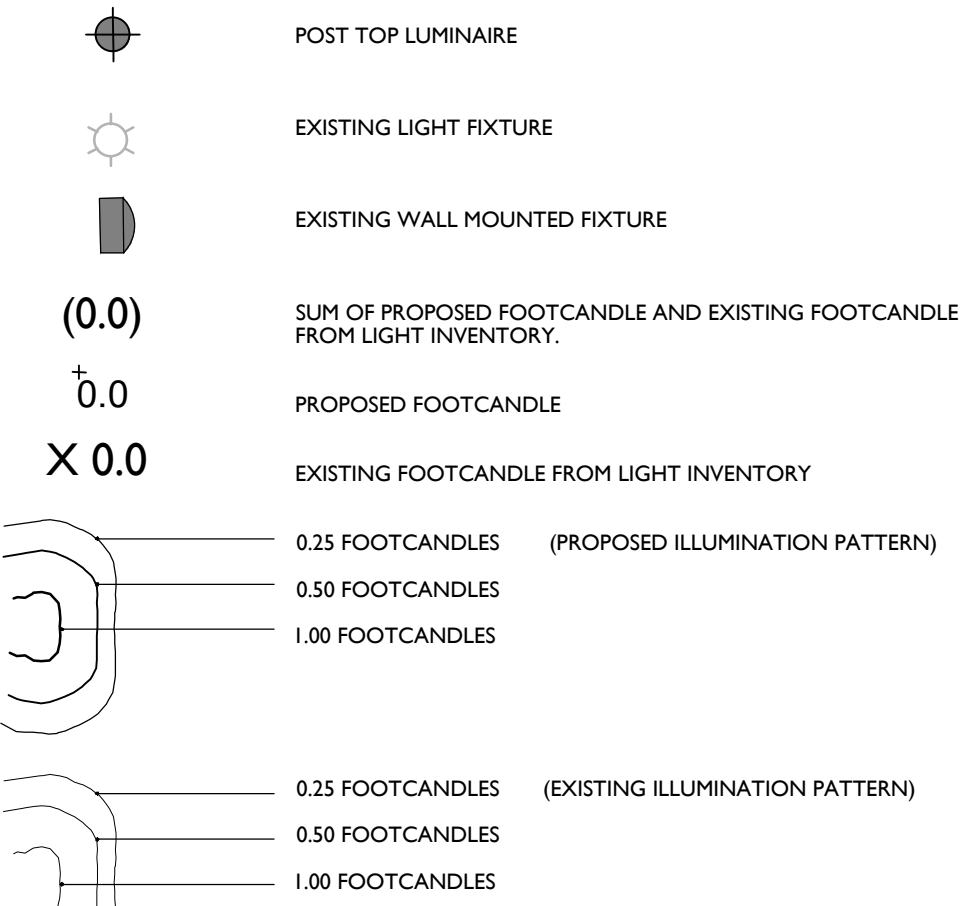
**GENERAL NOTES**

- THIS SHEET IS TO BE USED FOR LIGHTING PURPOSES ONLY. REFER TO SHEET 1 FOR GENERAL NOTES.

**LIGHTING PLAN NOTES**

- EXISTING FIXTURE ILLUMINATION DATA WAS COLLECTED ON THE EVENING OF 1/20/21 BY MASER CONSULTING IN THE FOLLOWING CONDITIONS: CLEAR SKY AND FIRST QUARTER MOON WITH 46 PERCENT ILLUMINATION.
- REFER TO THIS SHEET FOR LIGHTING DETAILS AND ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
- ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
- POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO RELOCATE POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, FENCES, ETC.
- UNDERGROUND CONDUIT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS.
- CONCRETE FOOTING FOR POLE MOUNTED LIGHTS TO BE DESIGNED BY OTHERS. FOOTING DETAIL TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- SITE LIGHTING SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS SUBSTITUTIONS ARE SUBMITTED AND APPROVED.
- LUMINAIRES TO BE MANUFACTURED BY HADCO BY SIGNIFY OR APPROVED EQUAL.
- LUMINAIRES AND POLE FINISHES TO BE BLACK.

**LIGHTING LEGEND**



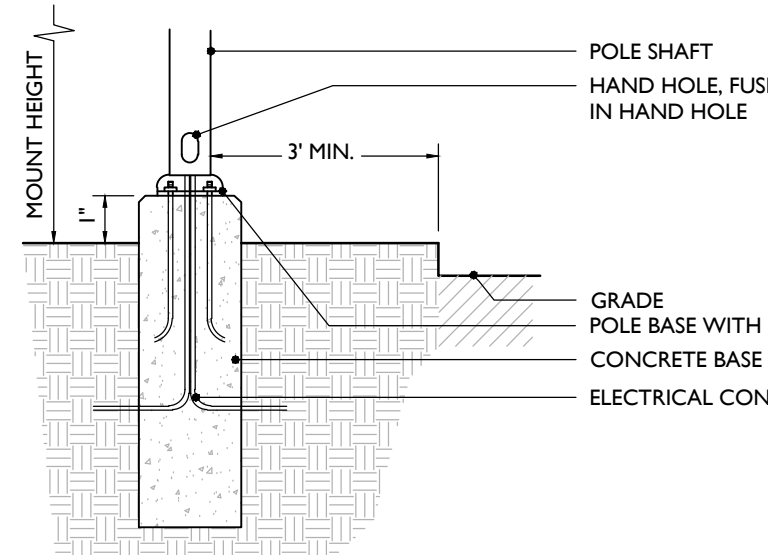
**LIGHTING STATISTICS**

AREA DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
PARKING LOT NORTH	□	2.2 FC	5.2 FC	0.7 FC	7.4 : 1.0	3.1 : 1.0
PARKING LOT SOUTH	□	1.7 FC	5.2 FC	0.5 FC	10.4 : 1.0	3.4 : 1.0
SIDEWALK	X	2.6 FC	4.6 FC	1.4 FC	3.3 : 1.0	1.2 : 1.0

**LIGHTING SCHEDULE**

SYMBOL	LABEL	QTY	CATALOG NUMBER	LAMP	LUMENS PER LAMP	WATTAGE	MOUNT
●	A	9	RL3ZANANNZNNNNSPI	LED	12,268 LUMENS	104	12' POLE
●	B	14	RL3ZANANNZNNNNSPI	LED	12,399 LUMENS	105	12' POLE

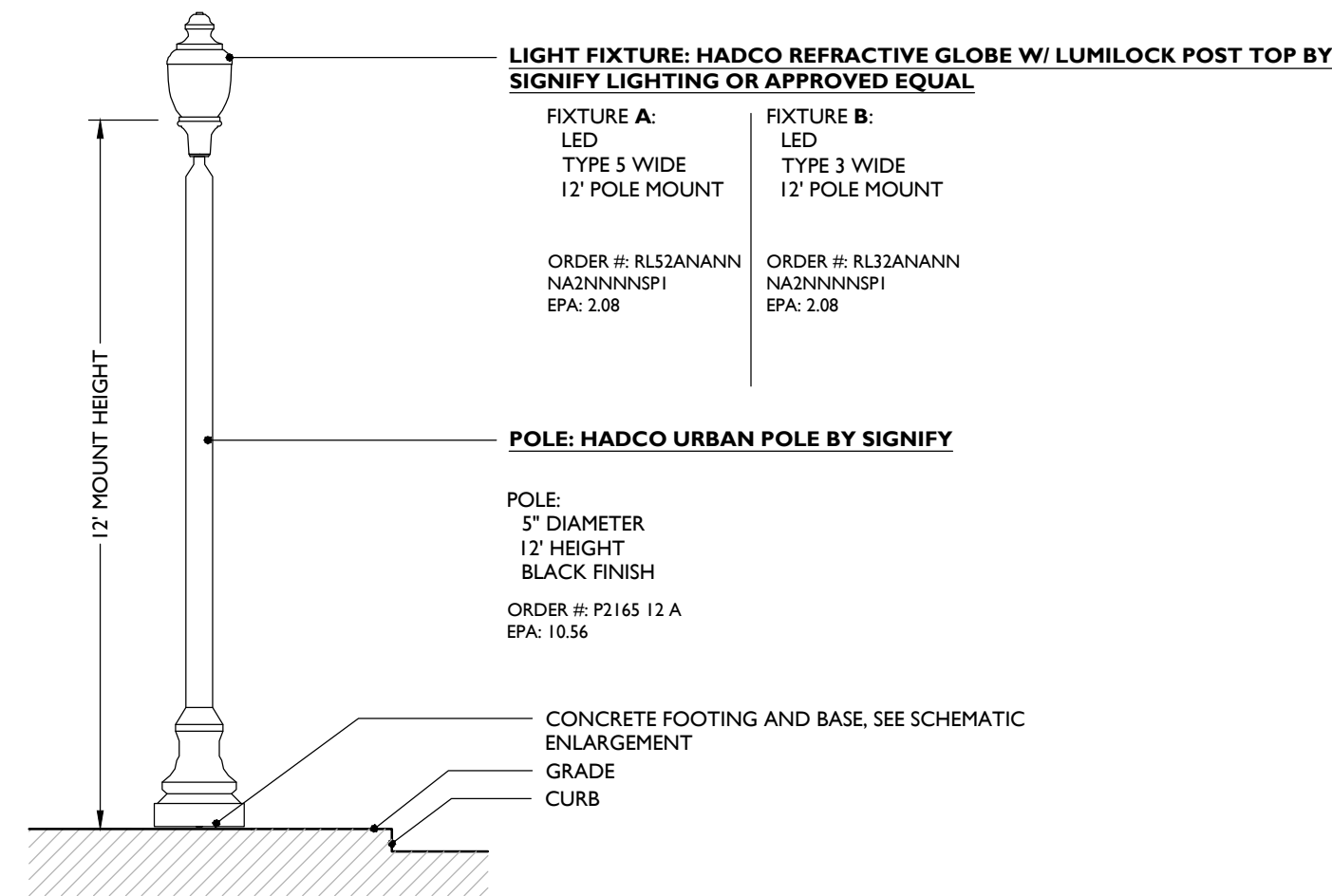
\*14 EXISTING FIXTURES AS INDICATED ON PLAN TO GET RE-LAMPED WITH 150 WATT HP5 BULBS. THESE 14 BULBS ARE NOT INCLUDED IN THE 'QTY' COLUMN ABOVE.



**NOTES:**

- FOOTING SHOWN IS SCHEMATIC ONLY.
- SHOW DRAWINGS AND CALCULATIONS FOR THE DESIGN AND SIZING OF THE CONCRETE FOOTING SHALL BE PREPARED BY A PROFESSIONAL ENGINEER, AND SHALL BE PROVIDED BY THE CONTRACTOR FOR THE APPROVAL PRIOR TO CONSTRUCTION.
- SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATED OF EASEMENTS, UNDERGROUND UTILITIES, AND DRAINAGE AREAS BEFORE DRILLING POLE BASES.

**CONCRETE FOOTING SCHEMATIC DETAIL**



**NOTES:**

- LIGHT AND POLE TO BE MANUFACTURED BY HADCO BY SIGNIFY OR APPROVED EQUAL.
- LIGHT AND POLE FINISH TO BE BLACK COLOR.
- MOUNTING HEIGHT TO BE MEASURED FROM EXTERIOR FINISHED GRADE TO LIGHT SOURCE.

**POST TOP LUMINAIRE DETAIL**



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**HADCO** by @ignify  
 Urban P2165 Pole  
 P2165 Pole  
 Refractive globe with Lumilok LED engine GX4  
 RL3Z/RL5Z Post top

**Specifications**  
**HOLDING:** 30-300mm height, hot dip galvanized, proprietary cast aluminum alloy. 6000-T5 extruded aluminum. Anodized rods are not dipped galvanized steel. Tension is 3500 N/m and cast aluminum.  
**FINISH:** Anodized aluminum extruded rods are anodized in accordance with ASTM B117 and ANODIZING 6007 application. For larger projects where a custom color is required, contact the factory for color information.  
**WARRANTY:** Three year limited warranty.  
**OUTLET:** Standard Outlet Order has universal metal weatherproof cover. Weatherproof white in use. Heavy duty all metal construction. Lockable security cover. Meets NEC 408.8 (B) Weather resistant. GFI Duplex Outlet has weather resistant light, universal metal weatherproof cover. Weatherproof white in use. Heavy duty all metal construction. Lockable security cover. Meets NEC 408.8 (B) Weather resistant.

**Ordering Guide**  
 Example: P2165 12 A T D  
 Product Code: P2165  
 Pole Height: 12  
 Finish: A  
 Mount: T  
 Outlet: D  
 Location: T  
 Order Date: 12/15/21  
 Order Date: 12/15/21

**Ordering grid**

Order	Part	Qty	Unit	Part	Qty	Unit	Part	Qty	Unit	Part	Qty	Unit	
RL3Z	Refractive globe with Lumilok LED engine GX4	9	EA	RL5Z	Refractive globe with Lumilok LED engine GX4	14	EA	RL3Z	Post top	12	EA	RL5Z	Post top

**Notes:**

- Check for utility conflicts.
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REV	DATE	DESCRIPTION
1	11/11/2021	ISSUED FOR CONSTRUCTION PER REVIEW LETTER DATED 11/10/21
2	11/11/2021	ISSUED FOR CONSTRUCTION PER REVIEW LETTER DATED 11/10/21

**Raymond C. Liotta**  
 NEW JERSEY LICENSED LANDSCAPE ARCHITECT  
 LICENSE NUMBER: A50036  
 MASER CONSULTING, INC.  
 NJ, C.O.A. #: 2462378660

**USE VARIANCE AND PRELIMINARY AND FINAL MAJOR SITE PLAN FOR EPIC CHURCH**

BLOCK 257  
 LOT 3.06  
 TAX MAP SHEET 91

BOROUGH OF SAYREVILLE  
 MIDDLESEX COUNTY  
 NEW JERSEY

**RED BANK OFFICE**  
 Corporate Headquarters  
 331 Newmarket Springs Road  
 Suite 203  
 Red Bank, NJ 07070  
 Phone: 732.383.1950  
 Fax: 732.383.1984

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/13/2021	JRD	RCL
PROJECT NUMBER	DRAWING NAME		
050000909	C-LIGHT		

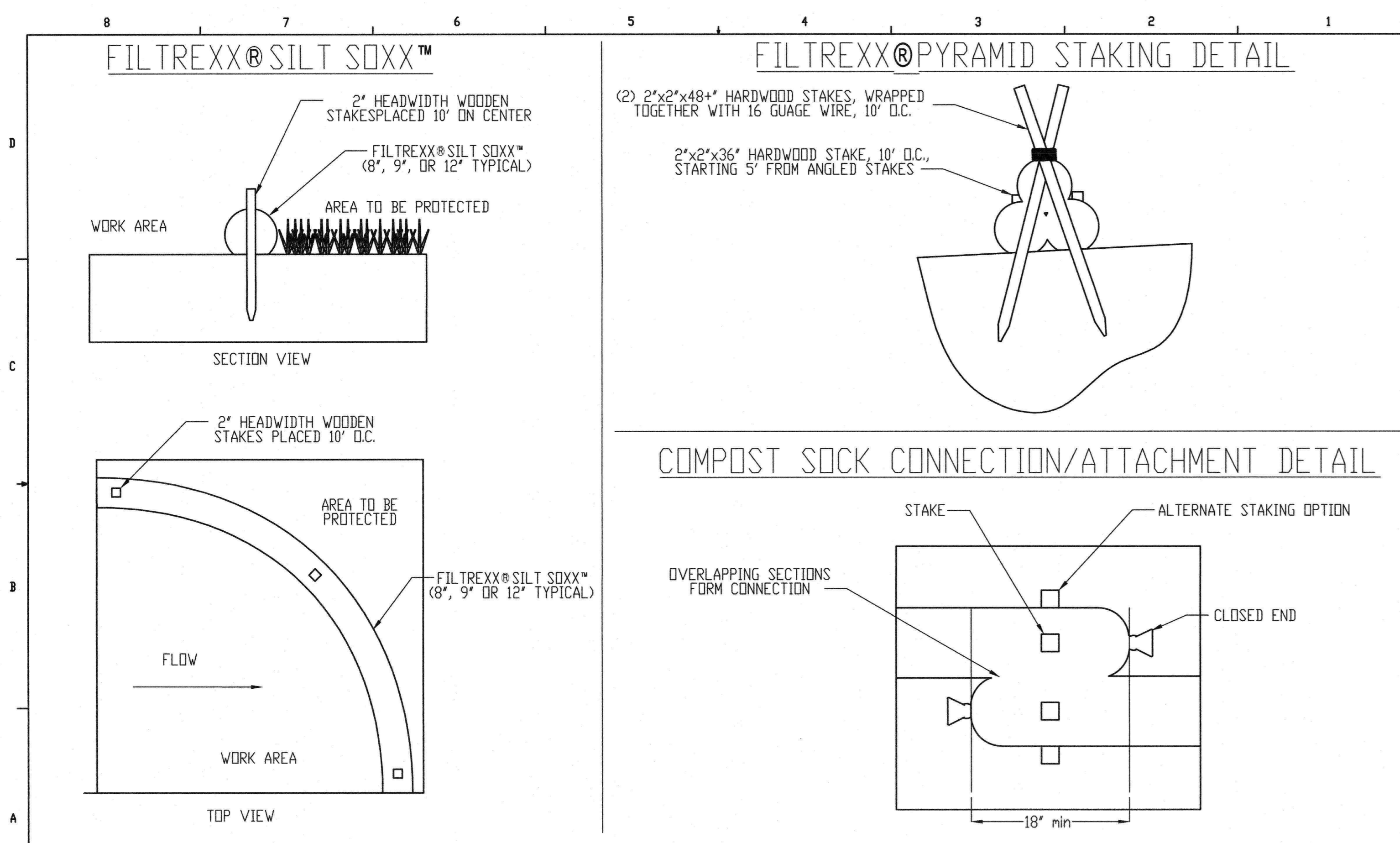
SHEET TITLE: **LIGHTING PLAN**

SHEET NUMBER: **7 of 12**



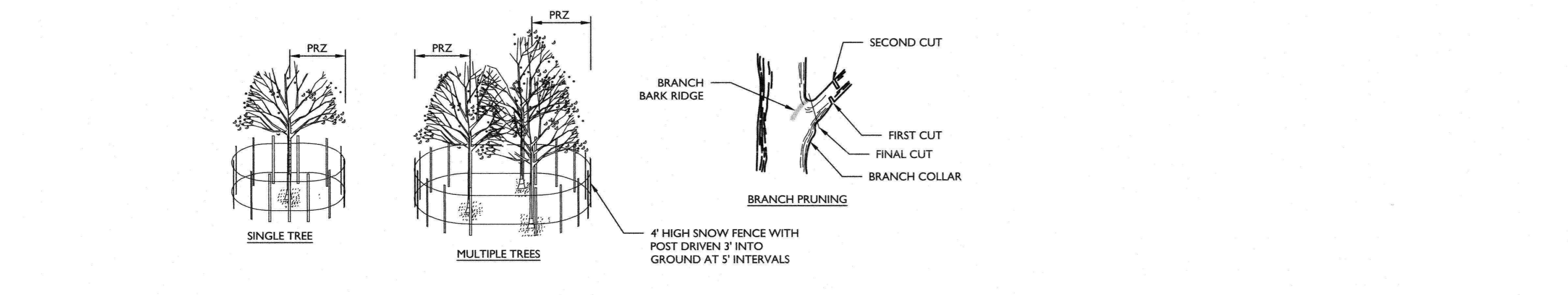
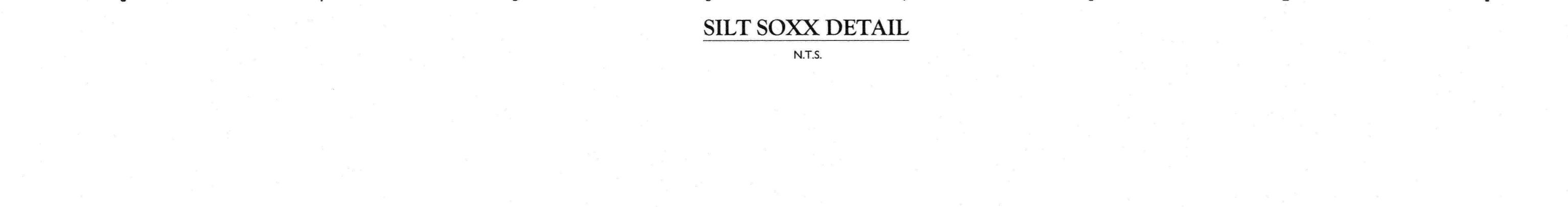






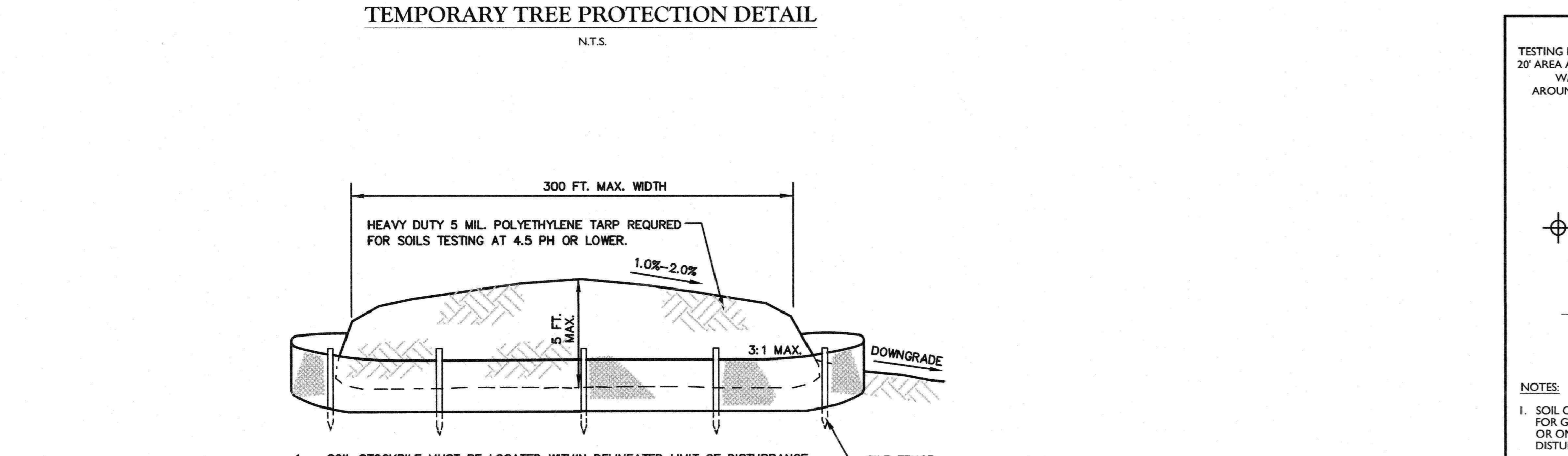
**FILTREXX® SILT SOXX™**  
 2" HEADWIDTH WOODEN STAKES PLACED 10" ON CENTER  
 FILTREXX® SILT SOXX™ (8", 9", OR 12" TYPICAL)  
 WORK AREA  
 AREA TO BE PROTECTED

**FILTREXX® PYRAMID STAKING DETAIL**  
 (2) 2"x2"x48" HARDWOOD STAKES, WRAPPED TOGETHER WITH 16 GAUGE WIRE, 10" O.C.  
 2"x2"x36" HARDWOOD STAKE, 10" O.C., STARTING 5" FROM ANGLED STAKES



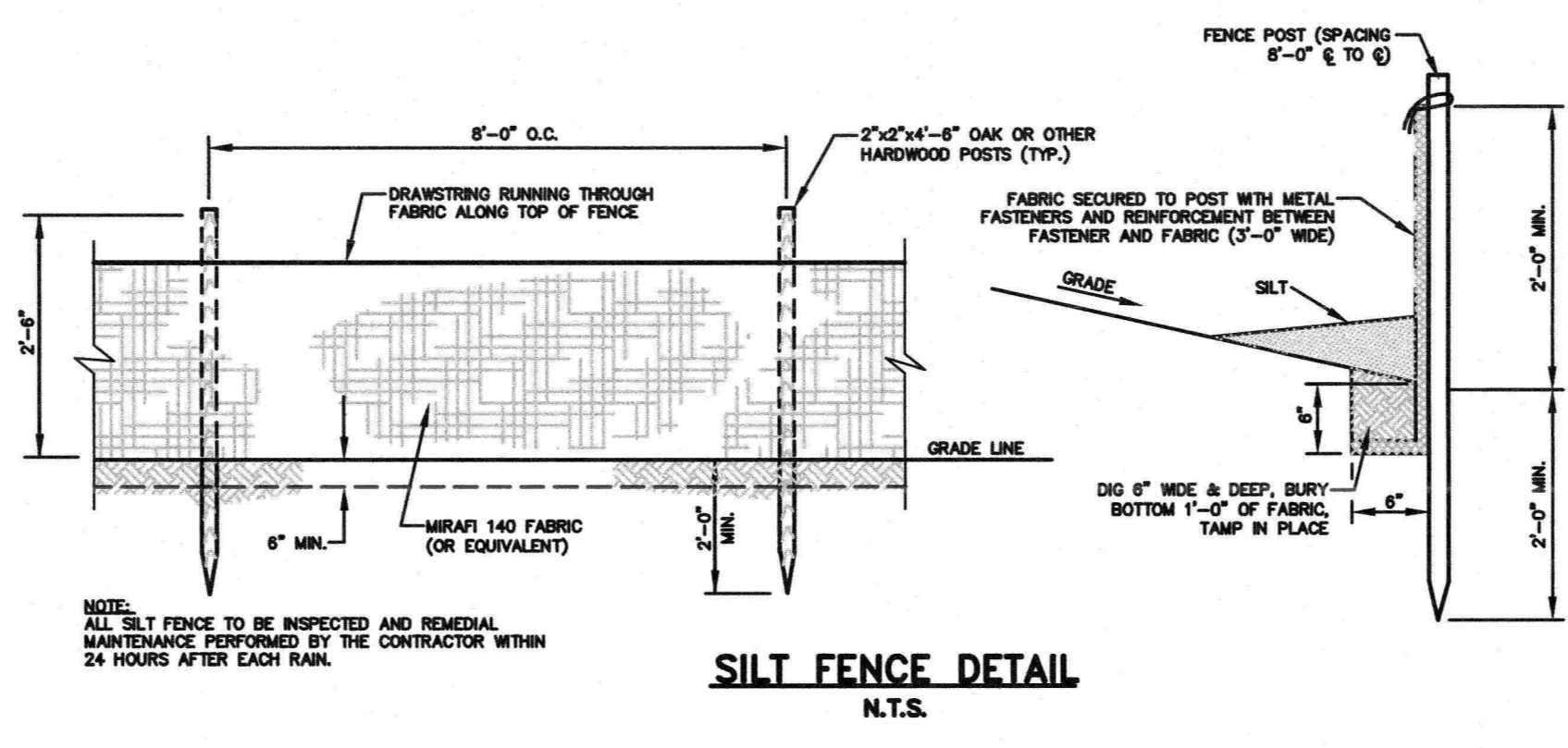
**NOTES:**

- PROTECTIVE FENCING IS TO BE ERECTED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION AS DIRECTED BY THE LANDSCAPE ARCHITECT, SOIL CONSERVATION DISTRICT AND/OR MUNICIPAL ENGINEER.
- NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE PROTECTIVE FENCING.
- AS CONSTRUCTION NEARS COMPLETION THE FENCING WILL BE REMOVED AS DIRECTED.
- AT THE COMPLETION OF CONSTRUCTION, ALL TREES WILL BE PRUNED AS NECESSARY TO CORRECT ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY.
- GENERAL MECHANICAL DAMAGE - SEE CRITICAL ROOT ZONE CALCULATION (CRZ) FOR CORRECT PLACEMENT OF TREE PROTECTION.
- BOX TREES WITHIN 25 FEET OF A BUILDING SITE TO PREVENT MECHANICAL INJURY, FENCING OR OTHER BARRIER SHOULD BE INSTALLED BEYOND THE CRITICAL ROOT ZONE.
- BOARDS WILL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
- FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE THE PROTECTED ROOT ZONE (PRZ) OR CRITICAL ROOT ZONE (CRZ). TREE ROOT SYSTEM COMMONLY EXTEND BEYOND THE DRIP LINE.
- DAMAGED TRUNKS OR EXPOSED ROOTS SHOULD HAVE DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED. EXPOSED ROOTS SHOULD BE COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ROOTS SHALL BE PRUNED TO GIVE A CLEAN, SHARP SURFACE AMENABLE TO HEALING. ROOTS EXPOSED DURING HOT WEATHER SHOULD BE IRRIGATED TO PREVENT PERMANENT TREE INJURY. CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A PROFESSIONAL FORESTER OR CERTIFIED TREE EXPERT.
- TREE LIMB REMOVAL WHERE NECESSARY WILL BE DONE AS NATURAL TARGET PRUNING TO REMOVE THE DESIRED BRANCH COLLAR. THERE SHOULD BE NO FLUSH CUTS. FLUSH CUTS DESTROY A MAJOR DEFENSE SYSTEM OF THE TREE. NO TREE PAINT SHALL BE APPLIED. ALL CUTS SHALL BE MADE AT THE OUTSIDE EDGE OF THE BRANCH COLLAR. CUTS MADE TOO FAR BEYOND THE BRANCH COLLAR MAY LEAD TO EXCESS SPROUTING, CRACKS AND ROT. REMOVAL OF A "V" CROTCH SHOULD BE CONSIDERED FOR FREE STANDING SPECIMEN TREES TO AVOID FUTURE SPLITTING DAMAGE.
- CRITICAL ROOT ZONE (CRZ) OR PROTECTED ROOT ZONE (PRZ) CALCULATION:  
 MEASURE DBH OF THE TREE (DIAMETER OF TREE IN BREAST HEIGHT OR 45' ABOVE GROUND ON THE UPHILL SIDE) IN INCHES.  
 CRZ OR PRZ = DBH TIMES 1.5 (FOR OLD/UNHEALTHY/SENSITIVE TREES) OR DBH X 1.8 (FOR YOUNG/HEALTHY/TOLERANT TREES), EXPRESS IN FEET.



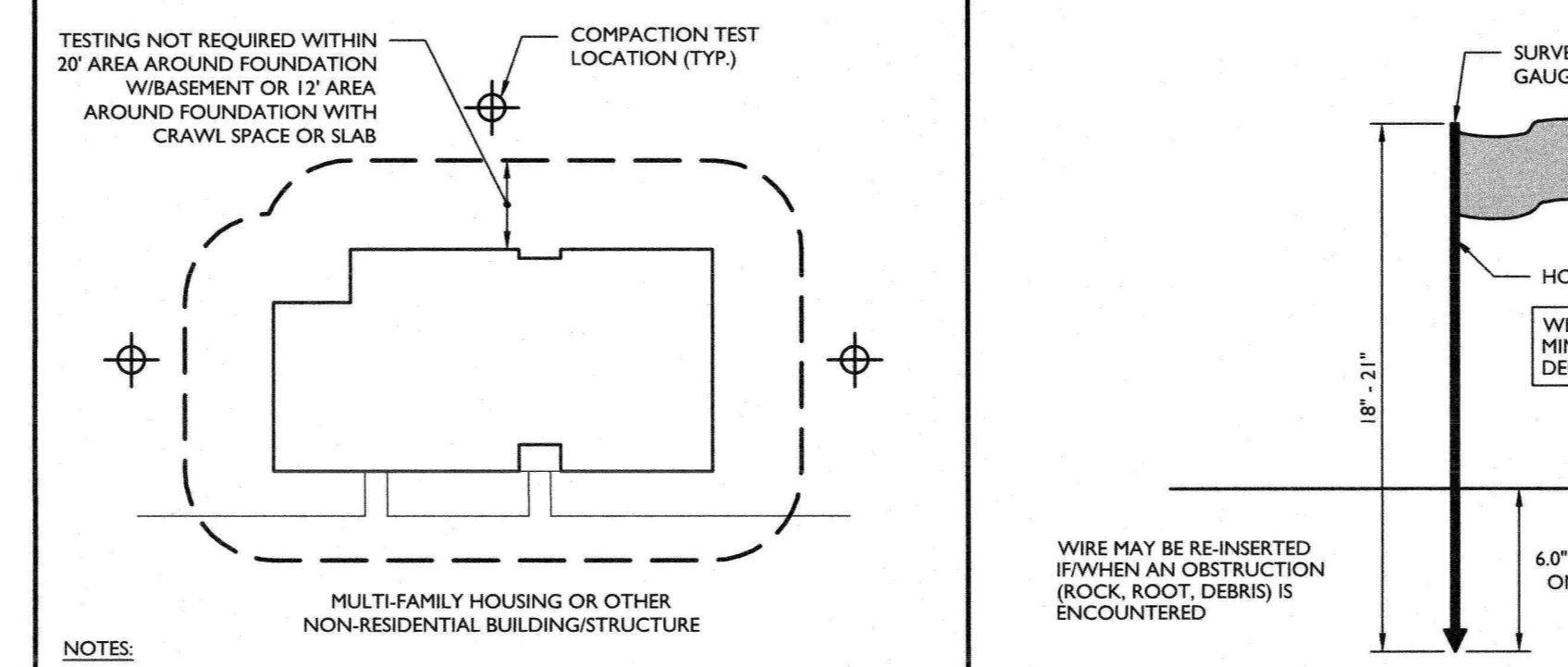
**NOTES:**

- SOIL STOCKPILE MUST BE LOCATED WITHIN DELINEATED LIMIT OF DISTURBANCE.
- ALL STOCKPILES TO REMAIN UNDISTURBED FOR MORE THAN 14 DAYS SHALL BE STABILIZED IN ACCORDANCE WITH SOIL EROSION SEDIMENT CONTROL STANDARDS.



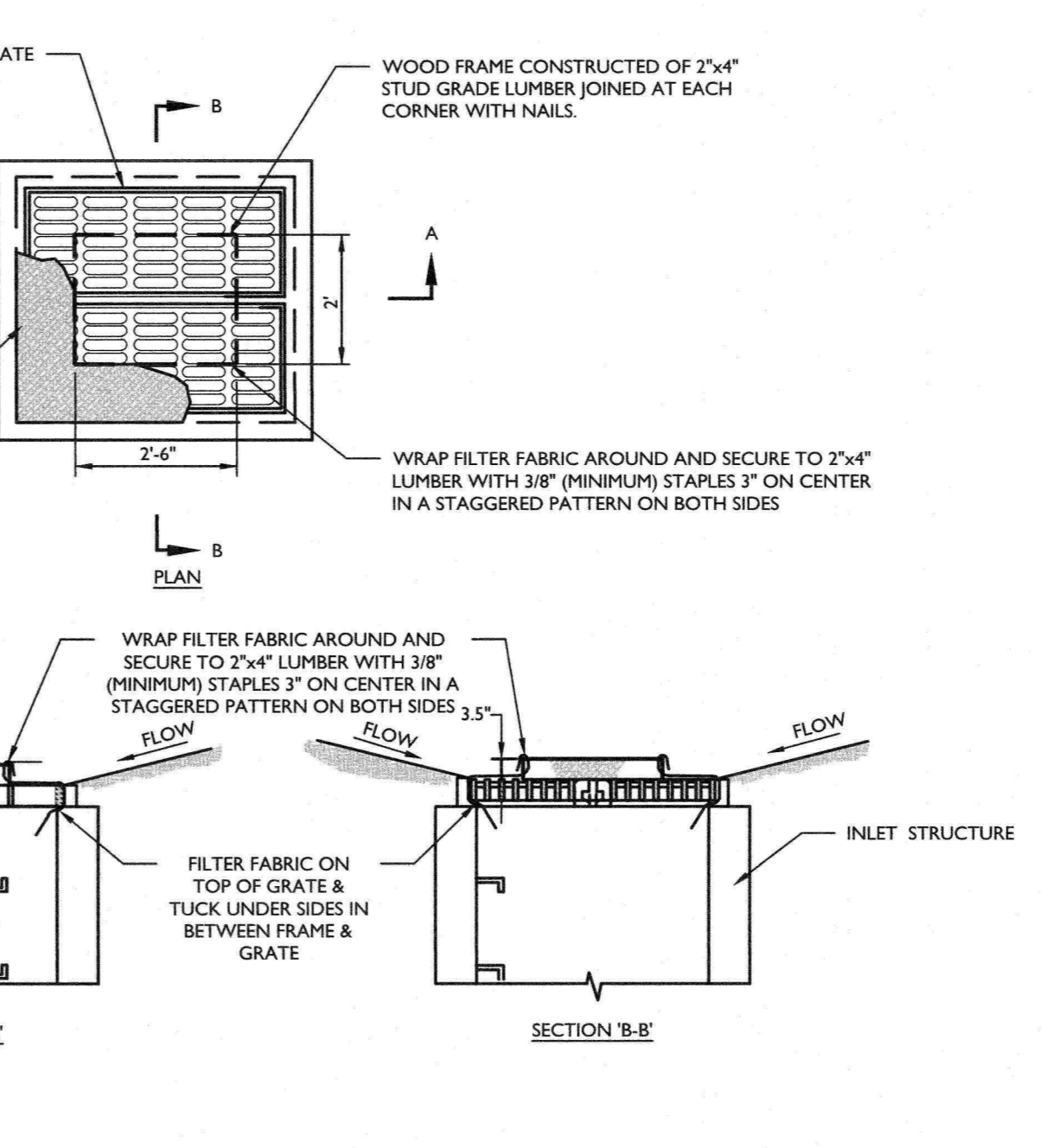
**NOTES:**

- ALL SILT FENCES TO BE INSPECTED AND IMMEDIATE MAINTENANCE PERFORMED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH RAIN.



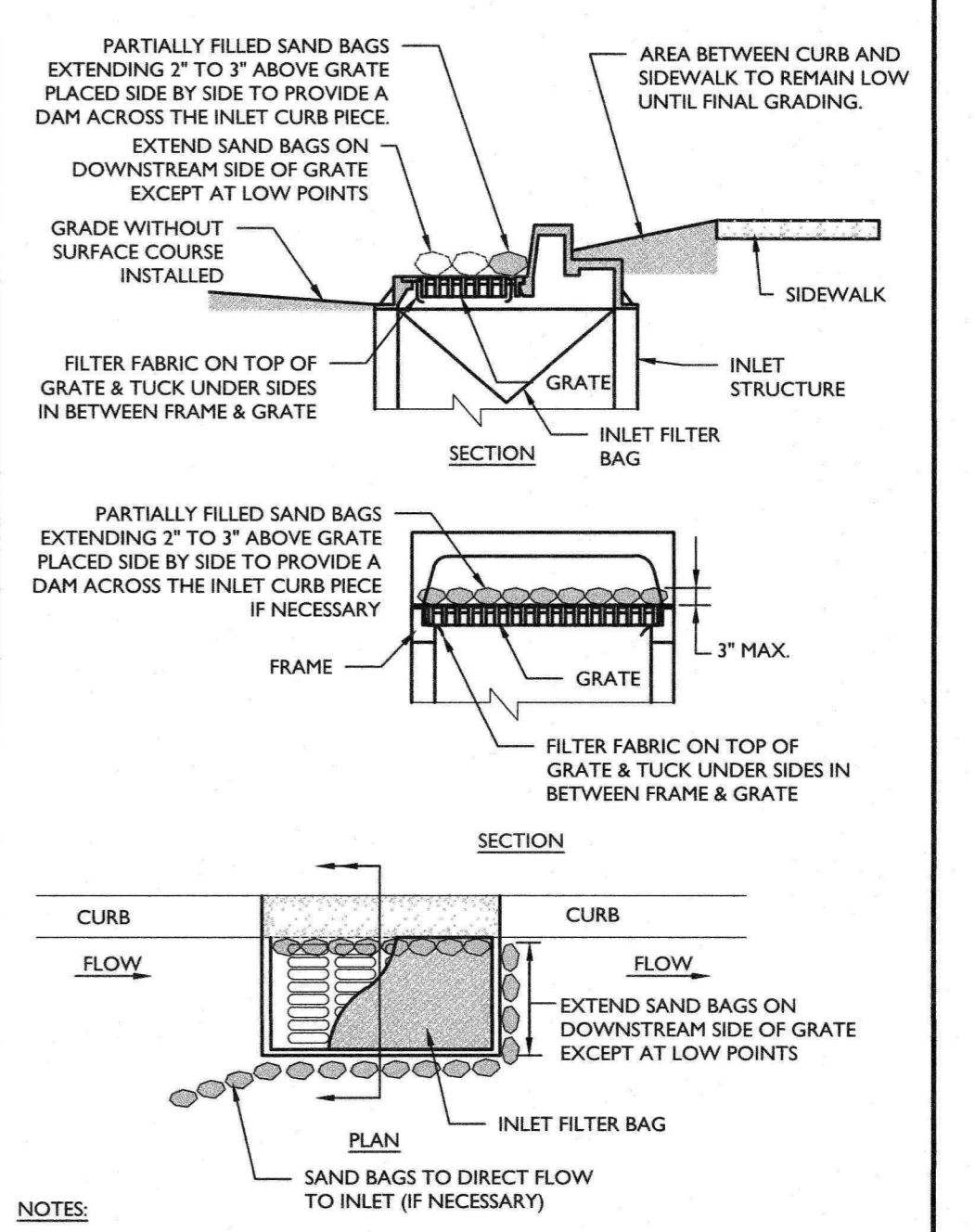
**NOTES:**

- SOIL COMPACTION TESTING LOCATIONS IDENTIFIED ARE RECOMMENDED LOCATIONS FOR GRADED/DISTURBED AREAS WITHIN THE VICINITY OF BUILDINGS AND STRUCTURES OR ON INDIVIDUAL LOTS. MINIMUM TWO (2) TEST PITS PER LOT UP TO 1 ACRE OF DISTURBANCE.
- FOR GRADED/DISTURBED AREAS WITHIN OPEN OR COMMON SPACES, SOIL COMPACTION TESTING SHALL BE PERFORMED AT TWO (2) TEST PITS PER ACRE OF OVERALL LIMIT OF DISTURBANCE. EVENLY DISTRIBUTED.



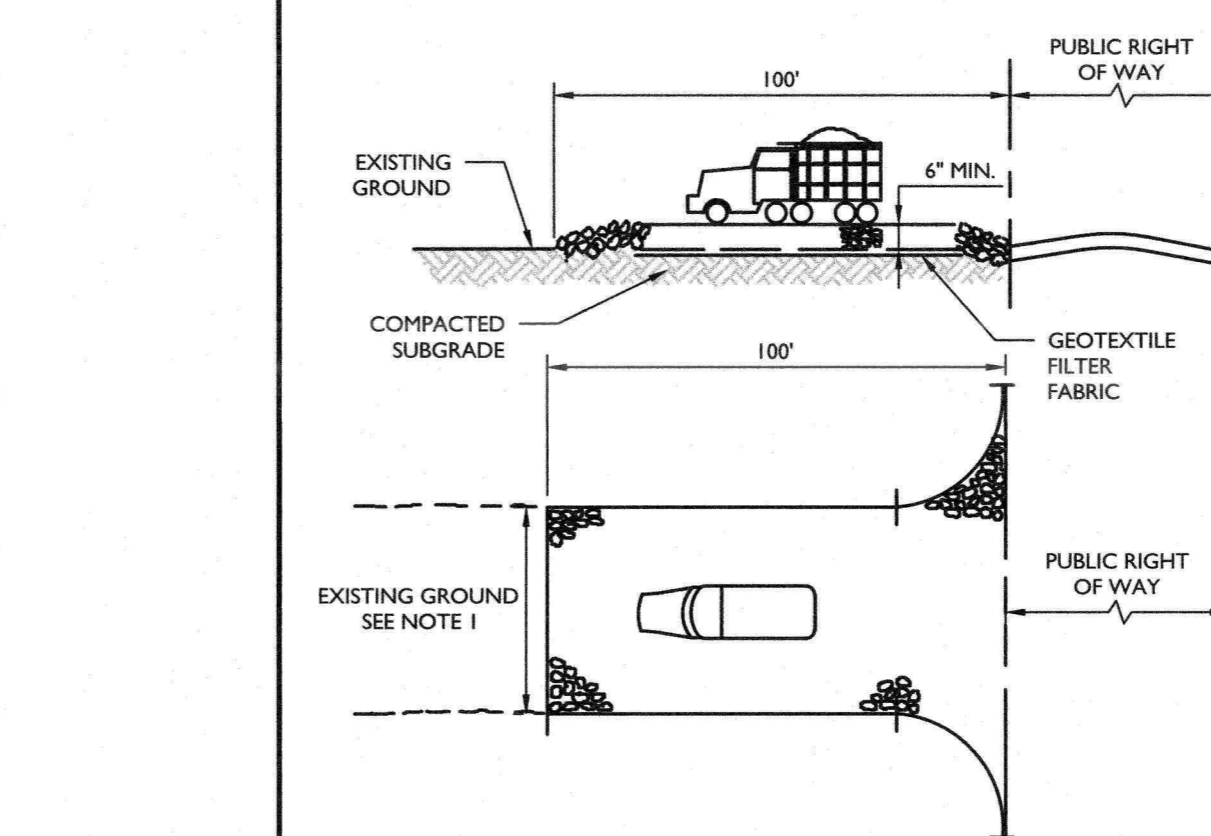
**NOTES:**

- FILTER TO REMAIN UNTIL COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF COVER. ALSO PERIODIC CHECKS MUST BE MADE AFTER EACH RAINFALL TO EXCAVATE AND REMOVE EXCESS SEDIMENT FROM AROUND INLETS.
- FILTER FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUIVALENT.



**NOTES:**

- INLET FILTER BAG TO REMAIN UNTIL COMPLETION OF FINAL GRADING, PAVING AND ESTABLISHMENT OF COVER. SEDIMENT ON THE SOIL EROSION CONTROL PLAN MINIMUM 2 TESTS FOR LIMIT OF DISTURBANCE UP TO 1 ACRE PLUS 2 TESTS PER ACRE OF LIMIT OF DISTURBANCE THEREAFTER, SPACED EVENLY THROUGHOUT THE SITE.
- FILTER FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUIVALENT.



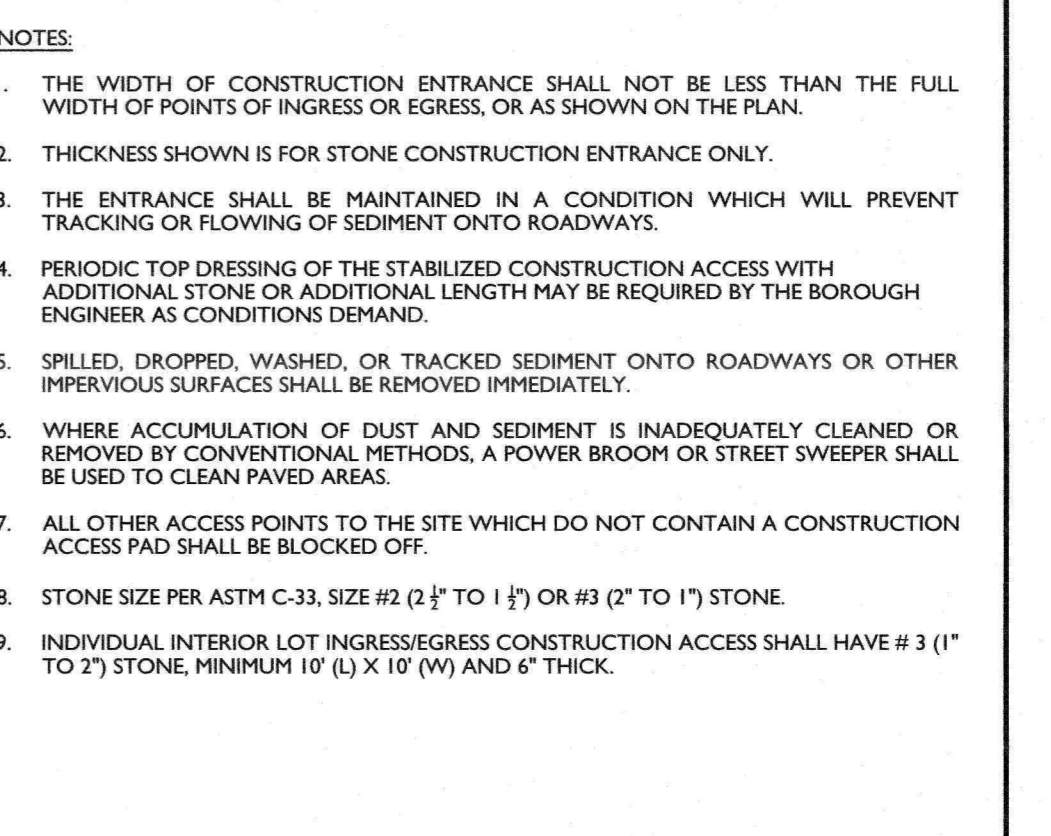
**NOTES:**

- THE WIDTH OF CONSTRUCTION ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF POINTS OF INGRESS OR EGRESS, OR AS SHOWN ON THE PLAN.
- THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS.
- PERIODIC TOP DRESSING OF THE STABILIZED CONSTRUCTION ACCESS WITH ADDITIONAL STONE OR ADDITIONAL LENGTH MAY BE REQUIRED BY THE BOROUGHS ENGINEER AS CONDITIONS DEMAND.
- SPILLED, DROPPED, WASHED, OR TRACKED SEDIMENT ONTO ROADWAYS OR OTHER IMPERVIOUS SURFACES SHALL BE REMOVED IMMEDIATELY.
- WHERE ACCUMULATION OF DUST AND SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER SHALL BE USED TO CLEAN PAVED AREAS.
- ALL OTHER ACCESS POINTS TO THE SITE WHICH DO NOT CONTAIN A CONSTRUCTION ACCESS PAD SHALL BE BLOCKED OFF.
- STONE SIZE PER ASTM C-33, SIZE #2 (1" TO 1 1/2") OR #3 (2" TO 1") STONE.
- INDIVIDUAL INTERIOR LOT INGRESS/EGRESS CONSTRUCTION ACCESS SHALL HAVE 3 (1" TO 2") STONE, MINIMUM 10' (8' X 10' (W) AND 6" THICK.



**NOTES:**

- SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.
- RECORD THE DEPTH OF PENETRATION WHEN WIRE IS DEFORMED.



**NOTES:**

- SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE. PROBE MUST PENETRATE AT LEAST 4" WITH LESS THAN 300 PSI READING ON THE GAUGE.
- USE 1/2" TIP FOR FIRM SOIL, 3/4" TIP FOR SOFT SOIL.

**SOIL DECOMPACTION AND TESTING REQUIREMENTS**  
 MCNJ-SOIL-NOTE-2000 05/01/18

**A. SOIL COMPACTION TESTING REQUIREMENTS**

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL "STANDARD FOR VEGETATIVE COVER" NOTES SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 4.8 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER (SEE "STANDARD FOR VEGETATIVE COVER" NOTES FOR TOPSOIL REQUIREMENTS).
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE SOIL EROSION CONTROL PLAN. MINIMUM 2 TESTS FOR LIMIT OF DISTURBANCE UP TO 1 ACRE PLUS 2 TESTS PER ACRE OF LIMIT OF DISTURBANCE THEREAFTER, SPACED EVENLY THROUGHOUT THE SITE.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN SHALL BE USED TO MARK THE LOCATIONS OF TESTS AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE PROBING OR PENETRATION TESTING METHODS (SEE DETAILS), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL DENSITY TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DENSITY TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

**B. COMPACTION TESTING METHODS**

- PROBING WIRE TEST (SEE DETAIL)
- HANDHELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

**C. PROCEDURES FOR SOIL COMPACTION MITIGATION**

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (4" MINIMUM DEPTH), WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

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NO.	DATE	DRAWN BY	DESCRIPTION
1	05/01/17	RM	ISSUED FOR CONSTRUCTION PER REVIEW LETTER DATED 3/1/2021

**DANIEL W. BUSCH**  
 NEW JERSEY PROFESSIONAL ENGINEER  
 LICENSE NUMBER: GE42993

**USE VARIANCE AND PRELIMINARY AND FINAL MAJOR SITE PLAN FOR EPIC CHURCH**

BLOCK 257  
 LOT 3.06  
 TAX MAP SHEET 91

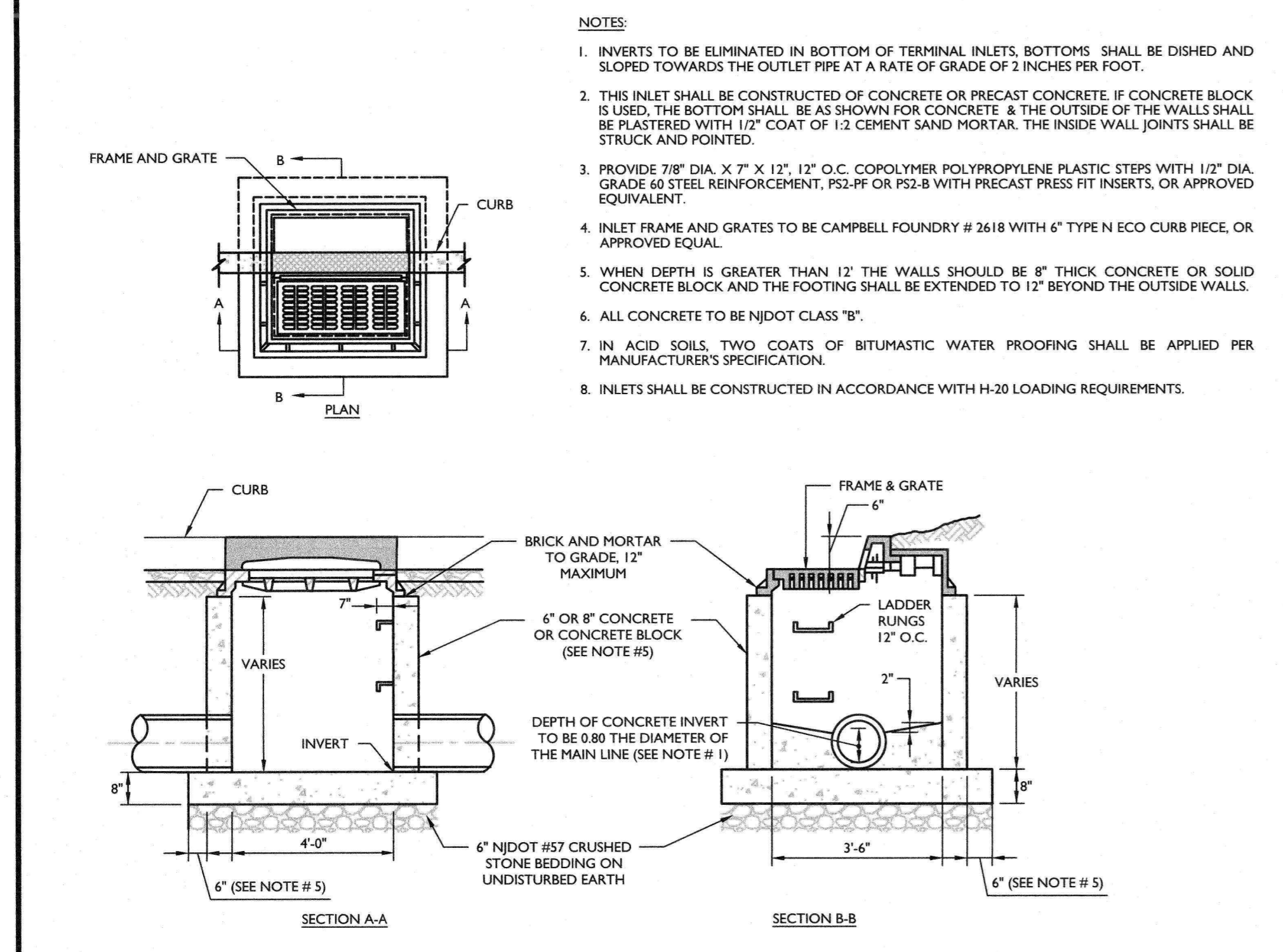
BOROUGH OF SAYREVILLE  
 MIDDLESEX COUNTY  
 NEW JERSEY

**RED BANK OFFICE**  
 Corporate Headquarters  
 331 Newman Springs Road  
 Suite 200  
 Red Bank, NJ 07701  
 Phone: 732.383.1950  
 Fax: 732.383.1984

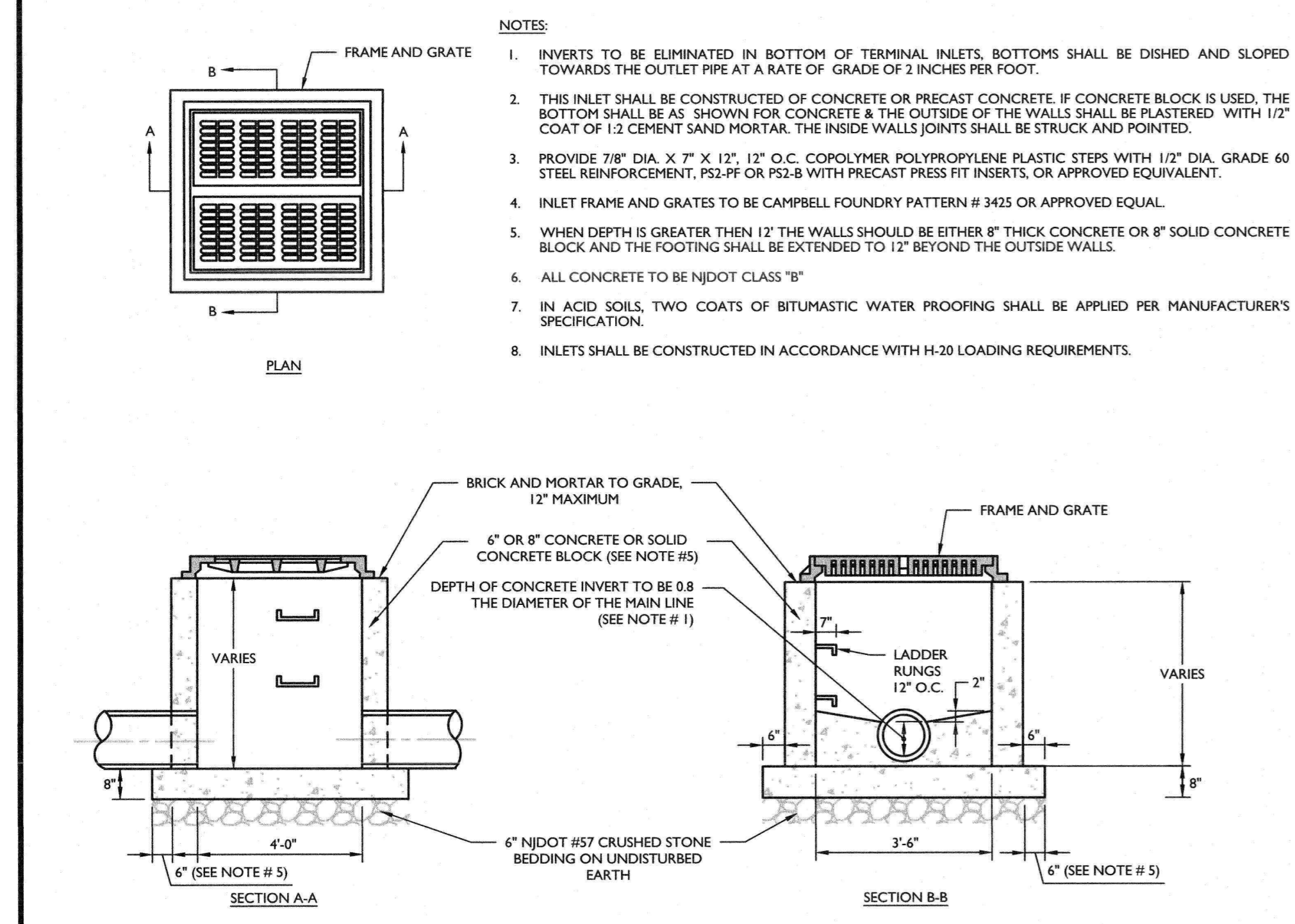
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 DATE: 1/13/2021  
 PROJECT NUMBER: 05000207  
 DRAWING NAME: C-SECC-CHURCH

**SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

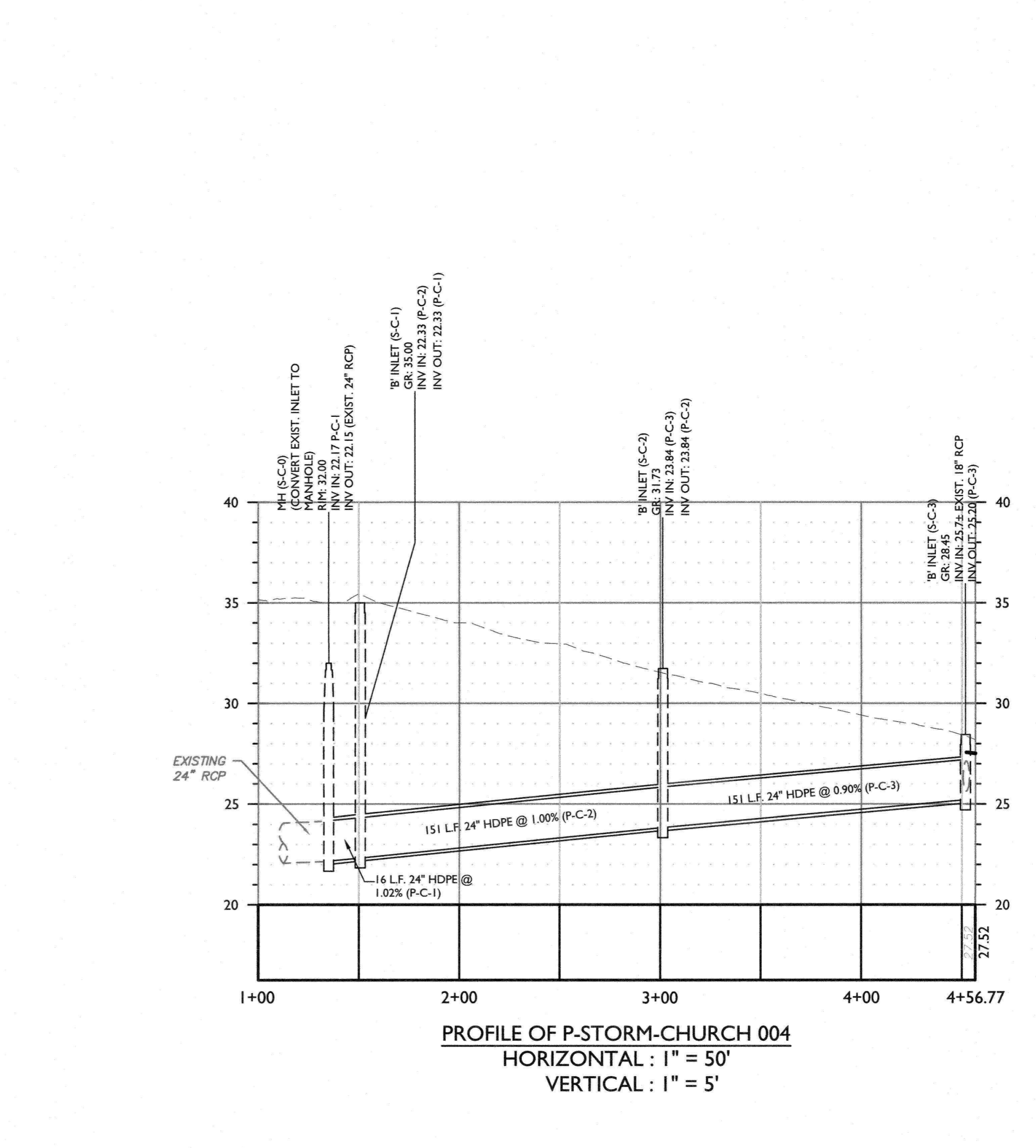
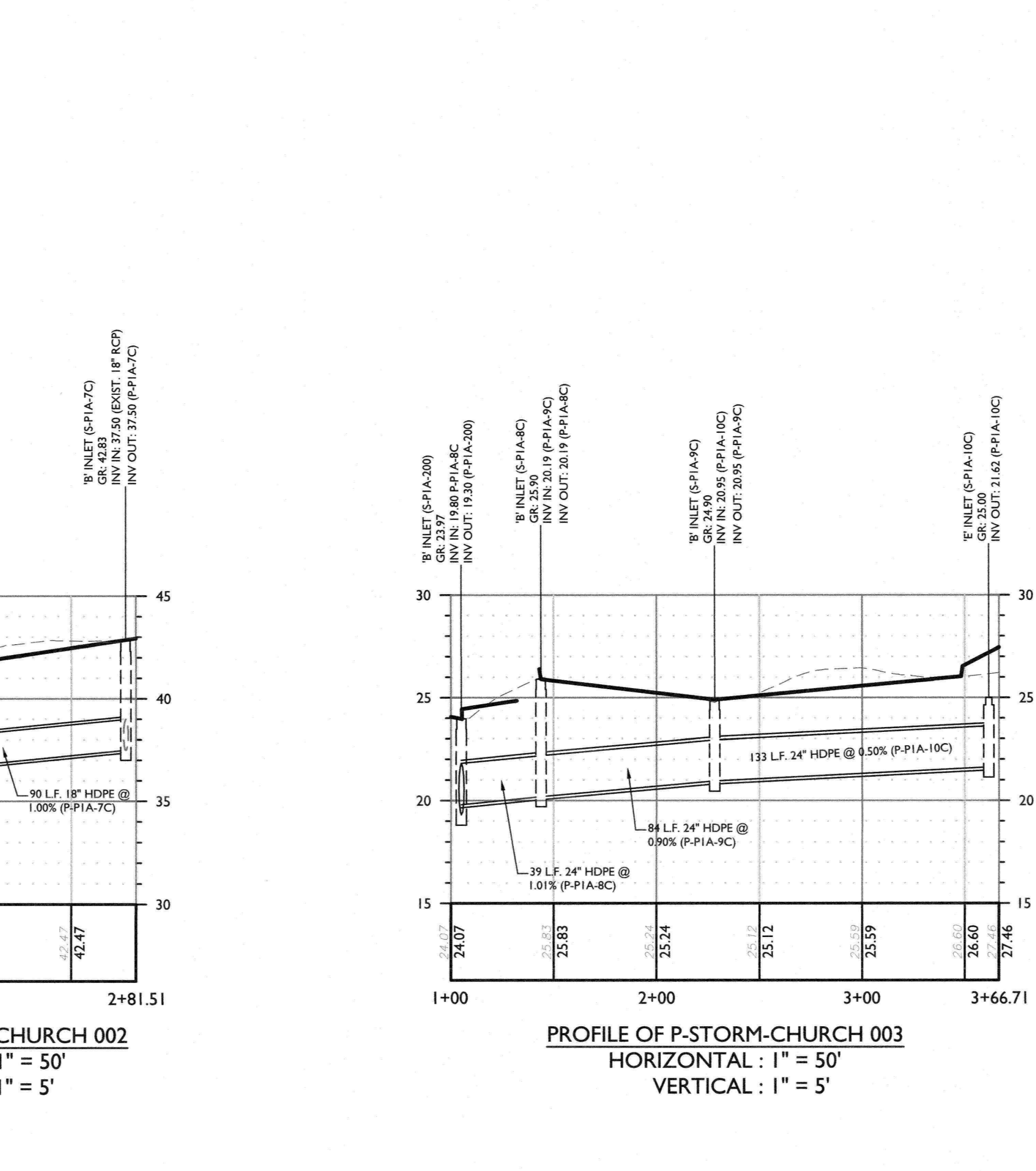
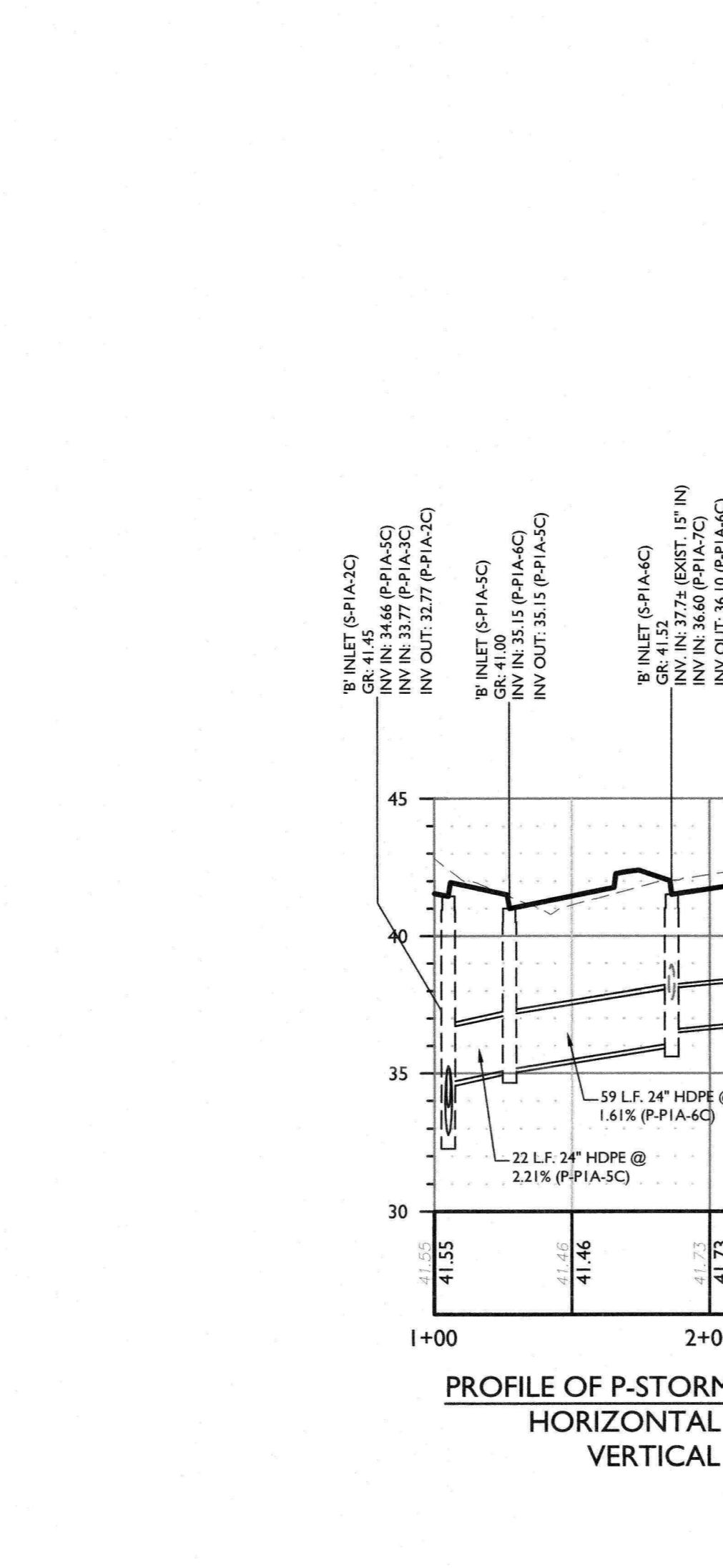
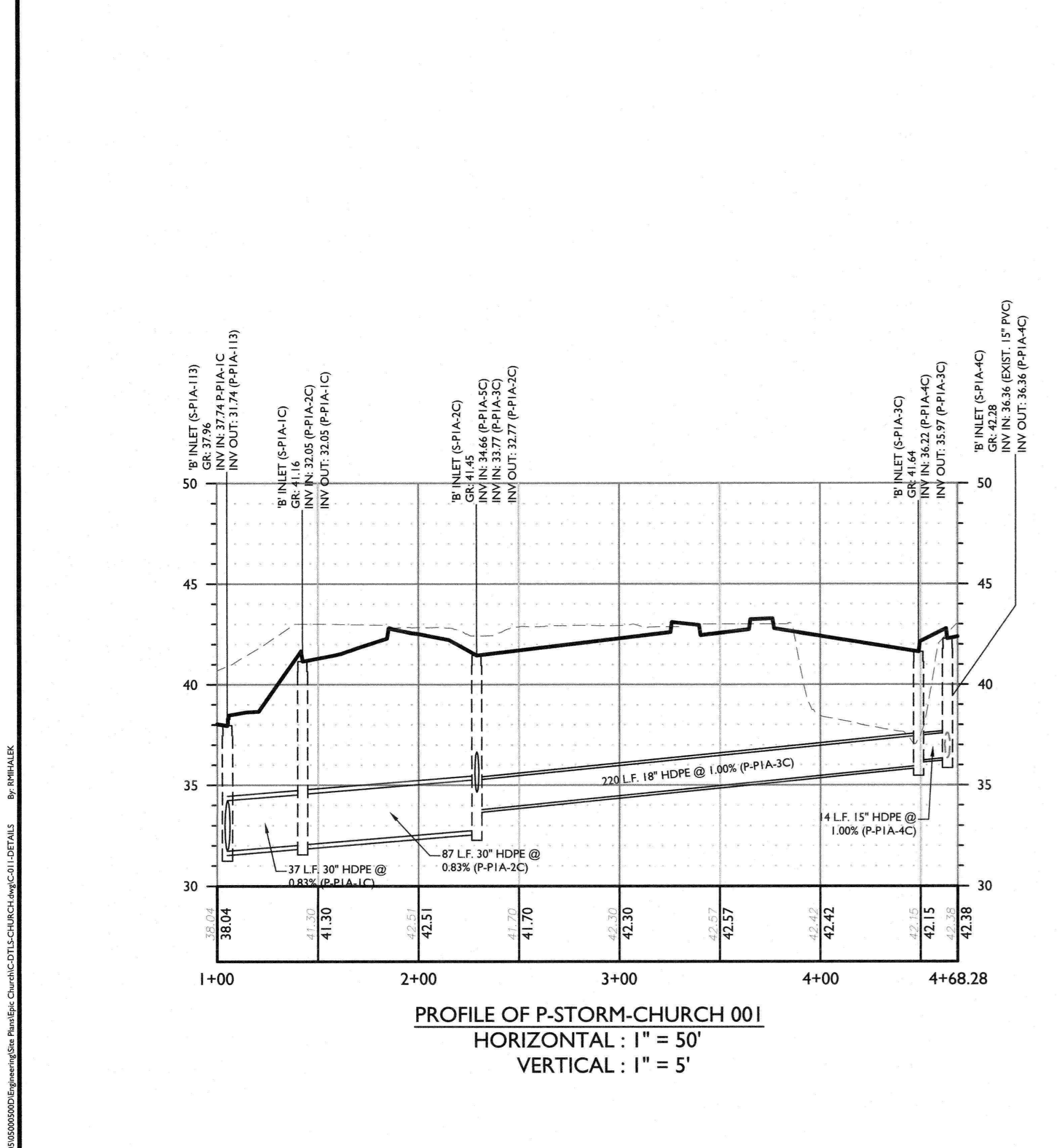
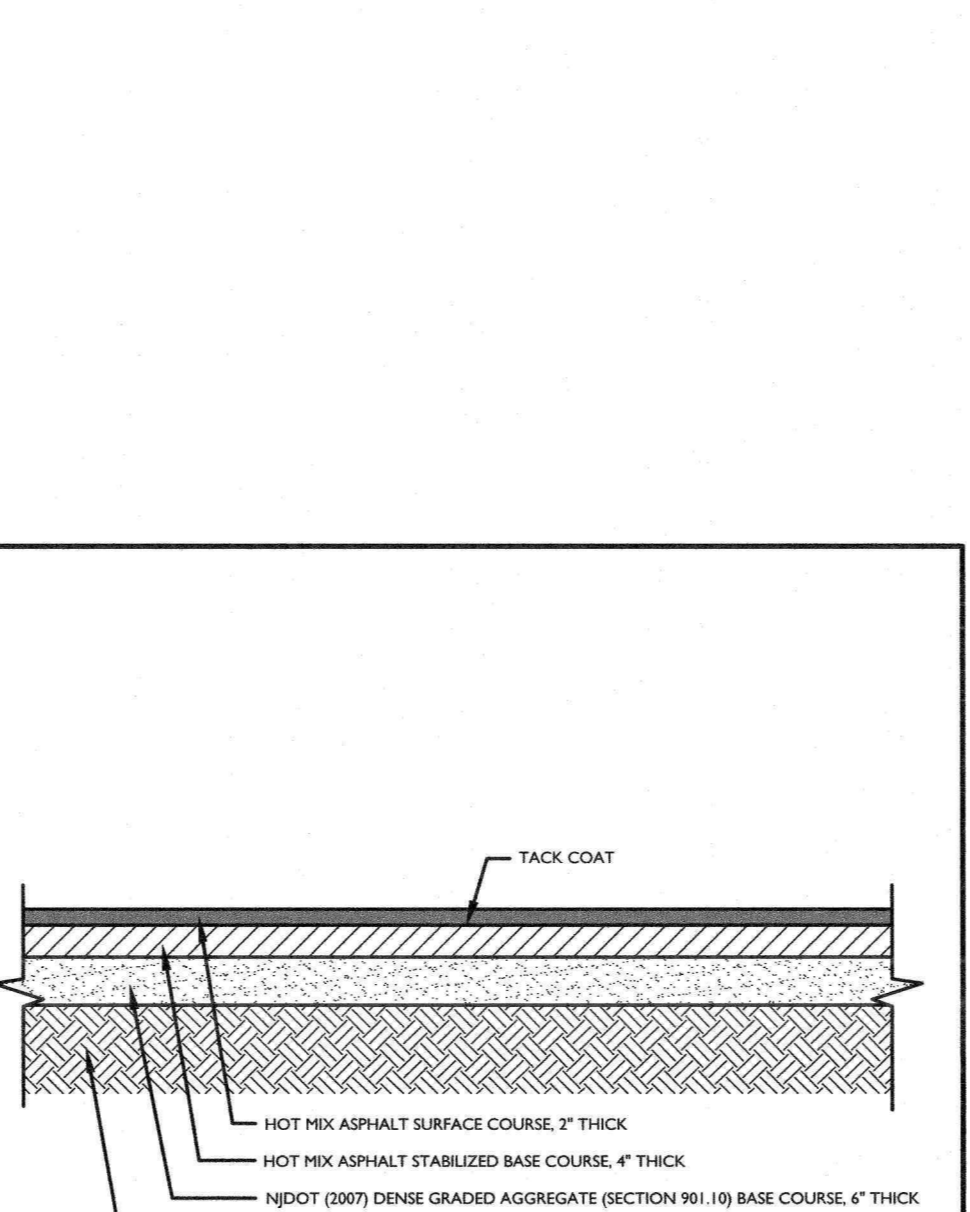
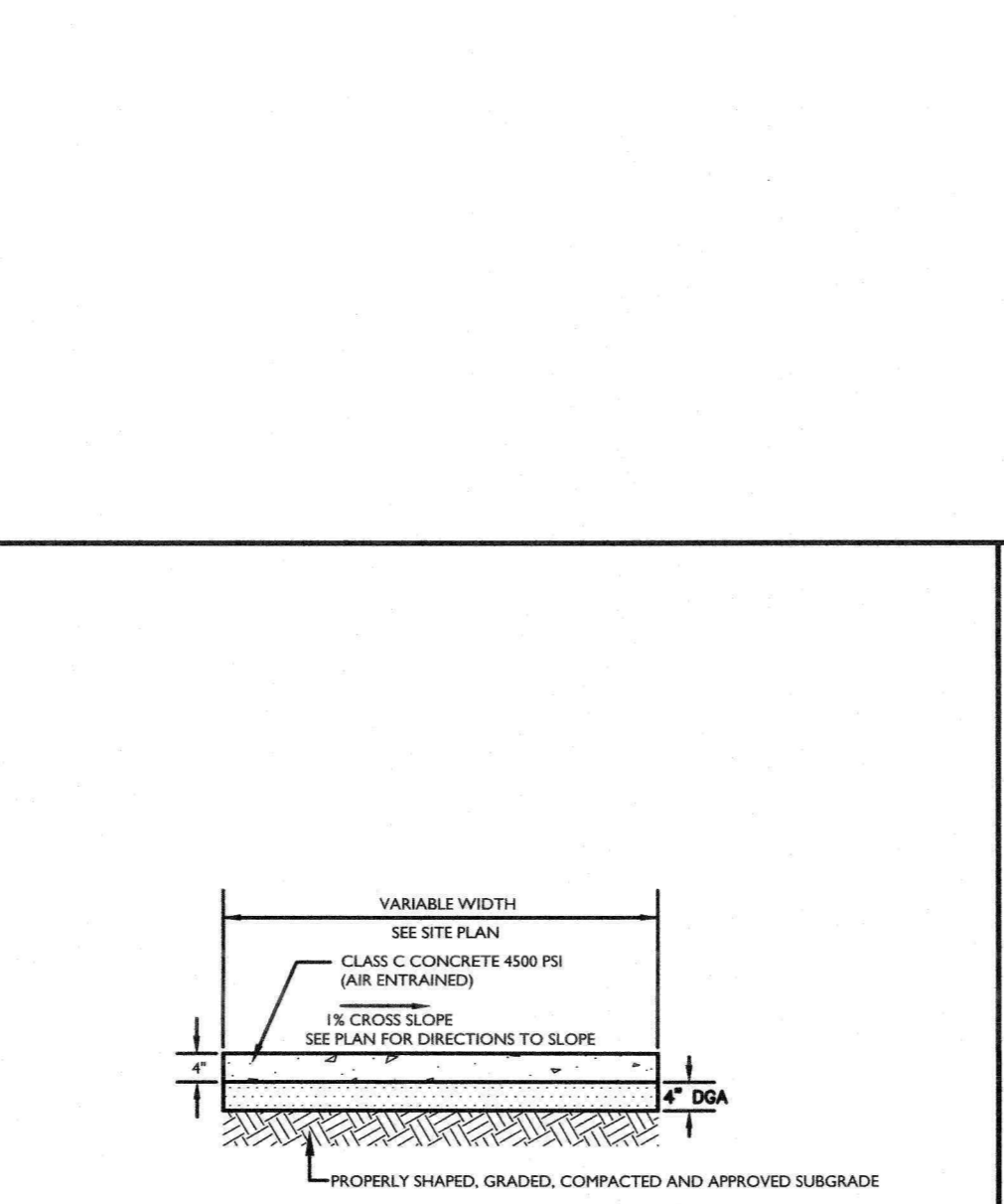
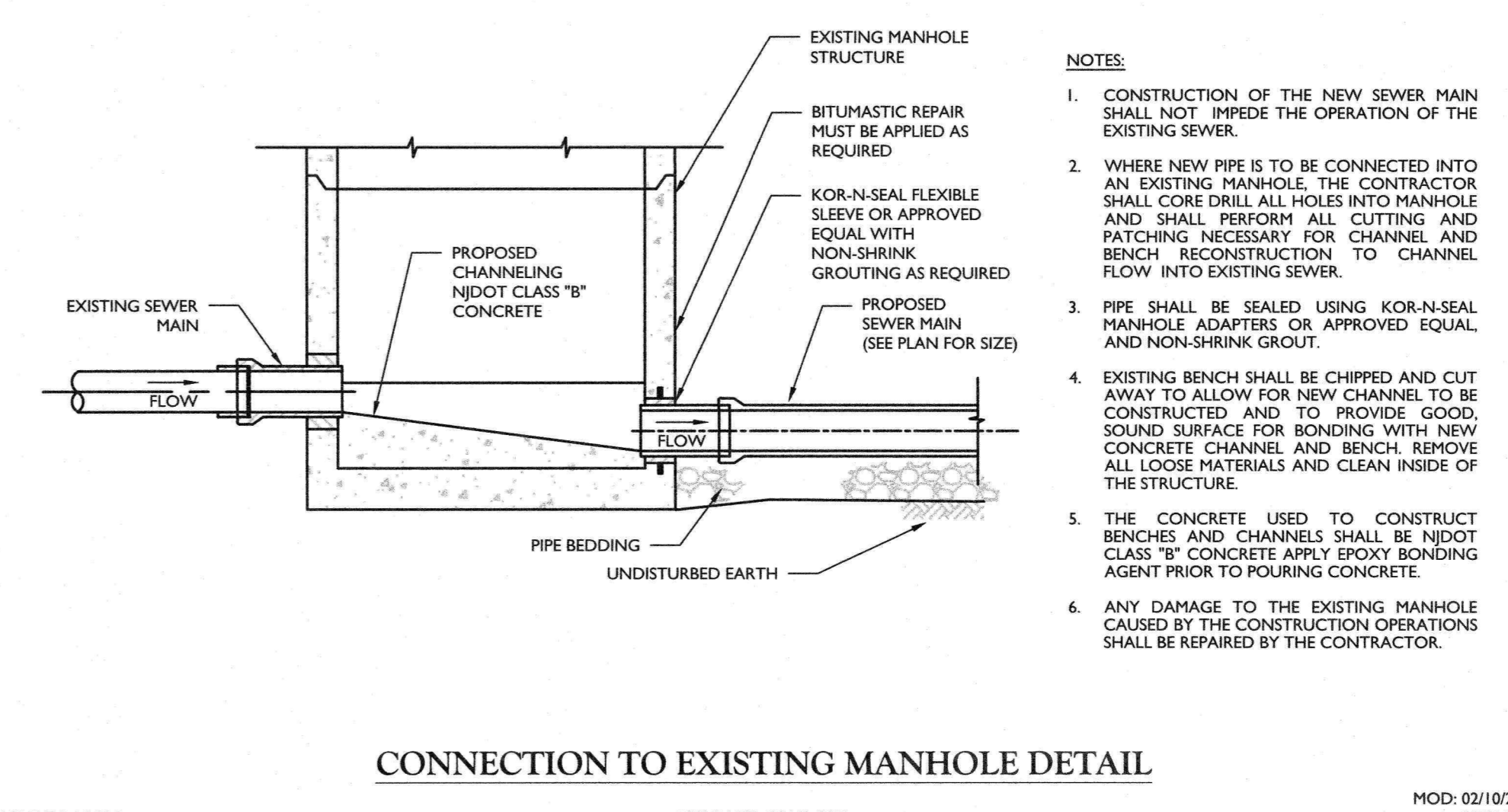
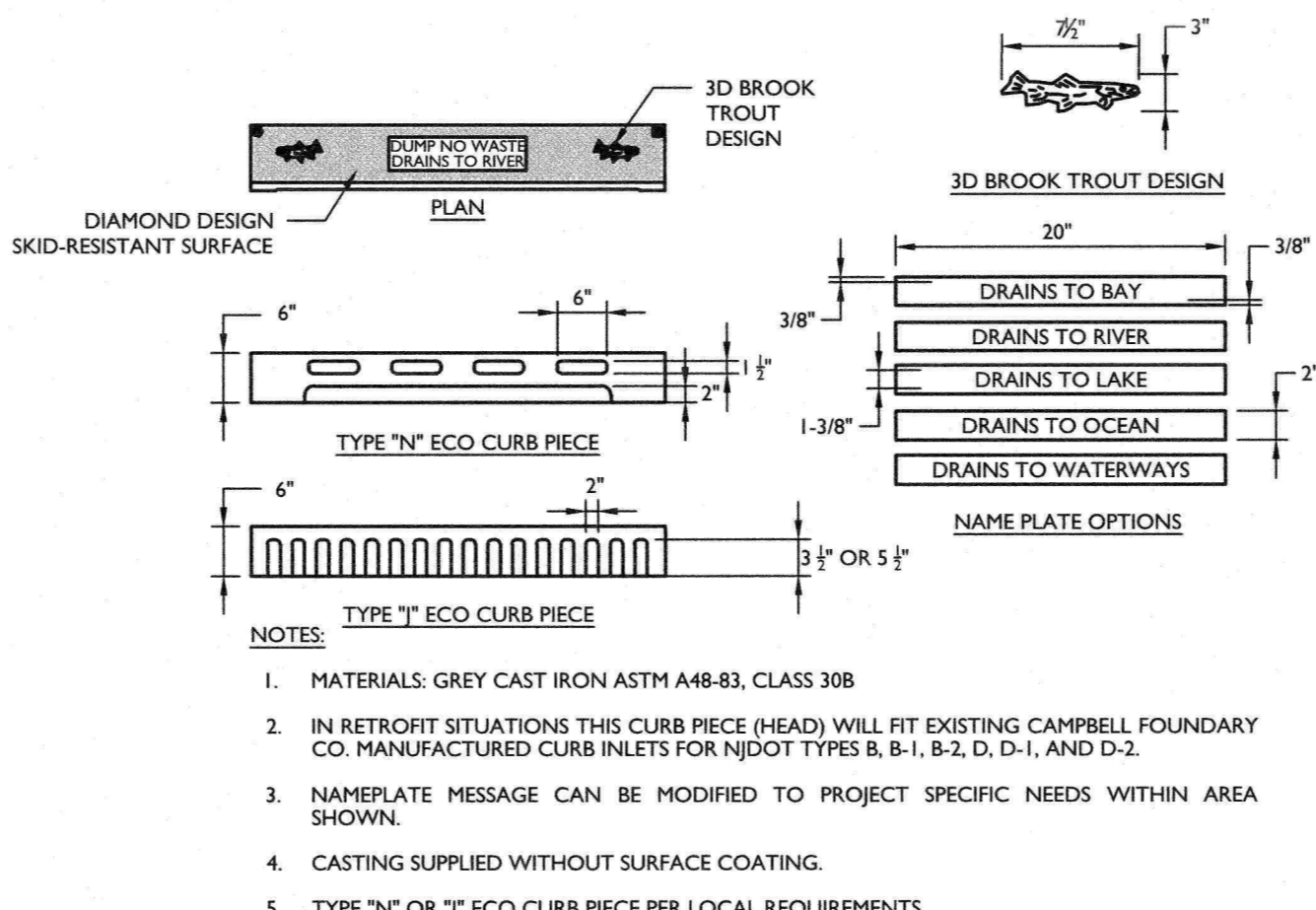
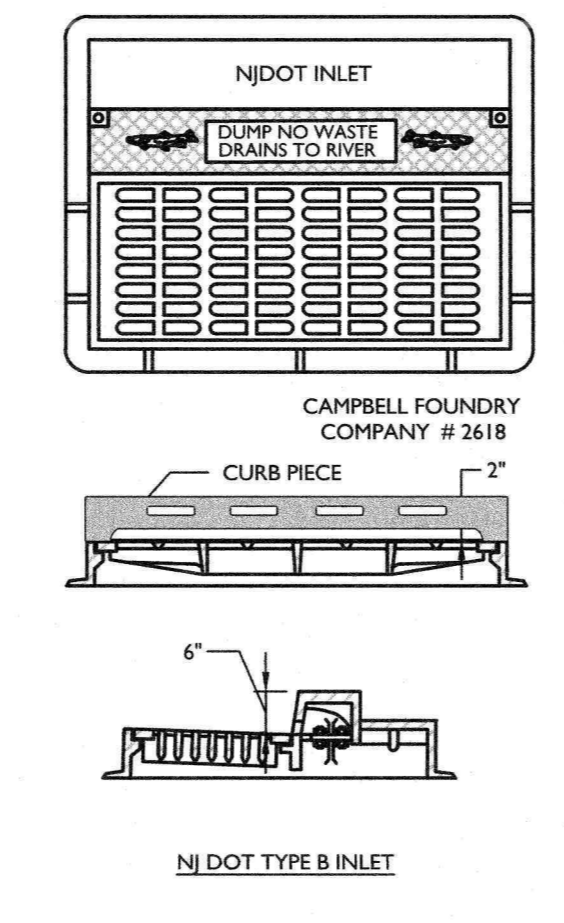
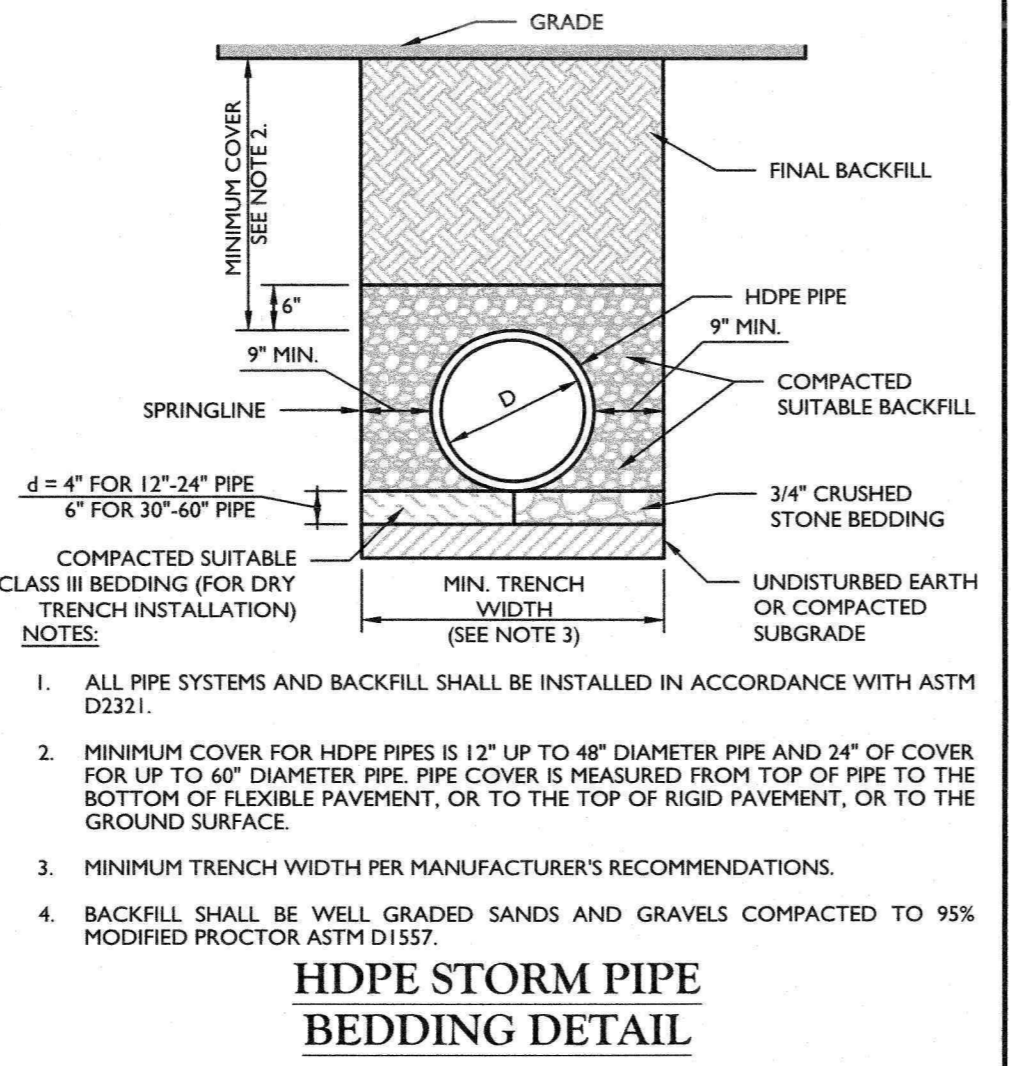
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**TYPE 'B' INLET DETAIL**  
MCN\LUL\STRM-1100 02/01/19



**TYPE 'E' INLET DETAIL**  
MCN\LUL\STRM-1200 02/01/19



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REV	DATE	DESCRIPTION
1	4/20/21	ISSUED FOR COMPLETION PER REVISED LETTER DATED 3/18/2021

**Daniel W. Busch**  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: GE42093  
MASER CONSULTING, INC.  
N.J. C.O.A. #: 2462786600

**USE VARIANCE AND PRELIMINARY AND FINAL MAJOR SITE PLAN FOR EPIC CHURCH**

BLOCK 257  
LOT 3.06  
TAX MAP SHEET 91

BOROUGH OF SAYREVILLE  
MIDDLESEX COUNTY  
NEW JERSEY

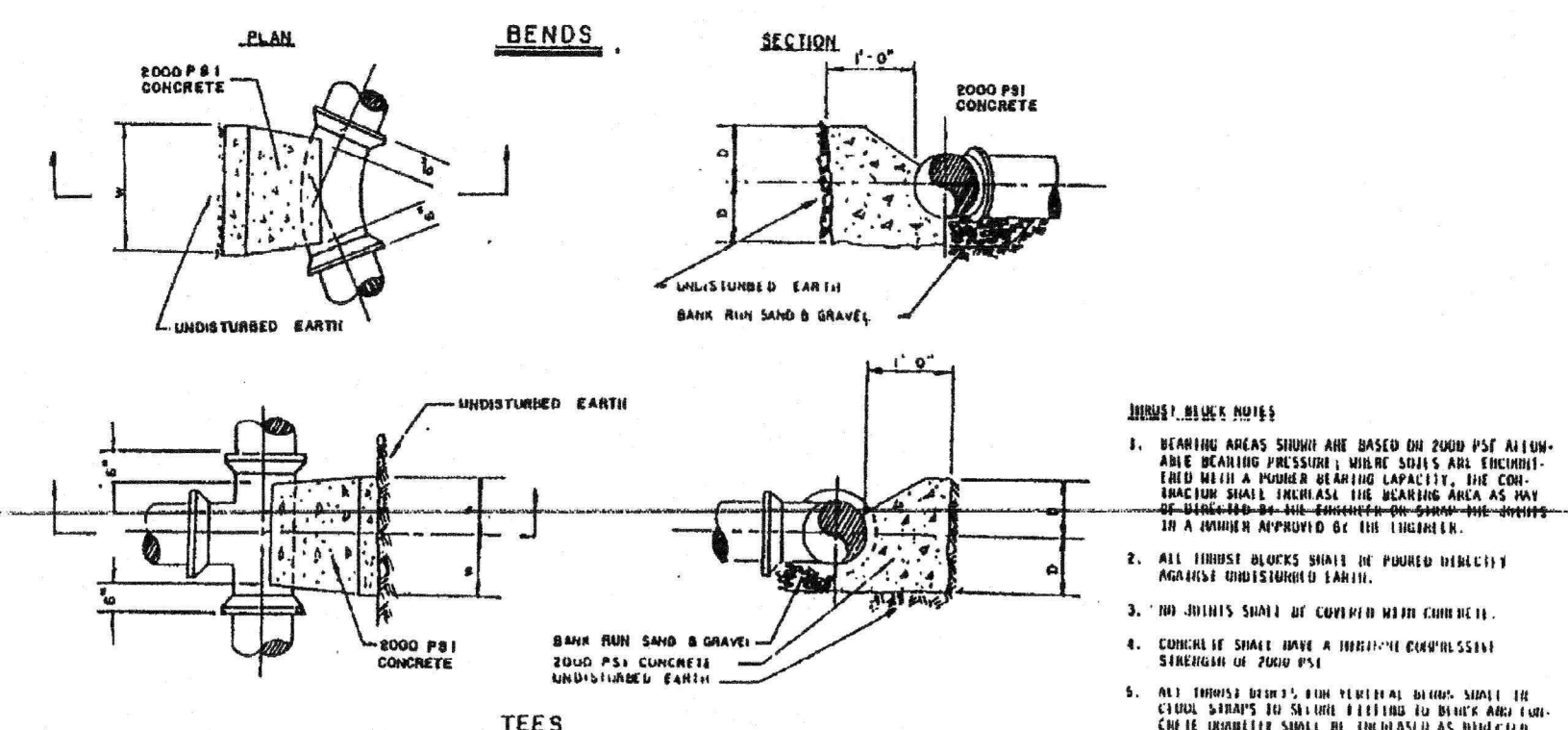
**RED BANK OFFICE**  
Corporate Headquarters  
331 Newnam Springs Road  
Red Bank, NJ 07071  
Phone: 732.383.1950  
Fax: 732.383.1994

SCALE: AS SHOWN  
DATE: 11/13/2021  
PROJECT NUMBER: 050005097  
DRAWING NAME: C-DTL5-CHURCH

DRAWN BY: RM  
CHECKED BY: DB

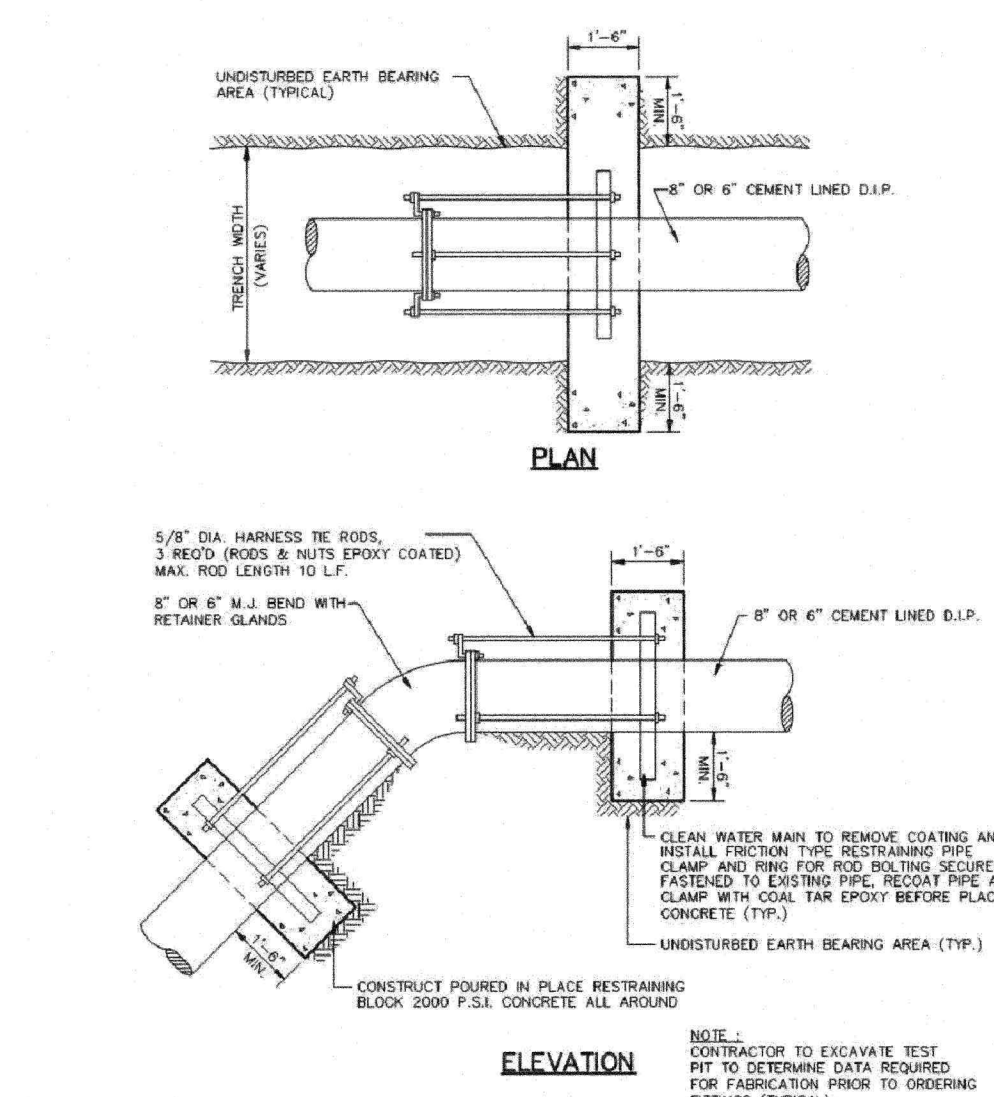
SHEET TITLE: PROFILES AND CONSTRUCTION DETAILS

SHEET NUMBER: 11 of 12

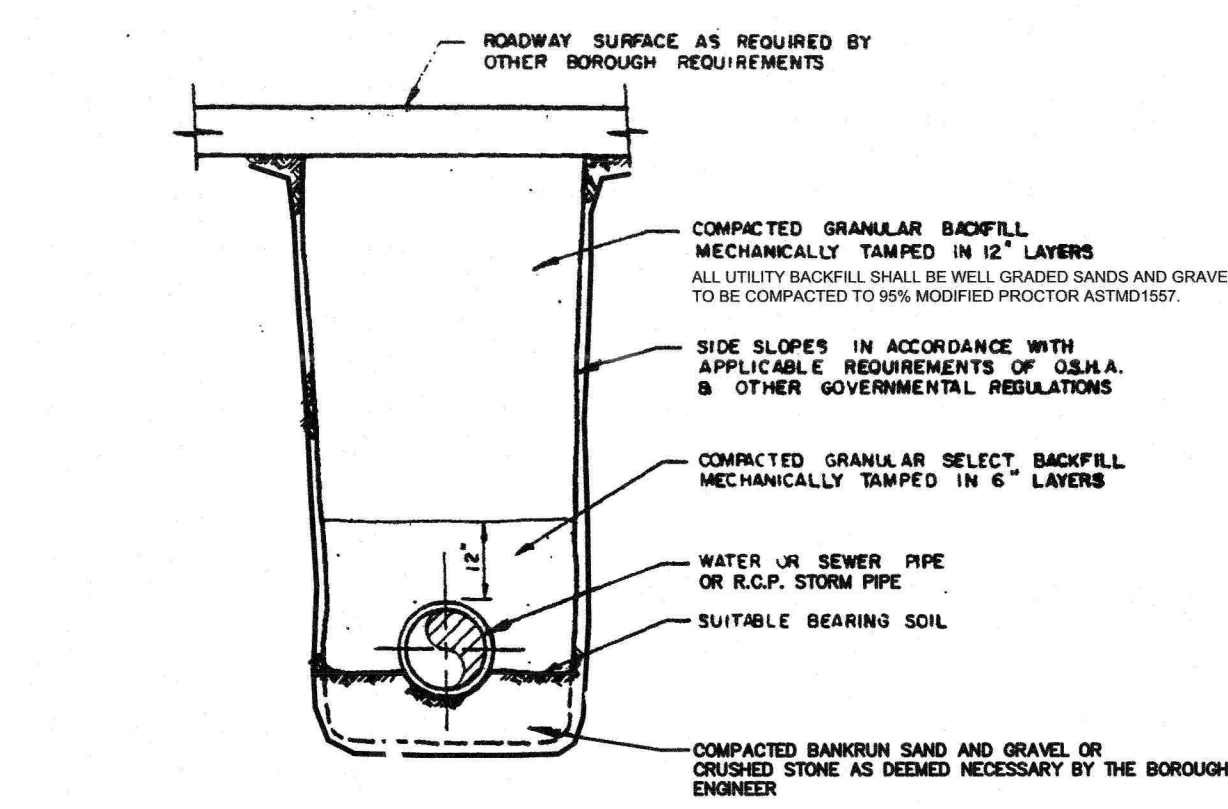


DESCRIPTION OF FITTING	NUMBER OF FITTINGS	THRUST BLOCK SCHEDULE	
		MIN. LENGTH (INCHES)	MIN. AREA (SQ. INCHES)
TEES	1	1.5	1.5
90° BENDS	1	1.5	1.5
45° BENDS	1	1.5	1.5
22 1/2° BENDS	1	1.5	1.5
11 1/4° BENDS	1	1.5	1.5
CAPS	1	1.5	1.5

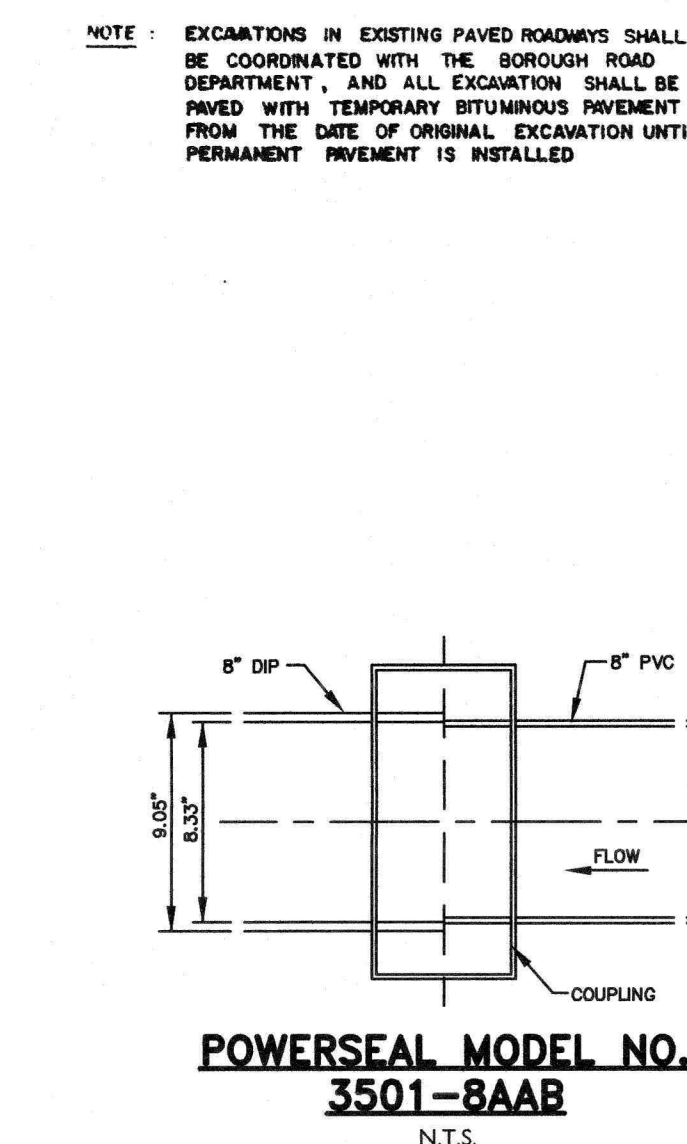
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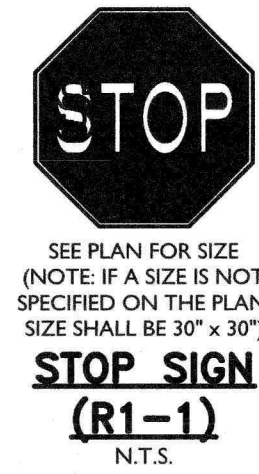
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**BOROUGH OF SAYREVILLE  
STANDARD DETAIL  
TYPICAL PIPE BEDDING**  
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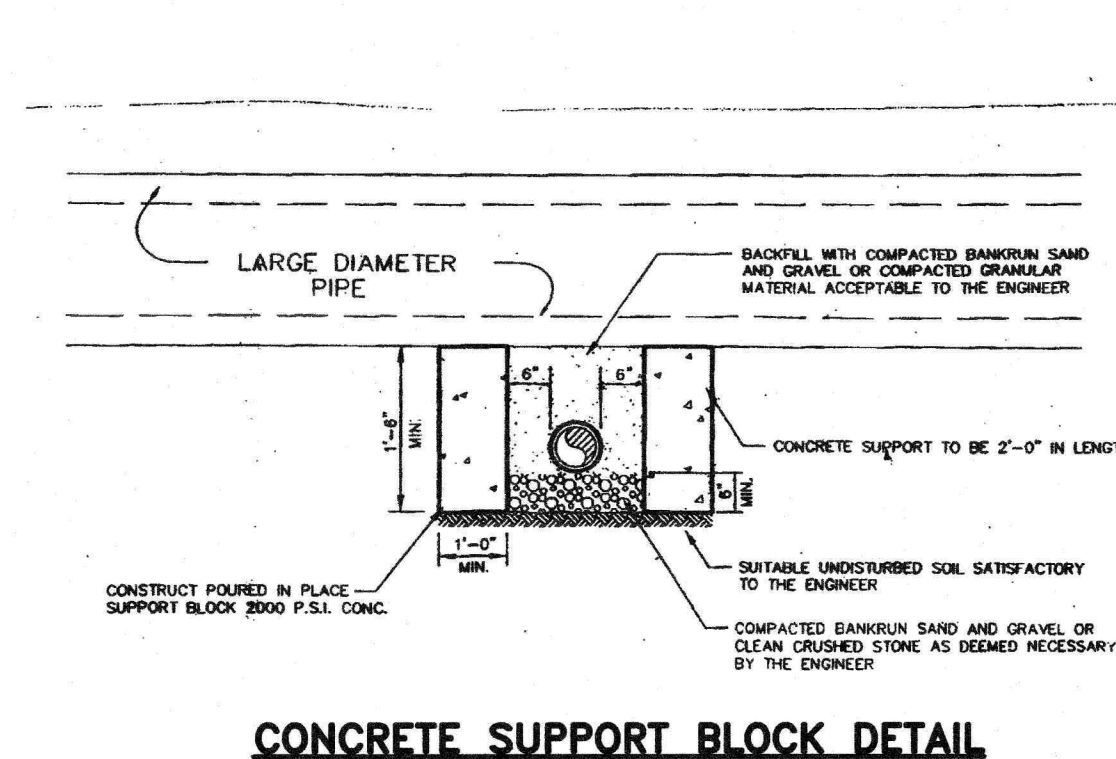
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3501-BAAB**  
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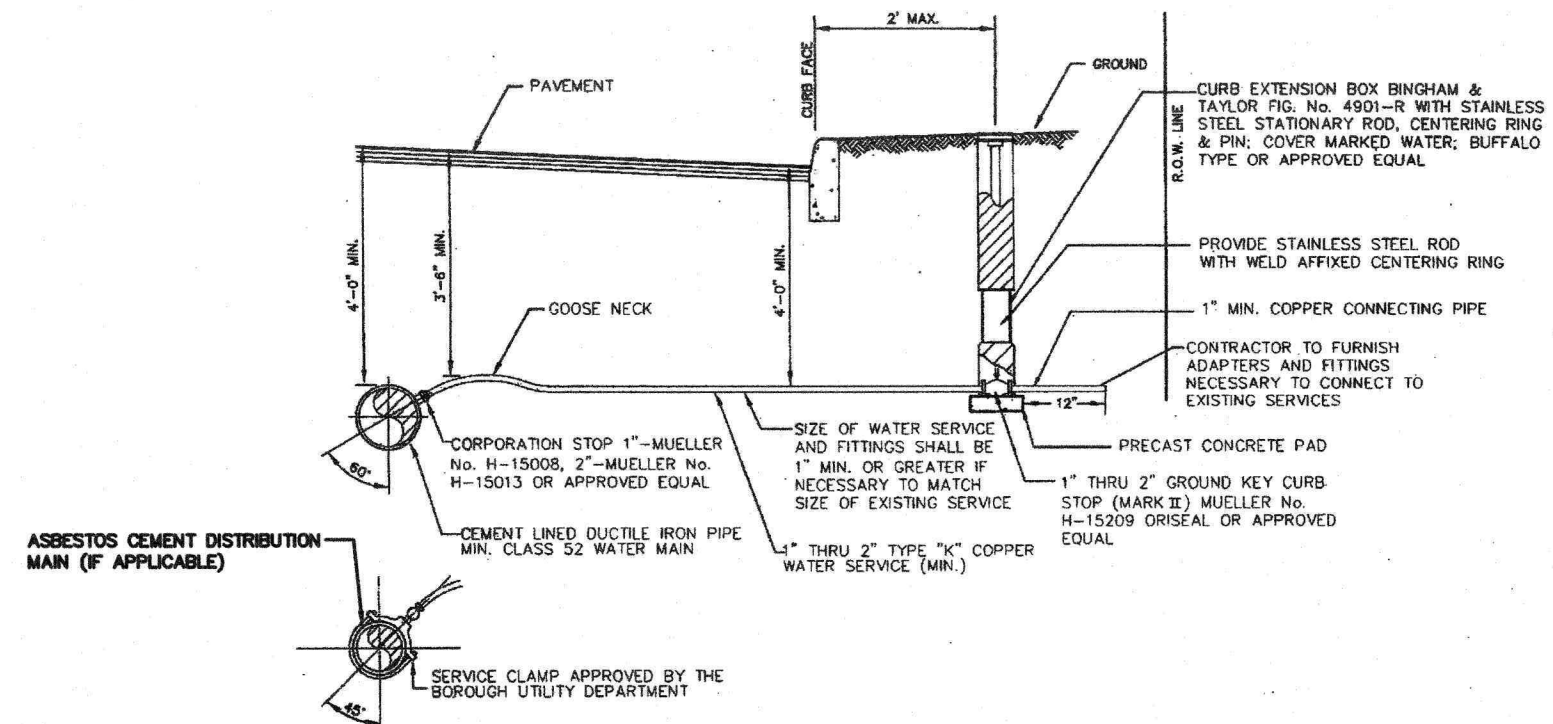
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(R1-1)**  
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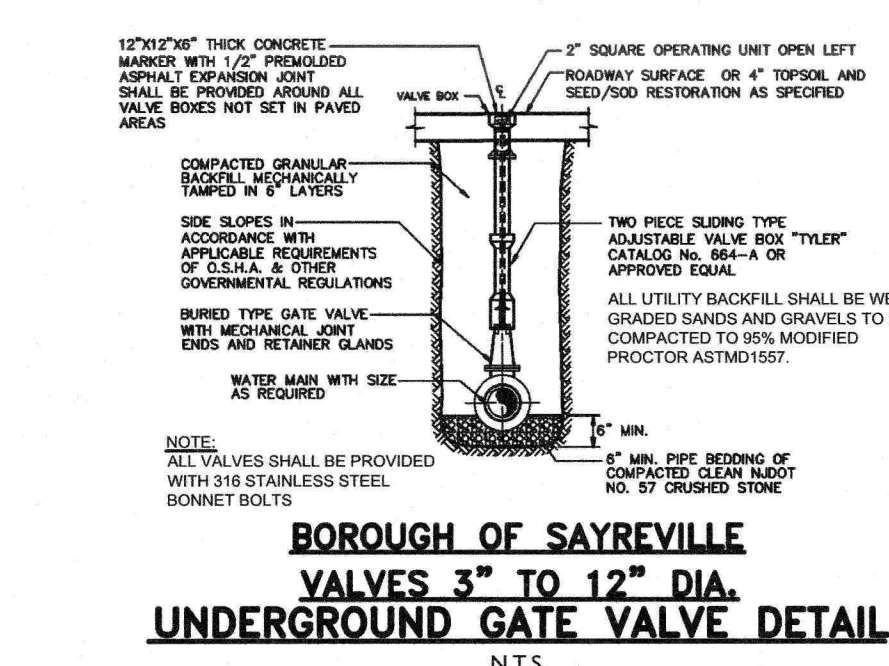
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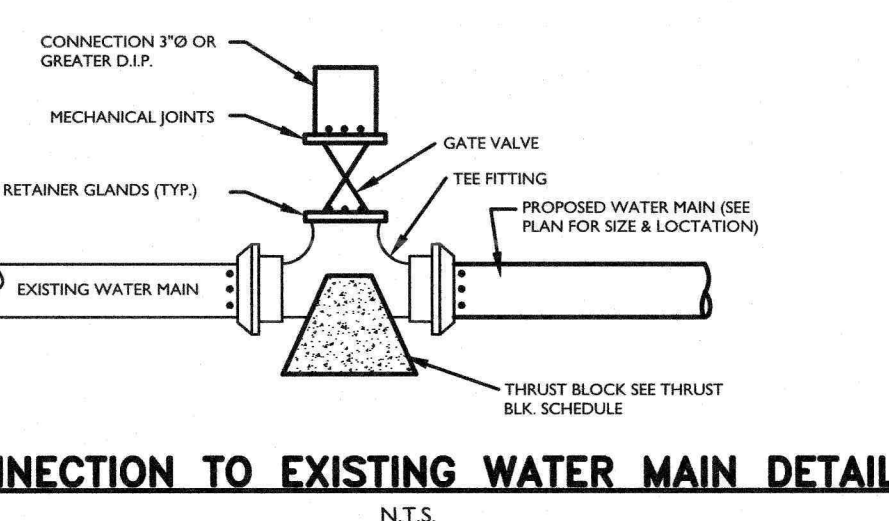
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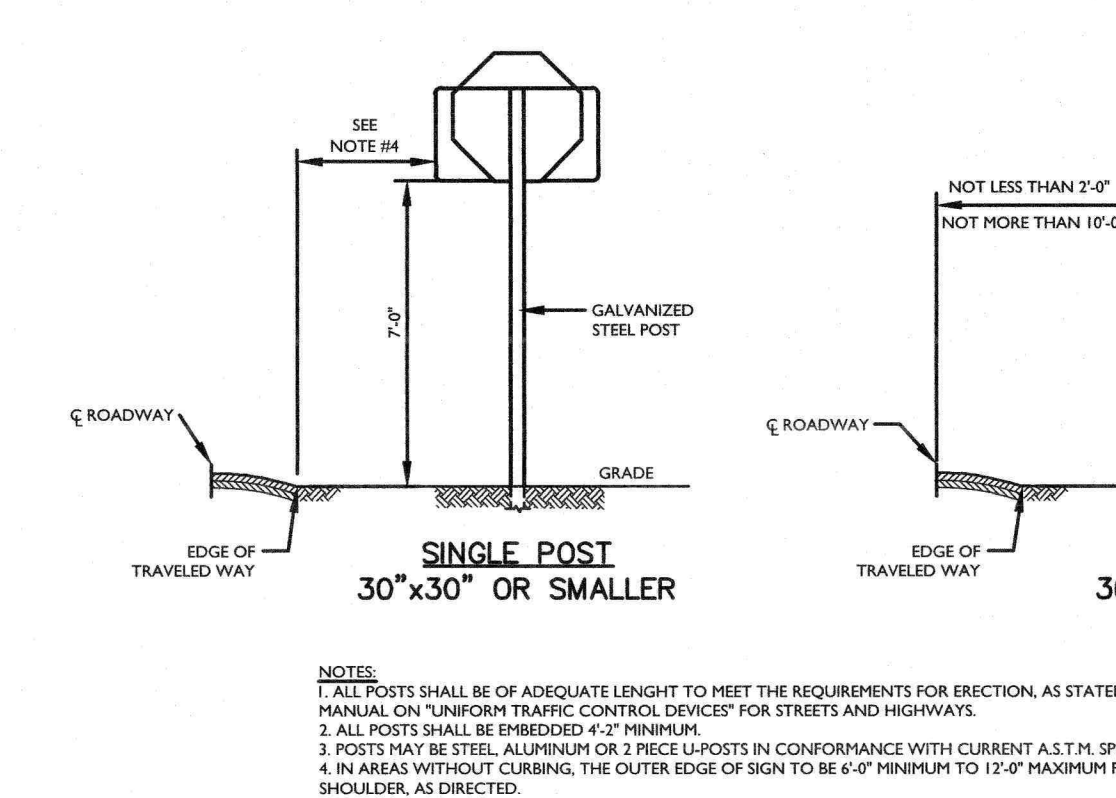
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WATER SERVICE CONNECTION**  
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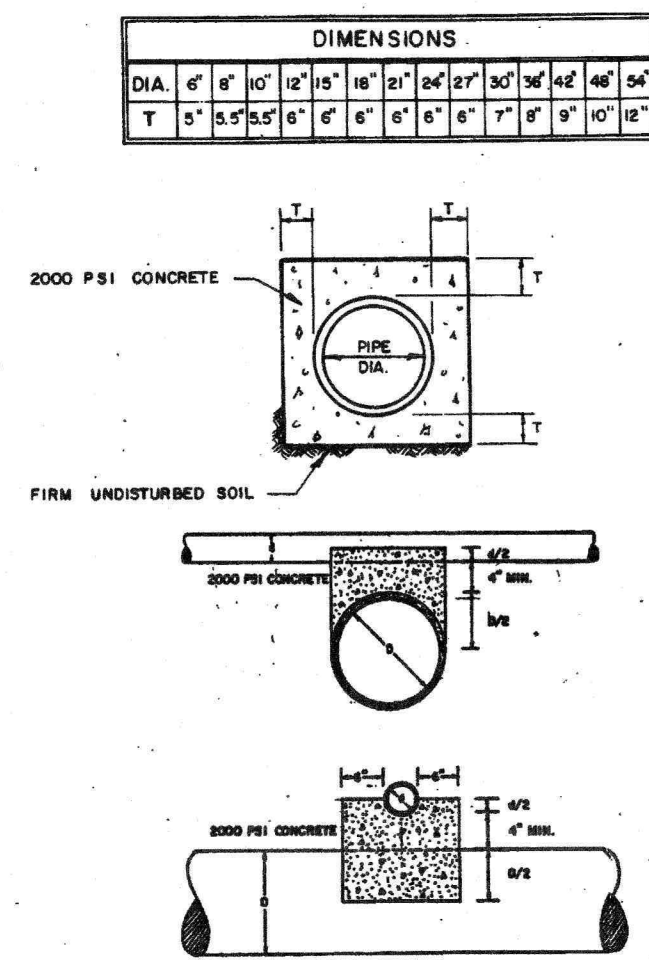
**BOROUGH OF SAYREVILLE  
VALVES 3" TO 12" DIA.  
UNDERGROUND GATE VALVE DETAIL**  
N.T.S.



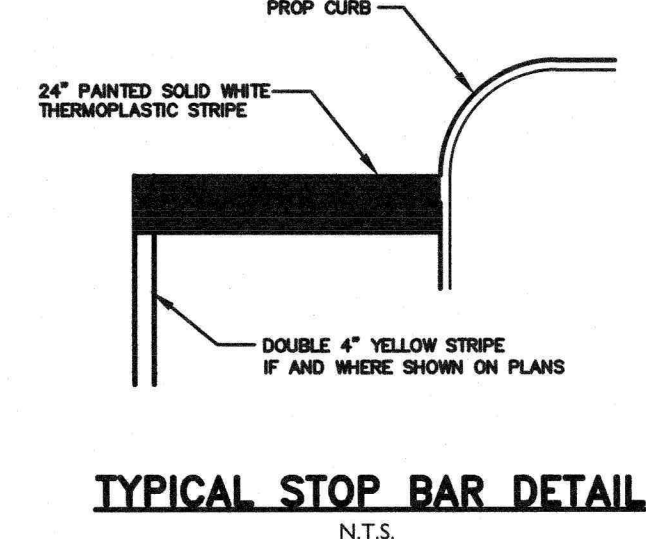
**CONNECTION TO EXISTING WATER MAIN DETAIL**  
N.T.S.



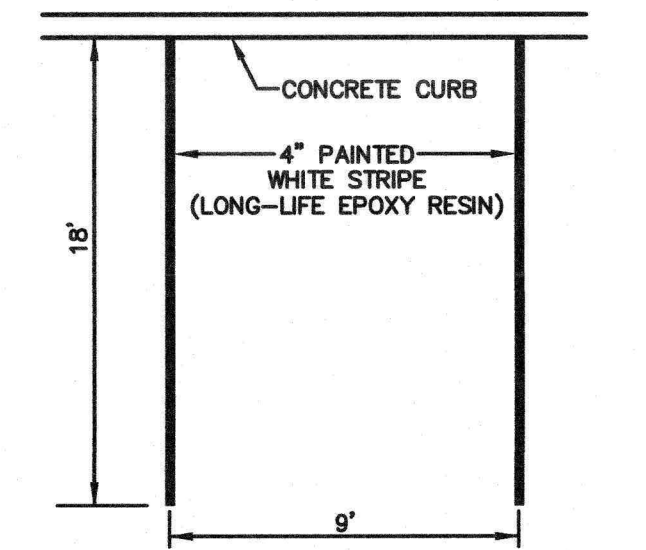
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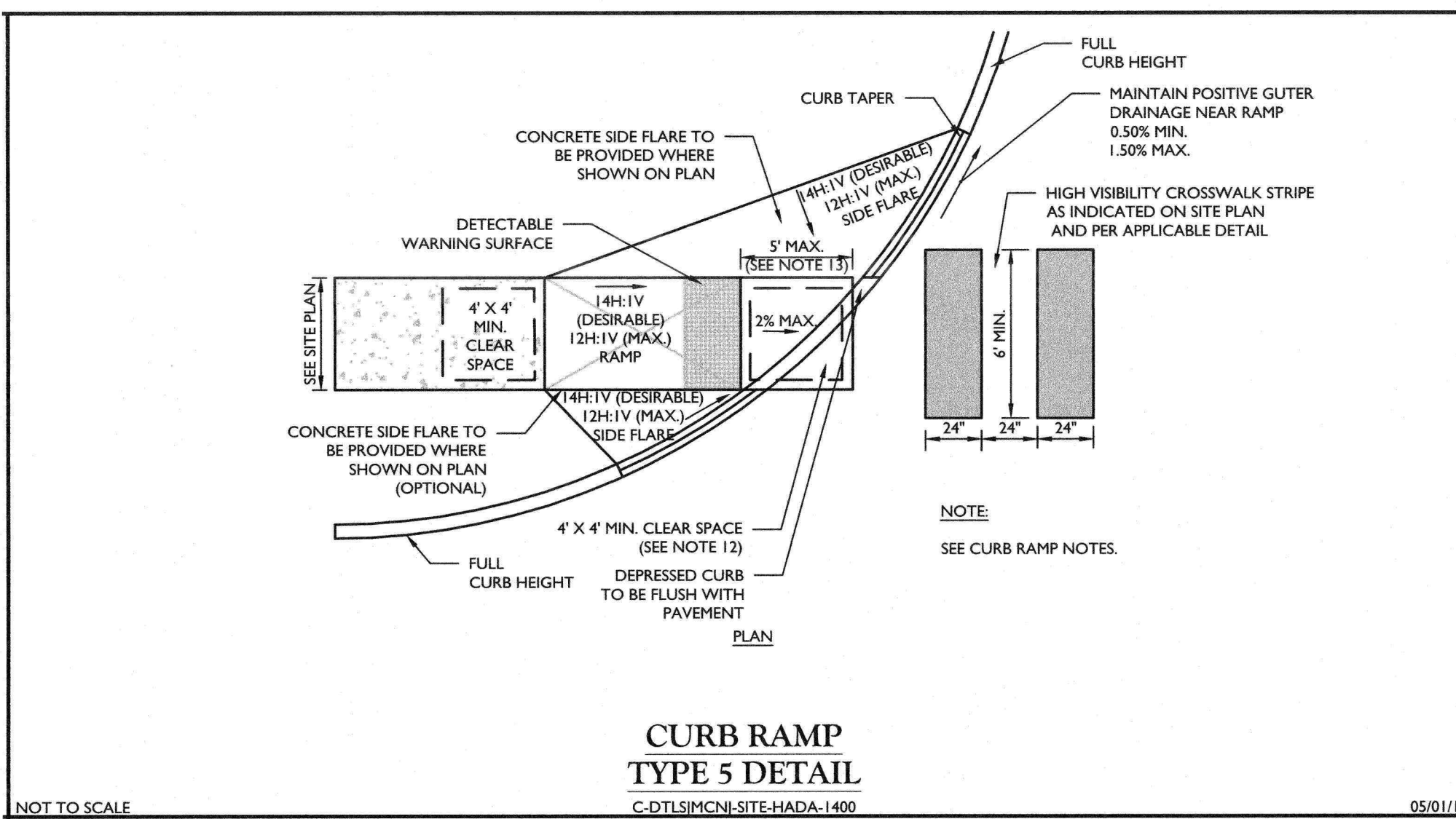
**BOROUGH OF SAYREVILLE  
STANDARD DETAIL  
CONCRETE ENCASEMENT & CRADLE**  
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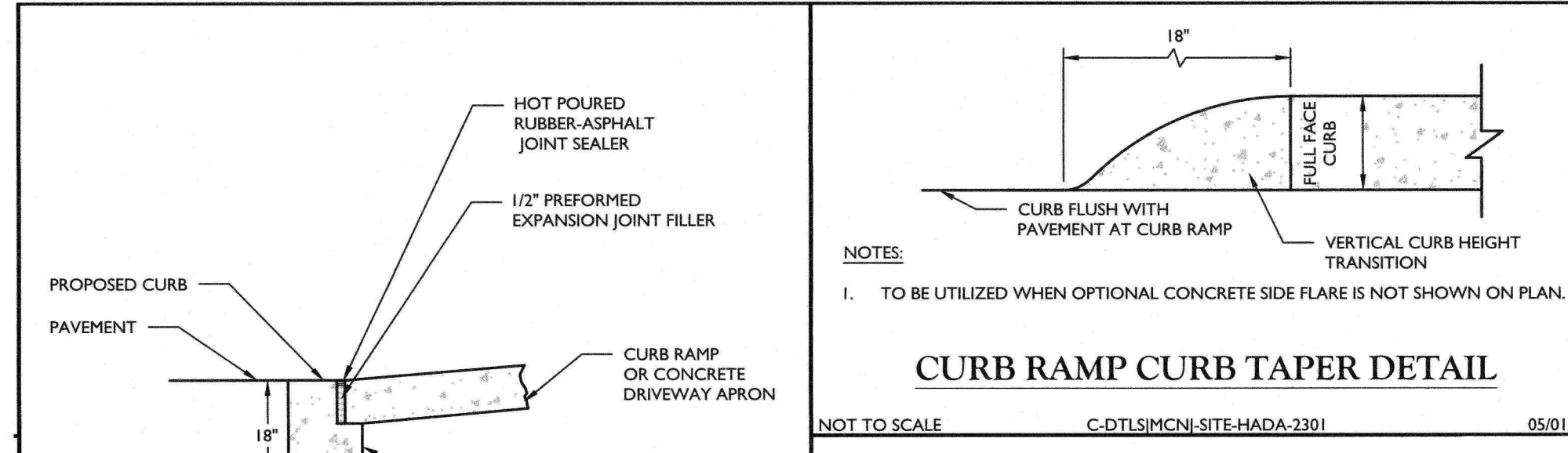
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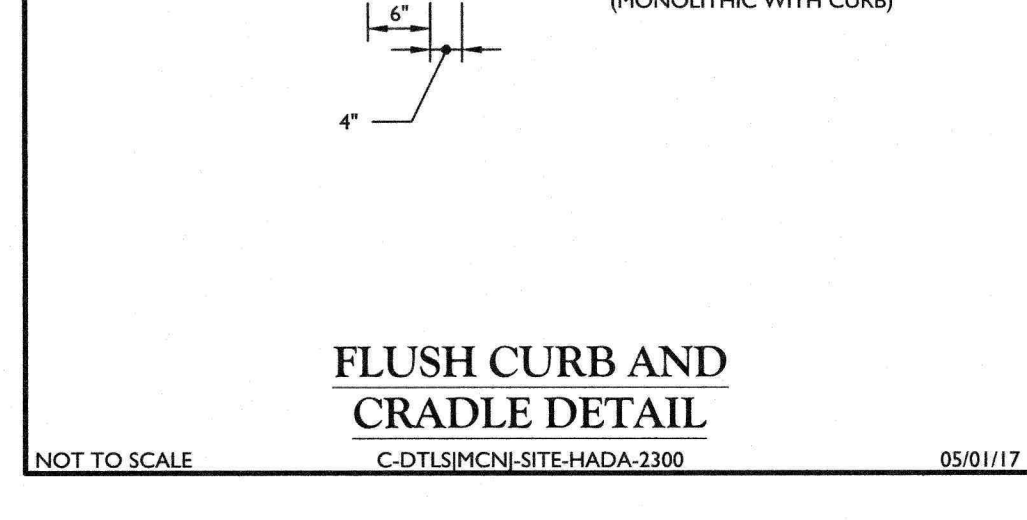
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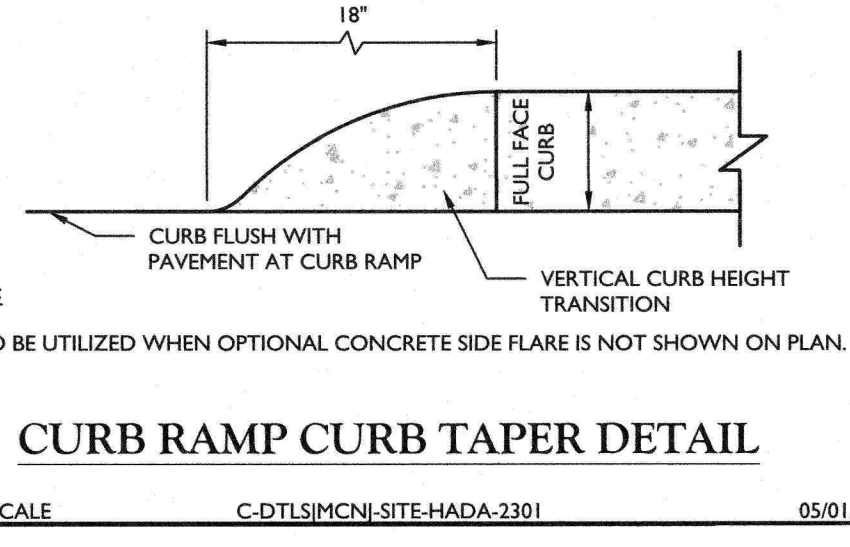
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TYPE 5 DETAIL**  
C-DTL5MCHN-SITE-HADA-1400  
05/01/17



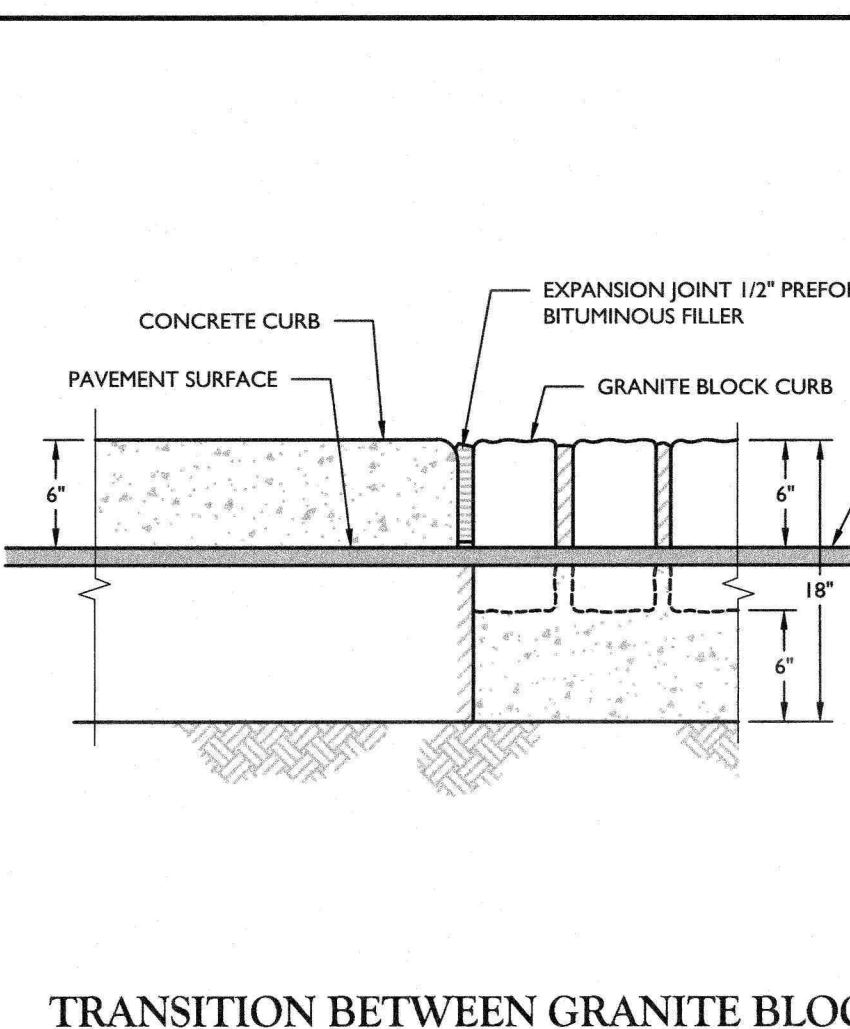
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05/01/17



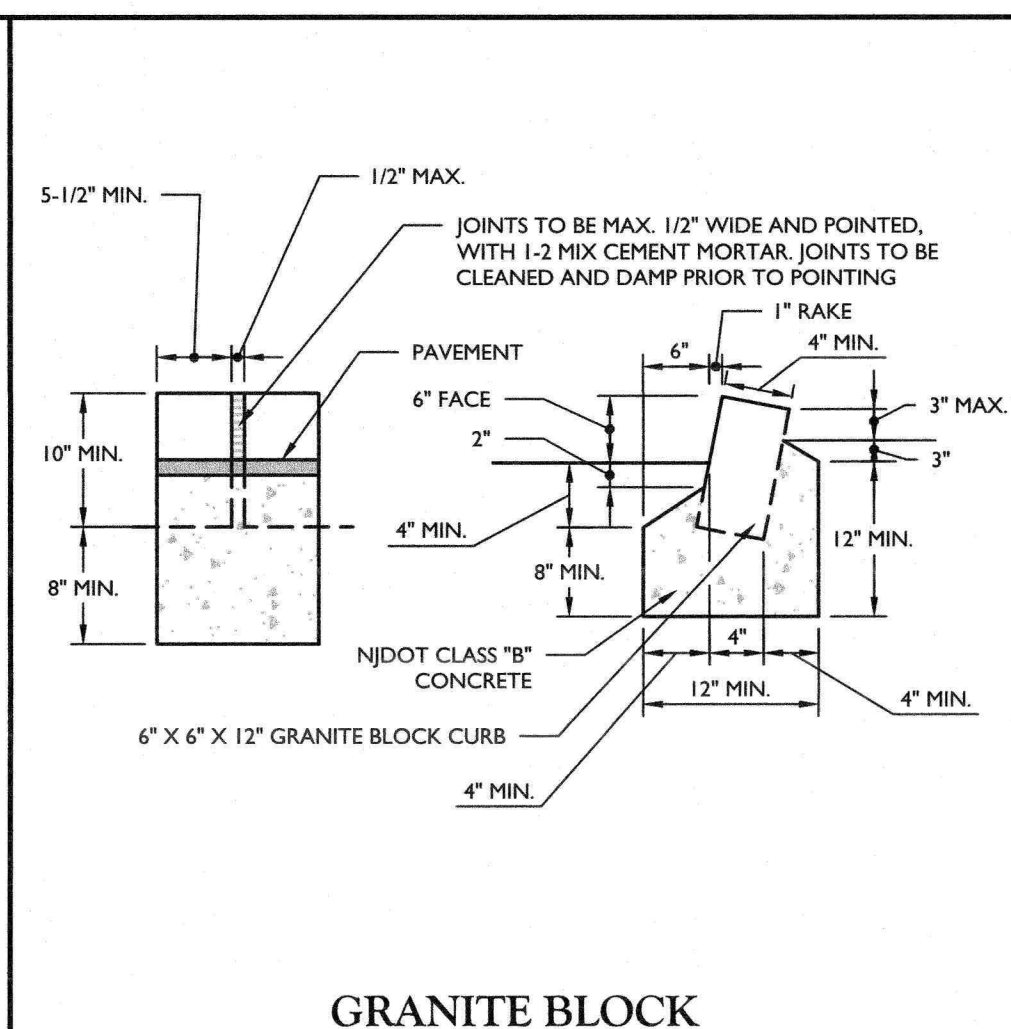
**FLUSH CURB AND  
CRADLE DETAIL**  
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C-DTL5MCHN-SITE-HADA-2300  
05/01/17



**CURB RAMP  
NOTES**  
C-DTL5MCHN-SITE-HADA-2300  
05/01/17



**TRANSITION BETWEEN GRANITE BLOCK  
& CONCRETE DETAIL**  
NOT TO SCALE  
MCHN-SITE-CURB-1900  
05/01/17



**GRANITE BLOCK  
CURB DETAIL**  
NOT TO SCALE  
MCHN-SITE-CURB-1200  
02/01/19

**ADA INSTRUCTIONS TO CONTRACTOR**

C-DTL5MCHN-SITE-HADA-2400 07/01/20

- NOTES:**
- CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA STANDARDS COMPONENTS FOR THE SITEPROJECT. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN AND CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE LATEST FEDERAL PROPOSED "ASSESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY" (PROPOSED).
  - FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCES/EGRESS, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS AND ANY SUPPLEMENTAL STATE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:  
(NOTE THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN):  
A. PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1:48 (0.4% PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION.  
B. CURB RAMP SLOPES MUST NOT EXCEED 1:12 (8.3%).  
C. LANDINGS  
I. LANDINGS AT CURB RAMPS - MUST BE 4 FT. MIN. X 4 FT. MIN. AND ARE TO BE INCREASED TO 5 FEET WHERE THE LANDING SPACE (TURNING SPACE) IS CONSTRAINED AT THE BACK OF THE SIDEWALK.  
II. LANDINGS AT RAMPS - MUST BE 5 FT. MIN. IN THE DIRECTION OF TRAVEL AND BE PROVIDED AT EACH END OF THE RAMP. MUST PROVIDE POSITIVE DRAINAGE (1/8" MIN.) AND MUST NOT EXCEED 1:48 (0.4% PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION. WHEN LANDING IS ALSO A TURNING SPACE, IT MUST BE A MINIMUM 5 FT. X 5 FT.  
III. LANDINGS AT DOORWAYS - SEE NOTE F BELOW.  
D. PATH OF TRAVEL ALONG ON-SITE ACCESSIBLE ROUTE - MUST PROVIDE A 36 INCH (EXCLUDING THE CURB) OR GREATER UNCONSTRICTED WIDTH OF TRAVEL (CAR OVERHANGS MUST NOT REDUCE THIS MINIMUM WIDTH). IN A PUBLIC RIGHT-OF-WAY, THE MINIMUM WIDTH EXCLUDING THE CURB IS 4 FT. THE SLOPE MUST BE NO GREATER THAN 1:30 (0.3%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:48 (0.4% PER FOOT OR NORMALLY 2.0%) IN CROSS SLOPE.  
E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 130 (0.9%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 30 INCHES, MUST BE PROVIDED. THE RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 36 INCHES. HAVE ADA HAND RAILS AND LANDINGS (MIN. 5 FT. LONG IN THE DIRECTION OF TRAVEL) ON EACH END THAT ARE SLOPED A MIN. 1/4% AND NO MORE THAN 1:48 (0.4% PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE.  
F. EXTERIOR DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (0.4% PER FOOT OR NORMALLY 2.0%) FOR A MAXIMUM RISE OF 30 INCHES. CLEAR WIDTH OF 36 INCHES. HAVE ADA HAND RAILS AND LANDINGS (MIN. 5 FT. LONG IN THE DIRECTION OF TRAVEL) ON EACH END THAT ARE SLOPED A MIN. 1/4% AND NO MORE THAN 1:48 (0.4% PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE.
  - IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL, INCLUDING WHETHER OR NOT FALL PROTECTION IS REQUIRED.
  - IT IS RECOMMENDED THAT THE CONTRACTOR CHECK THE SLOPE OF FORMWORK FOR COMPLIANCE WITH ADA STANDARDS PRIOR TO POURING CONCRETE.

- NOTES:**
- CONTRACTOR SHALL PREPARE SHOP DRAWINGS OF EACH CURB RAMP FOR SUBMISSION AND APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
  - LANDING AREA, APPROACH SIDEWALK TRANSITIONS AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTION.
  - CURB AT RAMP OPENING (FLUSH CURB) TO BE FLUSH WITH ROADWAY PAVEMENT.
  - CROSSWALKS AND PAVEMENT MARKINGS TO BE INSTALLED AS DENOTED ON SITE PLAN.
  - MAXIMUM RAMP SLOPE MAY BE 1:20 UPON APPROVAL OF ENGINEER. RAMP SLOPES SHOWN ARE THE PREFERRED SLOPE. SIDE FLARE SLOPES MAY BE 1:8 UPON APPROVAL OF THE ENGINEER.
  - MINIMUM RAMP CROSS-SLOPE SHALL BE 0.50%. THE MAXIMUM RAMP CROSS-SLOPE MAY BE 1:30 UPON APPROVAL OF THE ENGINEER. CROSS-SLOPES SHOWN IN THE DETAILS ARE THE PREFERRED SLOPES TO MAINTAIN A LEVEL OF CONSTRUCTION TOLERANCE.
  - ACCESSIBLE RAMPS SHALL BE INSTALLED PURSUANT WITH THE CURRENT UNITED STATES ACCESS BOARD ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES AND THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND OTHER APPLICABLE LOCAL AND STATE STANDARDS IN EFFECT AT THE DATE OF CONSTRUCTION.
  - DEVIATIONS FROM THE CURB RAMP DETAILS REQUIRE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
  - THE RAMP SURFACE SHALL HAVE A NON-SLIP, HAND BROOMED FINISH.
  - CONCRETE EXPANSION JOINTS SHALL HAVE A FIRM SURFACE WITH 1/4" BEVELED CONCRETE EDGES. THE JOINT SURFACE SHALL NOT BE MORE THAN 1/4" BELOW THE ADJOINING CONCRETE SURFACE.
  - CURB RAMP MUST BE WHOLLY CONTAINED WITHIN THE CROSSWALK CROSSING.
  - THE CLEAR SPACE SHALL BE INCREASED TO 5 FEET WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF THE SIDEWALK.
  - THE MAXIMUM SEPARATION BETWEEN THE BACK OF CURB AND DETECTABLE WARNING SURFACE SHALL NOT EXCEED 5 FEET. THE MAXIMUM SEPARATION AREA MAY BE WITHIN THE 4' X 4' CLEAR SPACE.
  - SEE SEPARATE DETAILS FOR "DETECTABLE WARNING SURFACE" AND "CURB RAMP SECTIONS".
  - WHERE SIDE FLARES ARE NOT REQUIRED, PROVIDE AN 18" CURB TAPER TO THE FLUSH CURB.
  - ALL CURB RAMP FLUSH CURB SHALL BE MADE WITH CONCRETE CURB CRADLE, REGARDLESS OF THE CURB MATERIAL USED THROUGHOUT THE SITE.

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REV	DATE	DRAWN BY	DESCRIPTION
1	05/01/17	RM	ISSUED FOR CONSTRUCTION PER REVIEW LETTER DATED 03/02/17

**Daniel W. Busch**  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: GE40993  
MASER CONSULTING, INC.  
NJ, C.O.A. #: 34624798650

**USE VARIANCE AND  
PRELIMINARY AND FINAL  
MAJOR SITE PLAN  
FOR  
EPIC CHURCH**  
BLOCK 257  
LOT 3.06  
TAX MAP SHEET 91  
BOROUGH OF SAYREVILLE  
MIDDLESEX COUNTY  
NEW JERSEY

**RED BANK OFFICE**  
Corporate Headquarters  
331 Newnam Springs Road  
Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950  
Fax: 732.383.1984

SCALE: DATE: 1/13/2021 DRAWN BY: CHECKED BY:  
AS SHOWN: RM DB  
PROJECT NUMBER: DRAWING NAME:  
09000000 C-DTL5-CHURCH