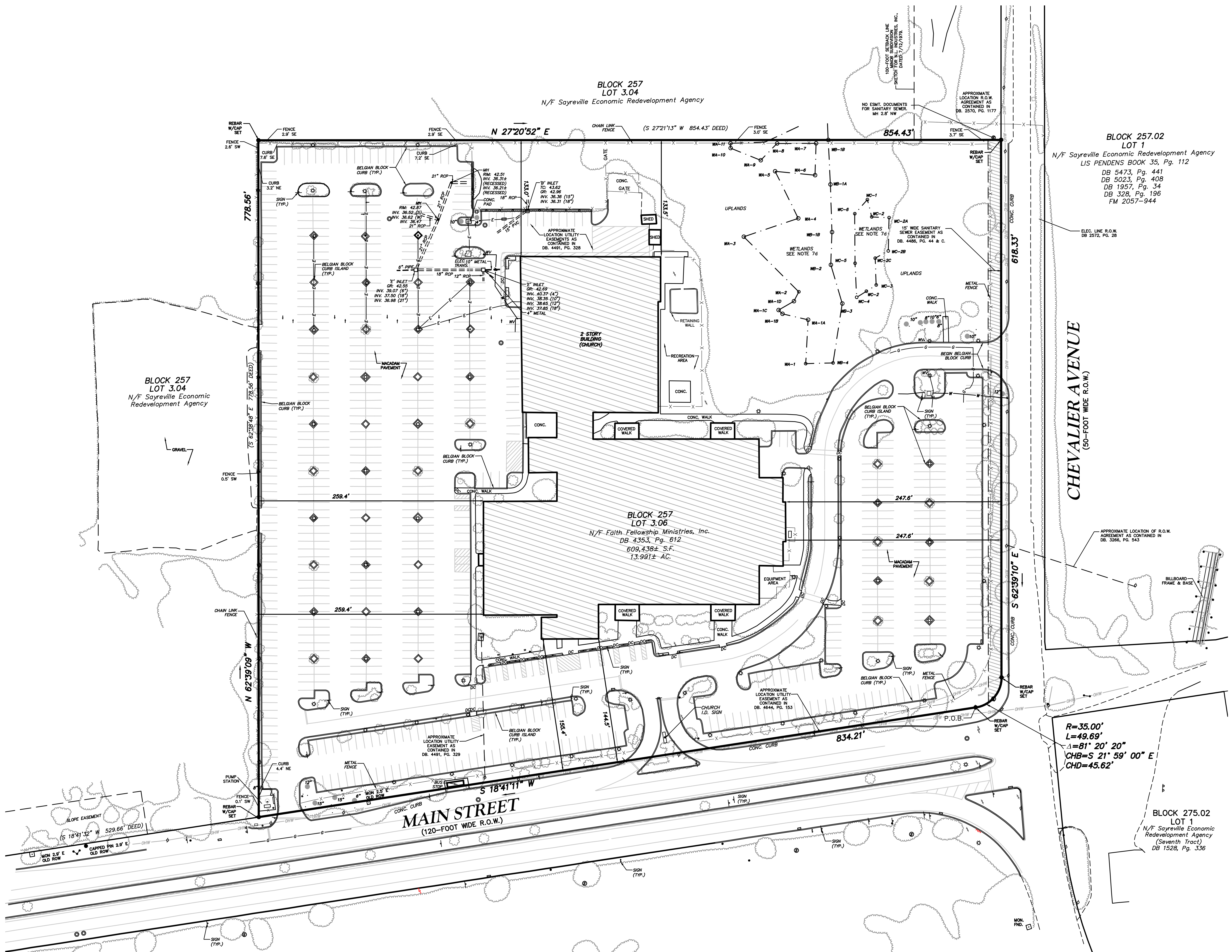


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INFORMATION OF FACT

1. THIS SURVEY AND PLAN IS BASED UPON THE FOLLOWING DATA AND/OR EXCEPTIONS:
- | | YES | NO | ITEM |
|-------------------------|-----|----|--|
| a) DEED OF RECORD | X | | DB 4153, Pg. 612 |
| b) FILED MAP | X | | N/A |
| c) TITLE SEARCH BINDER | X | | CHICAGO TITLE INSURANCE COMPANY
COMBINATION NUMBER 30911, DATED JULY 28, 2016 |
| d) TAX MAP | X | | SHEET 91 |
| e) OTHER SEE REFERENCES | X | | SEE NOTE 7 |
2. CERTIFIED TO:
 FAITH FELLOWSHIP MINISTRIES, INCORPORATED
 INVESTORS BANK, in succession and/or assigns
 CHICAGO TITLE INSURANCE COMPANY
 ACRES LAND TITLE AGENCY, INC.
3. THIS IS TO CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP OR PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED ON JULY 26, 2016 BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS FORMULATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS. THE INFORMATION EXPRESSED HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR ASSESSMENTS, IF ANY, BELOW THE SURFACE, AND NOT VISIBLE. ACCORDINGLY, THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES, IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED BY ANY DOCUMENTED DATA LISTED ABOVE.
4. THIS PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSES STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED PROFESSIONAL IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS PLAN BEYOND ITS INTENDED PURPOSE.
5. THE USE OF THE WORDS "CERTIFY" OR "VERIFY" CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION, AND BELIEF, AND IN ACCORDANCE WITH THE COMMONLY ACCEPTED PRACTICES AND STANDARDS OF THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.
6. PROPERTY REFERENCE BEING KNOWN AND DESIGNATED AS BLOCK 257 LOT 1.06 AS SHOWN ON THE CURRENT TAX ASSESSMENT MAPS FOR THE BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY NEW JERSEY SHEET NO. 91.
7. MAP & DOCUMENT REFERENCES:
 a. A MAP ENTITLED "ALTIMETER SURVEY OF LOTS 1, 1.01, 4, 5, & 6 BLOCK 257.01, LOT 1 BLOCK 257.02, LOT 1 BLOCK 257.03, AND LOT 3.04, BLOCK 257 PREPARED FOR SAYREVILLE ECONOMIC REDEVELOPMENT AGENCY SITUATED IN SAYREVILLE BOROUGH, MIDDLESEX COUNTY, NEW JERSEY" PREPARED BY CME ASSOCIATES DATED OCTOBER 9, 2008.
 b. A MAP ENTITLED "BOROUGH OF SAYREVILLE MIDDLESEX COUNTY, NEW JERSEY, MAIN STREET EXTENSION GENERAL R.O.W. ACQUISITION MAP" PREPARED BY CME ASSOCIATES, DATED APRIL 1989.
 c. A MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF BLOCK 257, LOT 1.01, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY, PREPARED BY WILLIAM M. KURTZ, DATED DECEMBER 3, 1991.
 d. A MAP ENTITLED "WETLANDS DELINEATION PLAN FOR FAITH FELLOWSHIP MINISTRIES, INC., BLOCK 257, LOT 1.06 TAX MAP SHEET 91, SITUATED IN BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY" PREPARED BY MASER CONSULTING P.A. DATED JANUARY 26, 2012.
 e. PLANIMETRIC FEATURES TAKEN FROM PHOTOCGRAMMETRIC MAPPING COMPILED AND STEREO PLOTTED BY COVER AERIAL SURVEY CO. BASED ON AERIAL PHOTOCOPIERS DATED JUNE 5, 2016. HORIZONTAL AND VERTICAL CONTROL FIELD SURVEY MADE BY MASER CONSULTING P.A. OF PHOTO IDENTIFIABLE PHYSICAL FEATURES. THE PHYSICAL DATA IS RELATIVE TO NAD 83. SUPPLEMENTAL FIELD LOCATIONS PERFORMED BY MASER CONSULTING P.A. ON JUNE 16, 2016.
 f. EXCEPTIONS SCHEDULE B/D.
8. ROAD GRANT AS CONTAINED IN DEED BOOK 1066, PAGE 393 TO THE BOROUGH OF SAYREVILLE. (SEE RELEVANT GRANTS)
9. UTILITY GRANT AS CONTAINED IN DEED BOOK 2470, PAGE 107; DEED BOOK 3572, PAGE 28; DEED BOOK 266, PAGE 83; DEED BOOK 1358, PAGE 76; DEED BOOK 338, PAGE 166; DEED BOOK 4491, PAGE 328; DEED BOOK 4644, PAGE 153 AND DEED BOOK 4667, PAGE 279.
10. DRAINAGE EASEMENT AS CONTAINED IN DEED BOOK 4443, PAGE 303 AND DECLARATION OF TAKING DEED BOOK 443, PAGE 461, (NOT PLOTTABLE).
11. SANITARY SEWER EASEMENT AS CONTAINED IN DEED BOOK 4486, PAGE 44, (PLOTTED)
12. RESERVATION AS CONTAINED IN DEED BOOK 4153, PAGE 612, (NOT PLOTTABLE)
13. ORDINANCE NO. 12590, ADOPTED 6/15/88, PROVIDING THE ELEVATION ASSESSMENT OF THE SUBJECT LANDS FOR "MAIN STREET" EXTENSION, (NOT PLOTTABLE).
14. TOXIC WASTES: THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OR NON-EXISTENCE OF TOXIC WASTES THEREON. IT SHOULD NOT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF TOXIC WASTES IS PORTRAYED HEREON. IT IS IN THE BEST INTEREST OF THE CLIENT TO PURSUE THESE MATTERS AS A SEPARATE CONCERN APART FROM THIS SURVEY.
15. CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.



LEGEND

—+—+—+—	TRAILERSE LINE CENTER	○	WETLAND MARKER
—+—+—+—	LINE OF BASELINE	○	TREE
—+—+—+—	RIGHT OF WAY LINE	○	ROADWAY SIGNS
—+—+—+—	PROPERTY LINE	○	TRAFFIC FLOW
—+—+—+—	EDGE OF PAVEMENT	○	MAILBOX
—+—+—+—	DEPRESSED CURB	○	TRAFFIC SIGNAL POLE
—+—+—+—	CHAIN FENCE	○	POLE MOUNTED LIGHT
—+—+—+—	WETLAND LINE	○	UTILITY POLE
—+—+—+—	MUNICIPAL BOUNDARY	○	GLY INSE
—+—+—+—	TREELINE	○	TRANSFORMER
—+—+—+—	ELECTRICAL MANHOLE	○	FIRE DEPT. CONNECTION
—+—+—+—	WATER MANHOLE	○	FIRE HYDRANT
—+—+—+—	TELEPHONE MANHOLE	○	WATER VALVE
—+—+—+—	UNMARKED MANHOLE	○	GAS VALVE
—+—+—+—	SANITARY MANHOLE	○	SANITARY CLEANDOUT
—+—+—+—	DRAINAGE MANHOLE	○	CONCRETE MONUMENT
—+—+—+—	MAJOR CONTOUR	○	CAPPED REBAR/IRON PIPE
—+—+—+—	MINOR CONTOUR	○	STORM INLET TYPE 'A'
—+—+—+—	SPOT ELEVATION	○	STORM INLET TYPE 'B'
—+—+—+—	TOP OF CURB ELEV.	○	STORM INLET TYPE 'C'
—+—+—+—	BOTTOM OF CURB ELEV.	○	STORM INLET TYPE 'E'
—+—+—+—	U/G CABLE TV LINE	○	FLARED END SECTION
—+—+—+—	U/G FIBER OPTIC LINE	○	HEADWALL
—+—+—+—	U/G TELEPHONE LINE	○	
—+—+—+—	U/G ELECTRIC LINE	○	
—+—+—+—	OVERHEAD WIRE	○	
—+—+—+—	WATER MAIN	○	
—+—+—+—	GAS MAIN	○	
—+—+—+—	SAN. SEWER LATERAL	○	
—+—+—+—	SAN. SEWER MAIN	○	
—+—+—+—	STORM PIPE	○	

ABBREVIATIONS

D.C.	DEPRESSED CURB	FF	FINISH FLOOR	M.H.R.	MEAN HIGH WATERLINE
B.C.	BOTTOM OF CURB	UV	UNKNOWN VALVE	M.L.W.	MEAN LOW WATERLINE
T.C.	TOP OF CURB	M.V.	MANHOLE	M.L.W.	MEAN LOW WATERLINE
B.O.L.	BOLLARD	D.P.	DEPRESSED	W.A.T.	WATERLINE
G.	GATE	C.L.	CENTERLINE	T.W.	TOP OF WALL
M.B.	MAILBOX	P.M.	PARKING METER	B.W.	BOTTOM WALL

Glen J. Lloyd
 NEW JERSEY LICENSED PROFESSIONAL LAND SURVEYOR
 LICENSE NUMBER: G33798
 MASER CONSULTING, INC.
 N.J. C.O.A. # 046278660

BOUNDARY SURVEY
 FOR
EPIC CHURCH INTERNATIONAL, INC.

BLOCK 257
 LOT 3.06
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY
 NEW JERSEY

RED BANK OFFICE
 Corporate Headquarters
 331 Newman Springs Road
 Suite 203
 Red Bank, NJ 07701
 Phone: 732.383.1950
 Fax: 732.383.1984

SCALE: AS SHOWN DATE: 8/26/16 DRAWN BY: RAO CHECKED BY: HRM
 PROJECT NUMBER: 1600239A DRAWING NAME: SURV-FPCH
 SHEET TITLE: BOUNDARY SURVEY
 SHEET NUMBER: 1 of 1

SCALE: 1" = 50'

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.