

200' PROPERTY OWNERS LIST

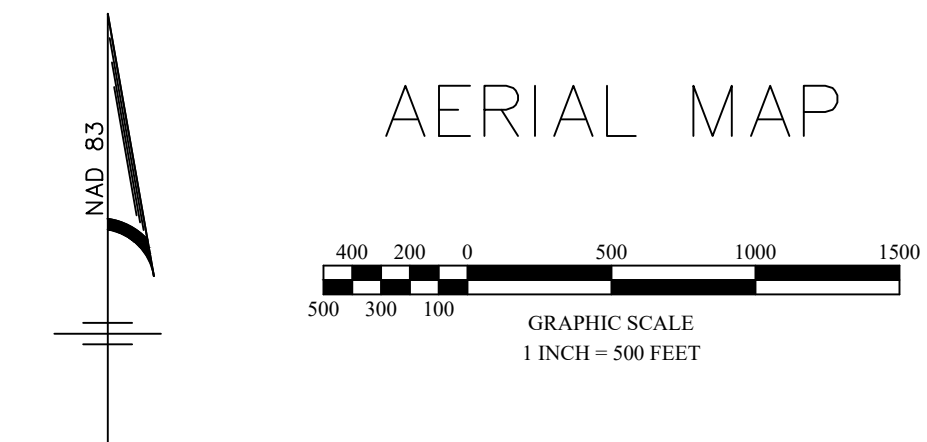
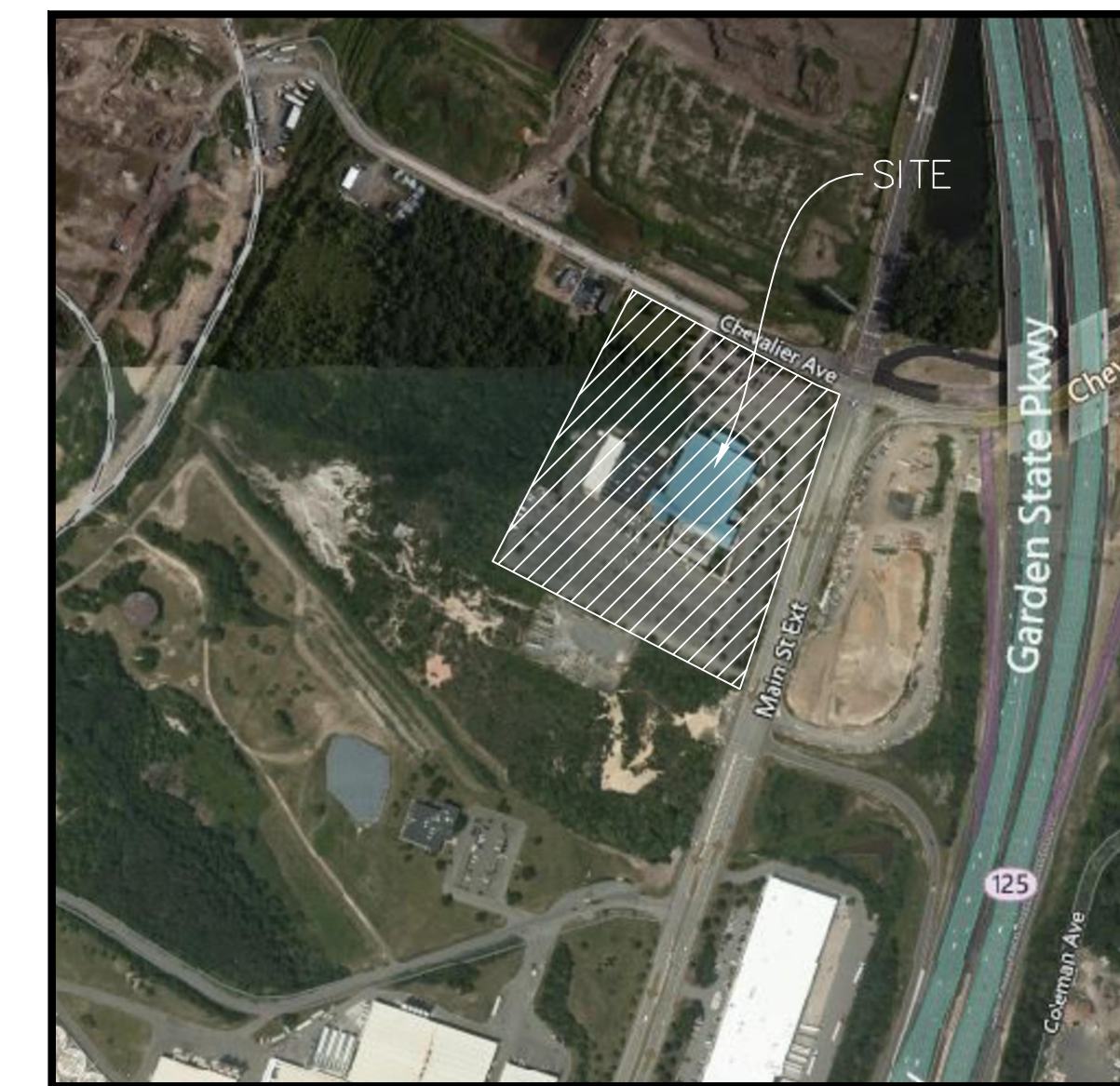
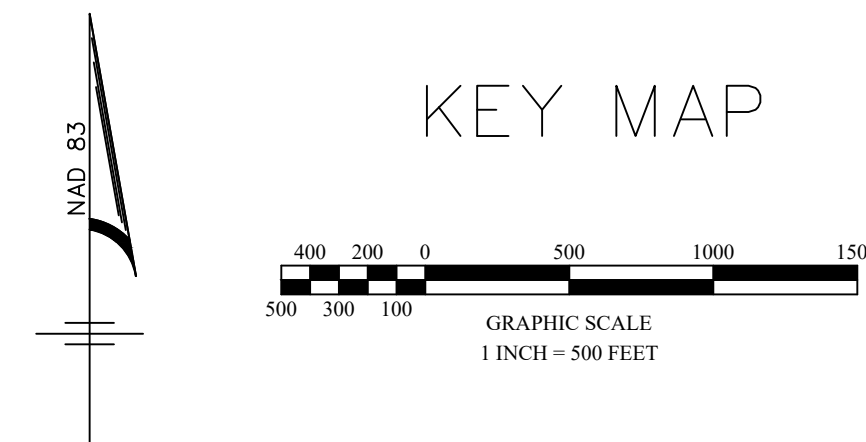
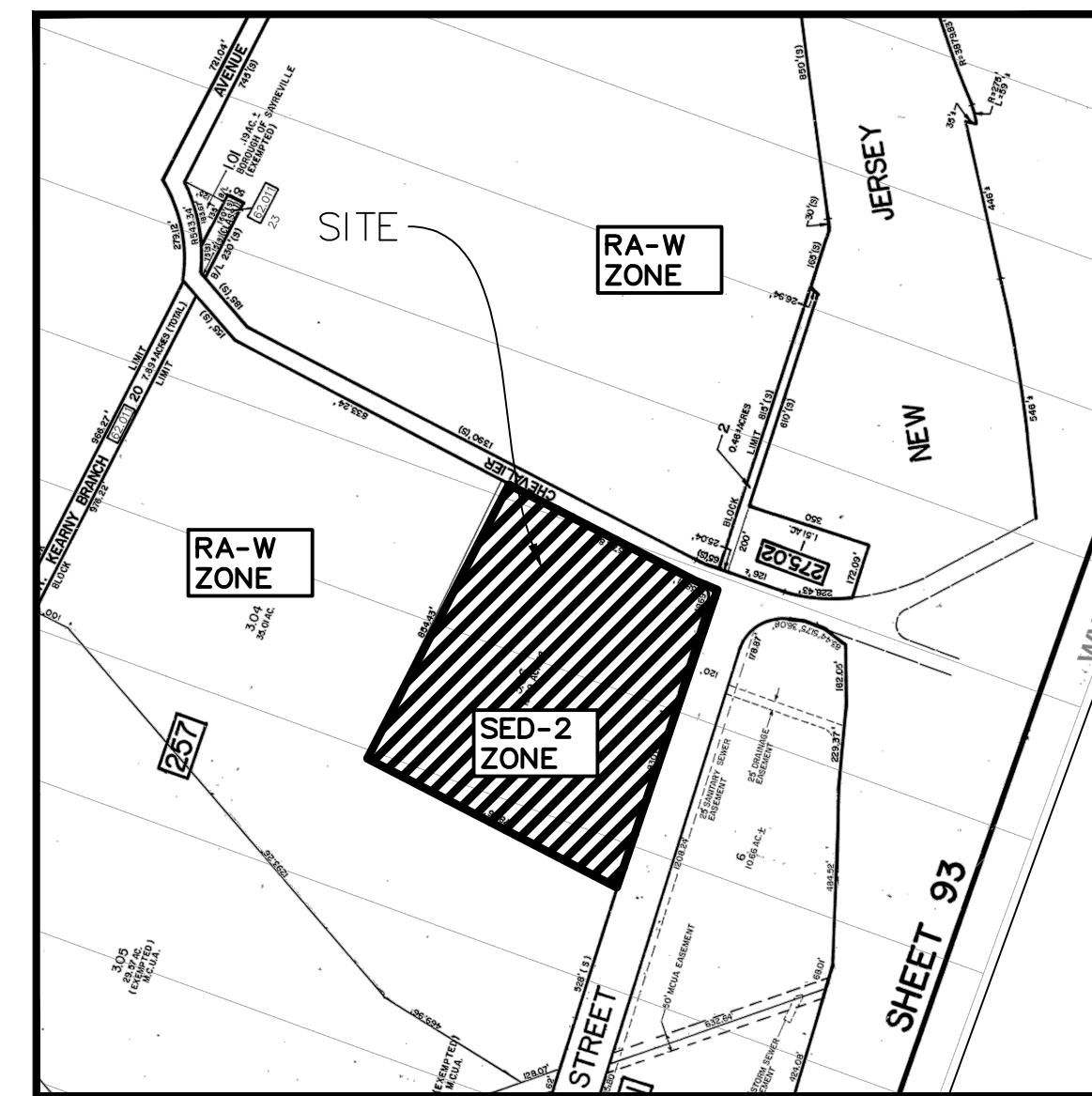
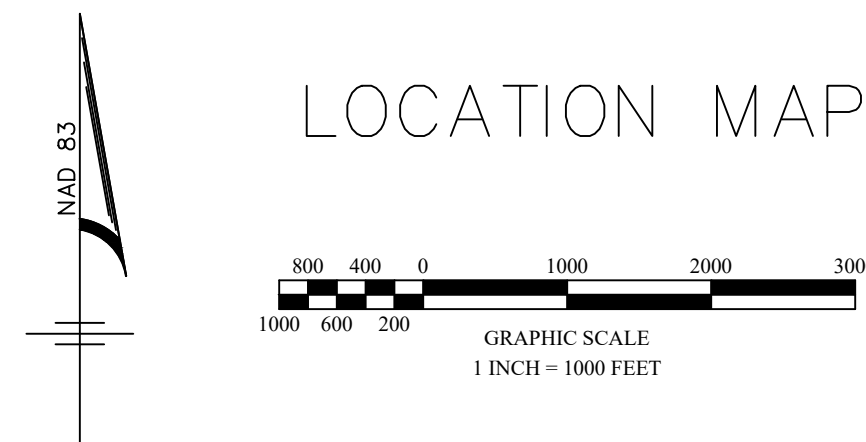
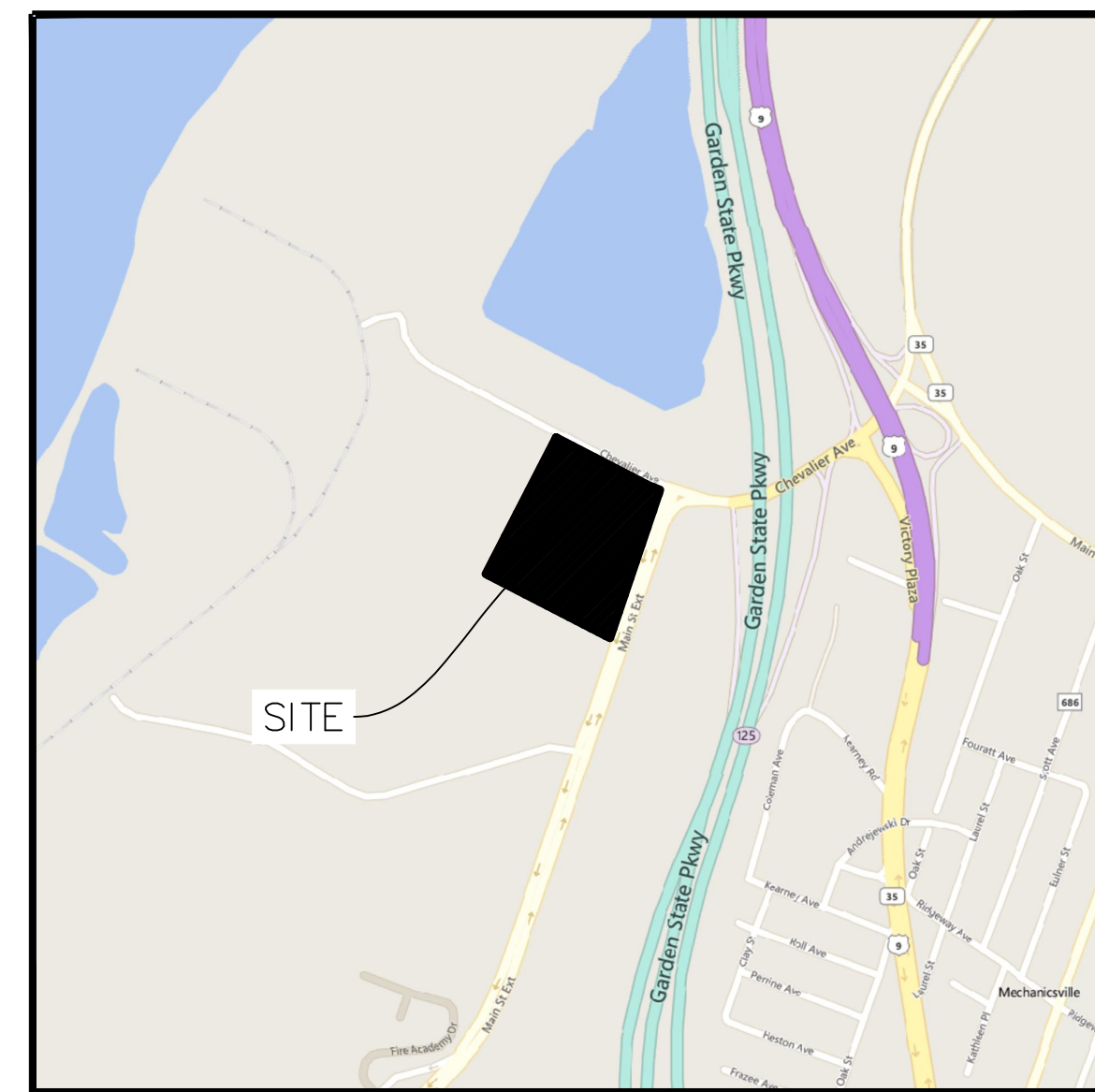
PROPERTY OWNER	BLOCK	LOT
SAYREVILLE ECONOMIC & REDEVELOPMENT AGENCY c/o NA PROPERTIES 1000 CHEVALIER AVENUE SAYREVILLE, NJ 08872	257	3.04
SAYREVILLE ECONOMIC & REDEVELOPMENT AGENCY c/o NA PROPERTIES 1000 CHEVALIER AVENUE SAYREVILLE, NJ 08872	257.02	1
SAYREVILLE ECONOMIC & REDEVELOPMENT AGENCY (QUALIFIER B01) 167 MAIN STREET SAYREVILLE, NJ 08872	257.02	1
NEW JERSEY TURNPIKE AUTHORITY TURNPIKE & HIGHWAY 18 EAST BRUNSWICK, NJ 08816	275.03	1
NEW JERSEY TURNPIKE AUTHORITY 581 MAIN STREET WOODBIDGE, NJ 07095	326.01	6
BOROUGH OF SAYREVILLE 167 MAIN STREET SAYREVILLE, NJ 08872	EASEMENT	

PRELIMINARY/FINAL MAJOR SITE PLAN

EPIC CHURCH - SOLAR CARPORTS

BLOCK 257, LOT 3.06

BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY



GENERAL NOTES:

1. **APPLICANT** SOLAR LANDSCAPE 522 COOKMAN AVE - UNIT 3 ASBURY PARK, NJ 07712
OWNER FAITH FELLOWSHIP MINISTRIES, INC 2707 MAIN ST EXTENSION SAYREVILLE, NJ 08872
2. SITES ARE KNOWN AND DESIGNATED AS BLOCK 257, LOTS 3.06 AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF THE BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY (SHEET 91).
3. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN FOR BLOCK 257 HEREIN OBTAINED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY; TAX LOT 3.06, BLOCK 257", PREPARED BY DPK CONSULTING DATED 11/11/2020.
4. SITE COORDINATES: 604,990' N, 546,685' E
5. HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
6. THE PROPERTY IS LOCATED IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 34023C0156F, WITH AN EFFECTIVE DATE OF JULY 6, 2010.
7. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR IS REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. ADDITIONALLY, ALL WORK SHALL ALSO COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES HAVING JURISDICTION AT LEAST 72 HOURS IN ADVANCE OF ANY WORK.
10. UNLESS OTHERWISE INDICATED, ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
11. ALL TRAFFIC CONTROL DEVICES WITHIN THE RIGHT OF WAY TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
12. THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES OR OTHER POTENTIAL CONFLICT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.

SPECIAL ECONOMIC DEVELOPMENT (SED-2) ZONING SCHEDULE				
BLOCK 257, LOT 3.06				
	REQUIRED	EXISTING	PROPOSED	COMPLIES
MIN. LOT AREA	80,000 SF	609,450 SF	NO CHANGE	YES
MIN. LOT WIDTH	200 FT	648.4 FT	NO CHANGE	YES
MIN. FRONT YARD SETBACK (PRINCIPAL)	60 FT	144.5 FT	NO CHANGE	YES
MIN. REAR YARD SETBACK (PRINCIPAL)	40 FT	259.4 FT	NO CHANGE	YES
MIN. SIDE YARD SETBACK (PRINCIPAL)	20 FT	133.0 FT	NO CHANGE	YES
	ONE SIDE COMBINED			
MIN. SIDE YARD SETBACK (ACCESSORY)	10 FT	N/A	133.8 FT	YES
MIN. REAR YARD SETBACK (ACCESSORY)	25 FT	N/A	1.3 FT	NO
MAX. BUILDING HEIGHT	85 FT	< 85 FT	NO CHANGE	YES
MAX. BUILDING COVERAGE	35%	14.6%	NO CHANGE	YES
MAX. IMPERVIOUS COVERAGE	85%	74.1%	NO CHANGE	YES

Project Approval Status	
• Sayreville Planning Board - Pending	
• Sayreville Economic & Redevelopment Agency - Approved	
• Middlesex County Planning Board - Pending	

DRAWING INDEX

No.	Description	Revision Date
1.	TITLE SHEET	04/05/21
2.	EXISTING CONDITIONS	04/05/21
3.	OVERALL LAYOUT/PHASING PLAN	04/05/21
4.	SITE PLAN	04/05/21
5.	SITE PLAN	04/05/21
6.	SOLAR PANEL LAYOUT PLAN	04/05/21
7.	SOLAR PANEL LAYOUT PLAN	04/05/21
8.	LIGHTING PLAN	04/05/21
9.	LIGHTING PLAN	04/05/21
10.	LANDSCAPE PLAN	ORIGINAL SUBMISSION
11.	LANDSCAPE PLAN	ORIGINAL SUBMISSION
12.	LANDSCAPE & LIGHTING DETAILS	ORIGINAL SUBMISSION
13.	CONSTRUCTION DETAILS	04/05/21

DATE	REVISIONS	BY
04/05/21	REVISED PER 03/24/21 TRC MEETING COMMENTS	KES

SHORE POINT ENGINEERING
 Certificate of Authorization No. 24GA28317800
 Kevin E. Shelly, P.E. PE No. GE05031300
 PO Box 257, Manasquan, NJ 08736
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 www.shorepointengineering.com

Kevin E. Shelly Date: 4/5/21
Kevin E. Shelly, P.E.
 PROFESSIONAL ENGINEER
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PRELIMINARY/FINAL MAJOR SITE PLAN
 EPIC CHURCH - SOLAR CARPORTS
 BLOCK 257, LOT 3.06

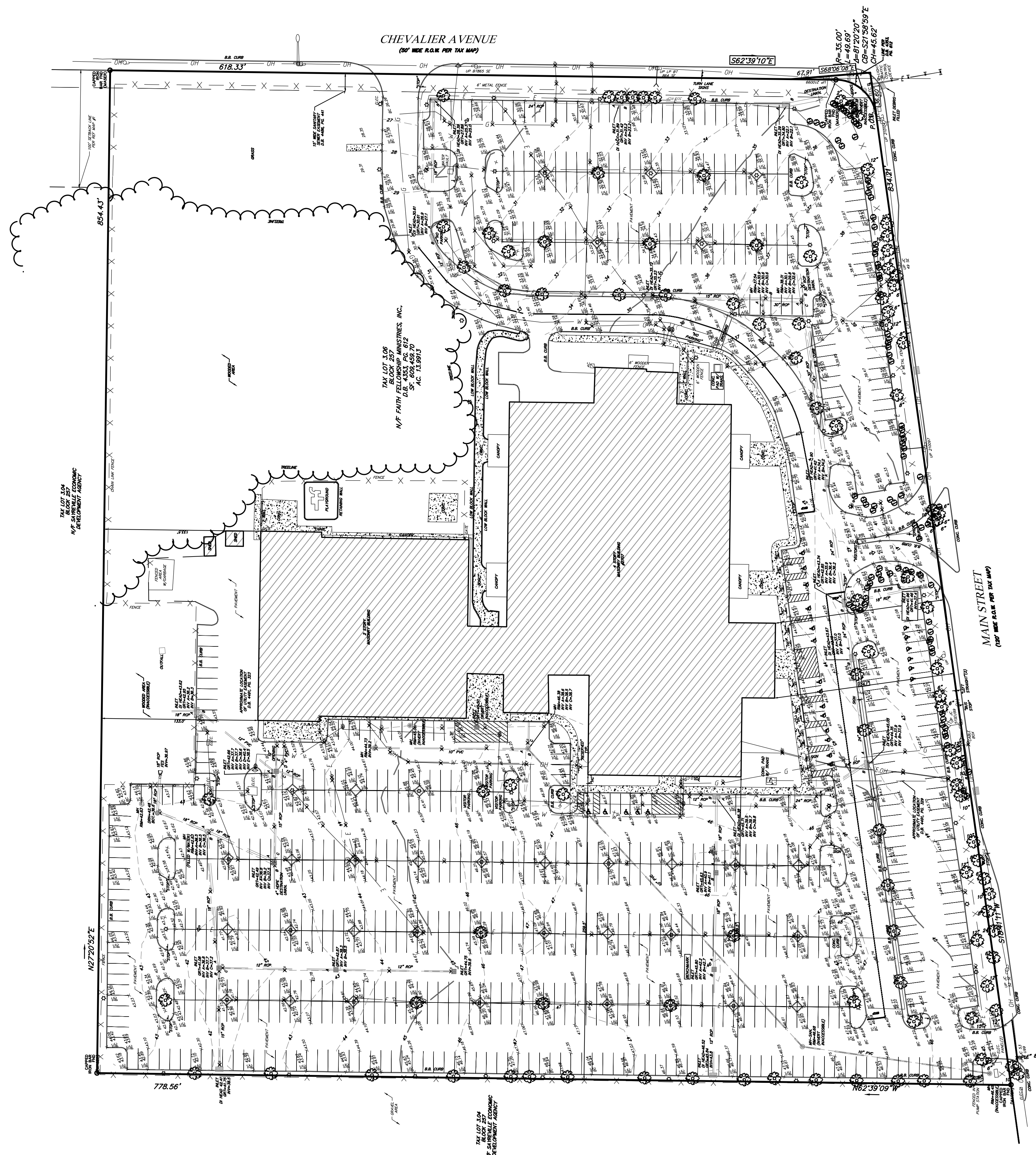
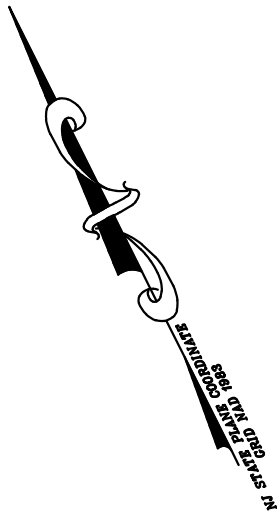
SITUATED IN
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

TITLE SHEET

SCALE: AS SHOWN	PROJECT No.: SLA-201
RELEASED BY: KES	DATE: 01/21/21
CHECKED BY: KES	Sheet Number
DRAWN BY: RZH	1 OF 13

APPROVED BY THE BOROUGH OF SAYREVILLE ZONING BOARD OF ADJUSTMENT AS A PRELIMINARY AND FINAL MAJOR SITE PLAN:

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

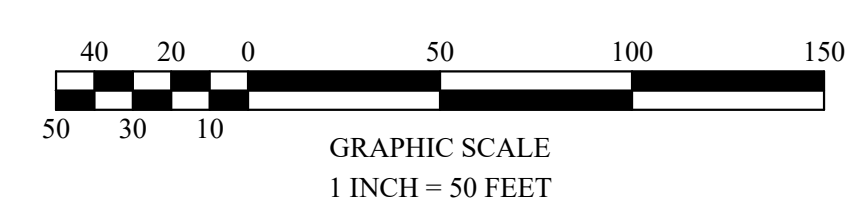


LEGEND

- PROJECT BOUNDARY
- EXISTING BUILDING
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER LINE
- EXISTING TYPE 'A' INLET
- EXISTING TYPE 'B' INLET
- EXISTING TYPE 'E' INLET
- EXISTING MANHOLE/STORM GRATE
- EXISTING DOWNSPOUT
- EXISTING WATER LINE
- EXISTING WATER VALVE
- EXISTING SPRINKLER BOX
- EXISTING WATER METER PIT
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING GAS LINE
- EXISTING GAS VALVE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE W/ LIGHT
- EXISTING FENCELINE
- EXISTING GUIDERAIL
- EXISTING LIGHT POLE
- EXISTING SIGNAGE

EXISTING CONDITIONS NOTES:

1. APPLICANT: SOLAR LANDSCAPE
2. SITES ARE KNOWN AND DESIGNATED AS BLOCK 257, LOTS 3.06 AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF THE BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY (SHEET 91).
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04/05/21	REVISED PER 03/24/21 TRC MEETING COMMENTS	KES
DATE	REVISIONS	BY

SHORE POINT ENGINEERING
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 Kevin E. Shelly, P.E., PE No. GE05031300
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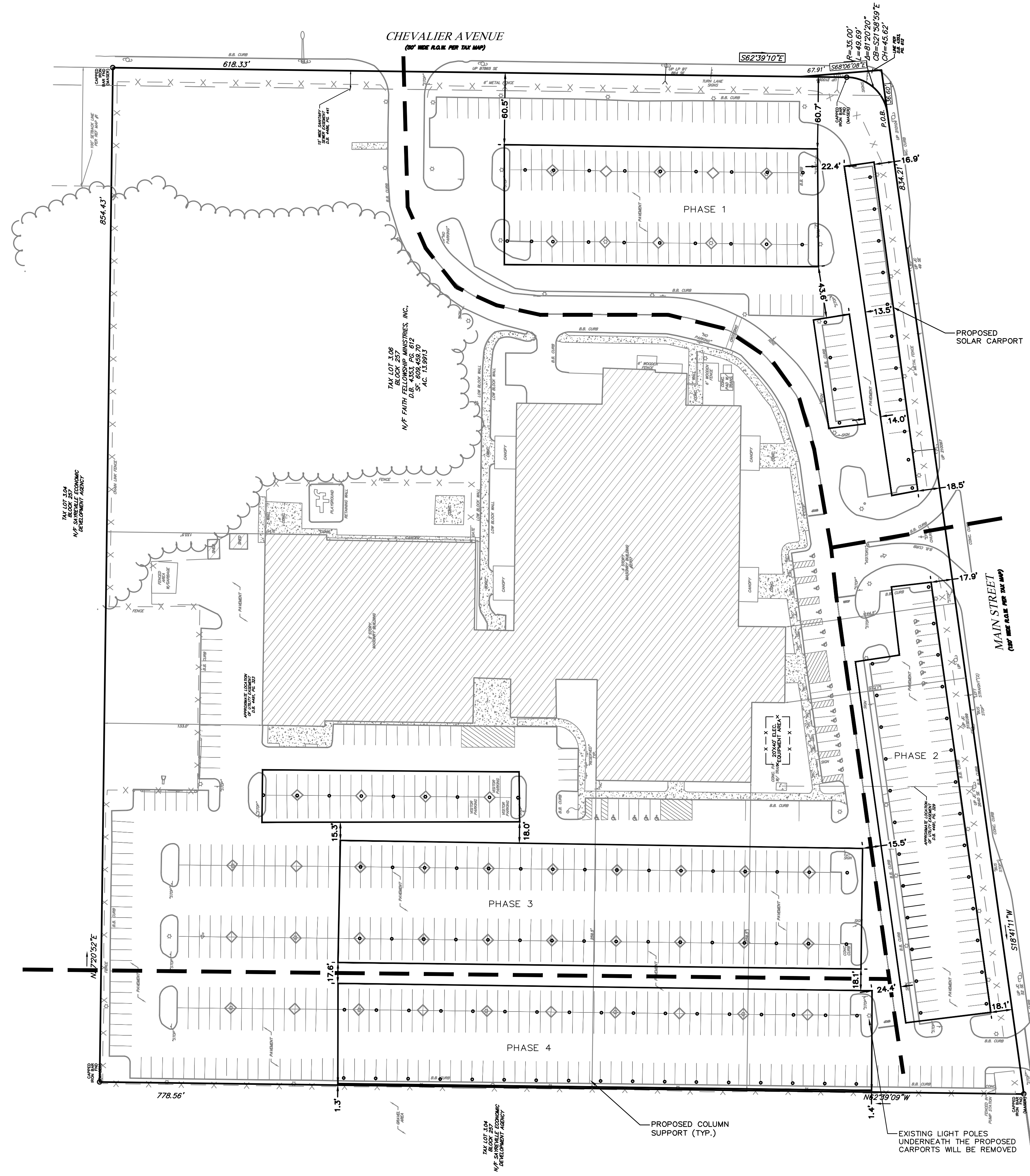
Kevin E. Shelly Date 4/5/21
Kevin E. Shelly, P.E.
 PROFESSIONAL ENGINEER
 N.J. Lic. No. GE05031300

**PRELIMINARY/FINAL MAJOR SITE PLAN
 EPIC CHURCH - SOLAR CARPORTS**
 BLOCK 257, LOT 3.06

SITUATED IN
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

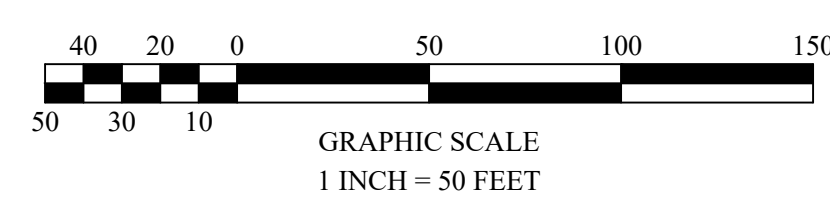
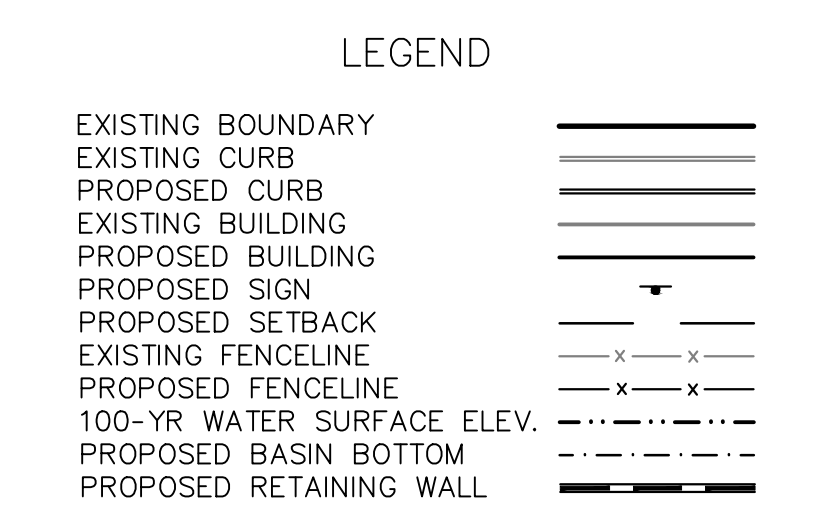
EXISTING CONDITIONS PLAN

SCALE: 1"=50'	PROJECT No.: SLA-201
RELEASED BY: KES	DATE: 01/21/21
CHECKED BY: KES	Sheet Number
DRAWN BY: RZH	2 OF 13



SPECIAL ECONOMIC DEVELOPMENT (SED-2) ZONING SCHEDULE				
BLOCK 257, LOT 3.06				
	REQUIRED	EXISTING	PROPOSED	COMPLIES
MIN. LOT AREA	80,000 SF	609,480 SF	NO CHANGE	YES
MIN. LOT WIDTH	200 FT	648.4 FT	NO CHANGE	YES
MIN. FRONT YARD SETBACK (PRINCIPAL)	60 FT	144.5 FT	NO CHANGE	YES
MIN. REAR YARD SETBACK (PRINCIPAL)	40 FT	259.4 FT	NO CHANGE	YES
MIN. SIDE YARD SETBACK (PRINCIPAL)				
	ONE SIDE	20 FT	133.0 FT	NO CHANGE
	COMBINED	50 FT		
MIN. SIDE YARD SETBACK (ACCESSORY)	10 FT	N/A	133.8 FT	YES
MIN. REAR YARD SETBACK (ACCESSORY)	25 FT	N/A	1.3 FT	NO
MAX. BUILDING HEIGHT	85 FT	< 85 FT	NO CHANGE	YES
MAX. BUILDING COVERAGE	35%	34.6%	NO CHANGE	YES
MAX. IMPERVIOUS COVERAGE	85%	74.3%	NO CHANGE	YES

- LAYOUT NOTES
1. APPLICANT: SOLAR LANDSCAPE
 2. SITES ARE KNOWN AND DESIGNATED AS BLOCK 257, LOTS 3.06 AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF THE BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY (SHEET 91).
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 4. SITE COORDINATES: 604,990' N, 546,685' E
 5. HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
 6. UNLESS OTHERWISE INDICATED, ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.



04/05/21	REVISED PER 03/24/21 TRC MEETING COMMENTS	KES
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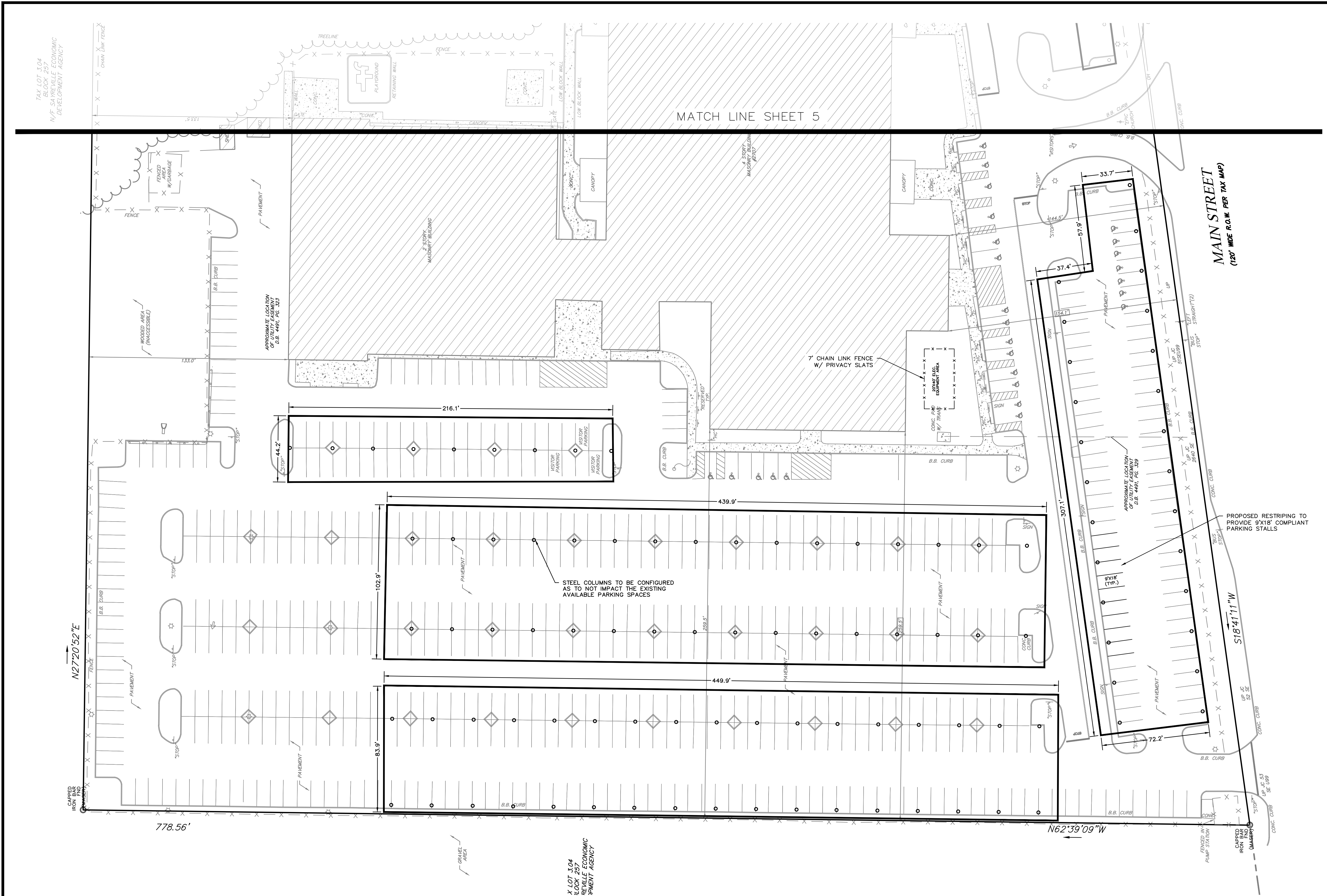
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EPIC CHURCH - SOLAR CARPORTS
 BLOCK 257, LOT 3.06

SITUATED IN
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

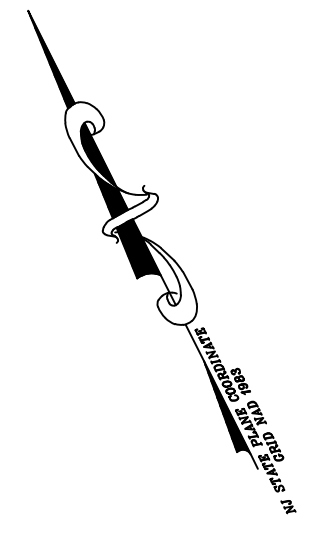
OVERALL LAYOUT/PHASING PLAN

SCALE: 1"=50'	PROJECT No.: SLA-201
RELEASED BY: KES	DATE: 01/21/21
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DRAWN BY: RZH	3 OF 13



MATCH LINE SHEET 5

MAIN STREET
 (150' WIDE R.O.W. PER TAX MAP)



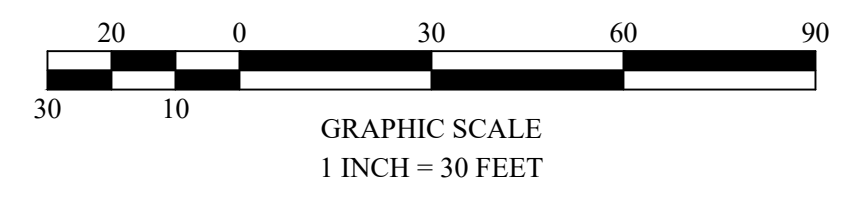
TAX LOT 3.04
 BLOCK 257
 N/V SAYREVILLE ECONOMIC
 DEVELOPMENT AGENCY

X LOT 3.04
 BLOCK 257
 SAYREVILLE ECONOMIC
 DEVELOPMENT AGENCY

SPECIAL ECONOMIC DEVELOPMENT (SED-2) ZONING SCHEDULE				
BLOCK 257, LOT 3.06				
	REQUIRED	EXISTING	PROPOSED	COMPLIES
MIN. LOT AREA	80,000 SF	609,450 SF	NO CHANGE	YES
MIN. LOT WIDTH	200 FT	648.4 FT	NO CHANGE	YES
MIN. FRONT YARD SETBACK (PRINCIPAL)	60 FT	144.5 FT	NO CHANGE	YES
MIN. REAR YARD SETBACK (PRINCIPAL)	40 FT	259.4 FT	NO CHANGE	YES
MIN. SIDE YARD SETBACK (PRINCIPAL)				
	20 FT	133.0 FT	NO CHANGE	YES
MIN. SIDE YARD SETBACK (ACCESSORY)	10 FT	N/A	133.8 FT	YES
MIN. REAR YARD SETBACK (ACCESSORY)	25 FT	N/A	13.3 FT	NO
MAX. BUILDING HEIGHT	85 FT	48 FT	NO CHANGE	YES
MAX. BUILDING COVERAGE	35%	14.6%	NO CHANGE	YES
MAX. IMPERVIOUS COVERAGE	85%	74.1%	NO CHANGE	YES

LAYOUT NOTES

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5. HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
6. UNLESS OTHERWISE INDICATED, ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.



LEGEND

- EXISTING BOUNDARY
- EXISTING CURB
- PROPOSED CURB
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED SIGN
- PROPOSED SETBACK
- EXISTING FENCELINE
- PROPOSED FENCELINE
- 100-YR WATER SURFACE ELEV.
- PROPOSED BASIN BOTTOM
- PROPOSED RETAINING WALL

DATE	REVISIONS	BY
04/05/21	REVISED PER 03/24/21 TRC MEETING COMMENTS	KES



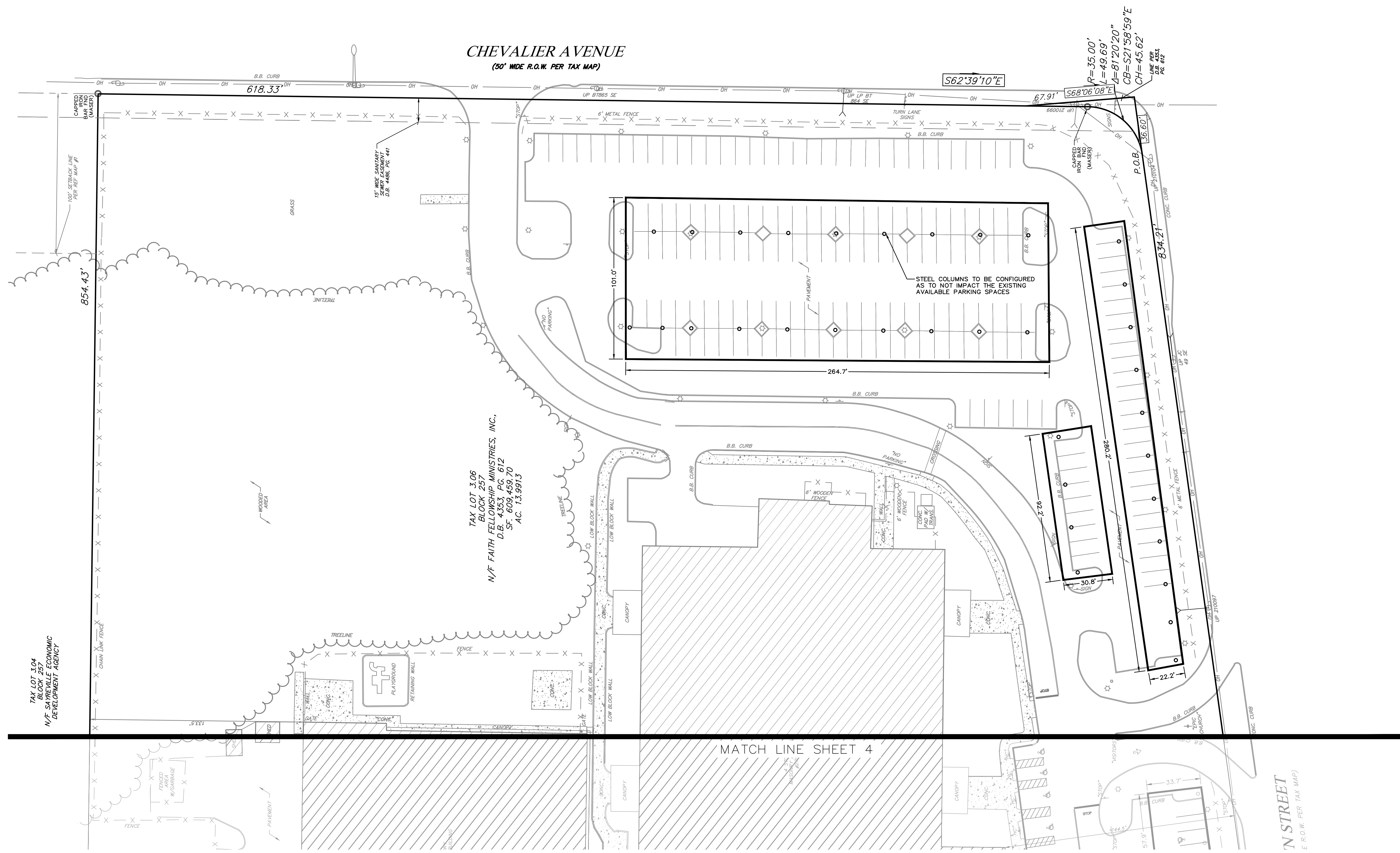
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Kevin E. Shelly Date: 4/5/21
 Kevin E. Shelly, P.E.
 PROFESSIONAL ENGINEER
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PRELIMINARY/FINAL MAJOR SITE PLAN
 EPIC CHURCH - SOLAR CARPORTS
 BLOCK 257, LOT 3.06

SITUATED IN
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

LAYOUT PLAN	
SCALE: 1"=30'	PROJECT No.: SLA-201
RELEASED BY: KES	DATE: 01/21/21
CHECKED BY: KES	Sheet Number 4 OF 13
DRAWN BY: RZH	

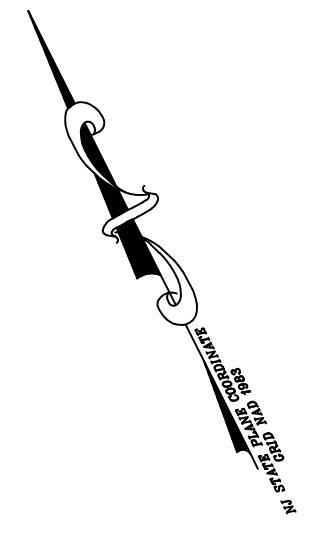


CHEVALIER AVENUE
 (90' WIDE R.O.W. PER TAX MAP)

TAX LOT 3.06
 BLOCK 257
 N/F FAITH FELLOWSHIP MINISTRIES, INC.,
 D.B. 4353, PG. 612
 SF. 609,459.70
 AC. 13.9913

TAX LOT 3.04
 BLOCK 257
 N/F SAYREVILLE ECONOMIC
 DEVELOPMENT AGENCY

MATCH LINE SHEET 4



LEGEND

EXISTING BOUNDARY	---
EXISTING CURB	---
PROPOSED CURB	---
EXISTING BUILDING	---
PROPOSED BUILDING	---
PROPOSED SIGN	---
PROPOSED SETBACK	---
EXISTING FENCELINE	---
PROPOSED FENCELINE	---
100-YR WATER SURFACE ELEV.	---
PROPOSED BASIN BOTTOM	---
PROPOSED RETAINING WALL	---

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Kevin E. Shelly Date 4/5/21
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PRELIMINARY/FINAL MAJOR SITE PLAN
EPIC CHURCH - SOLAR CARPORTS
 BLOCK 257, LOT 3.06

SITUATED IN
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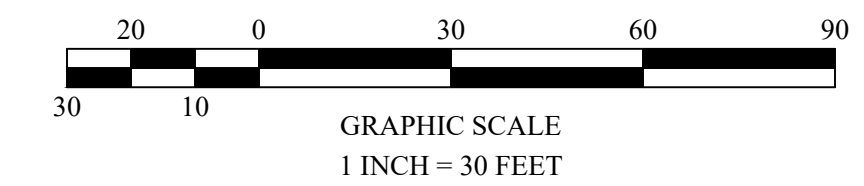
LAYOUT PLAN

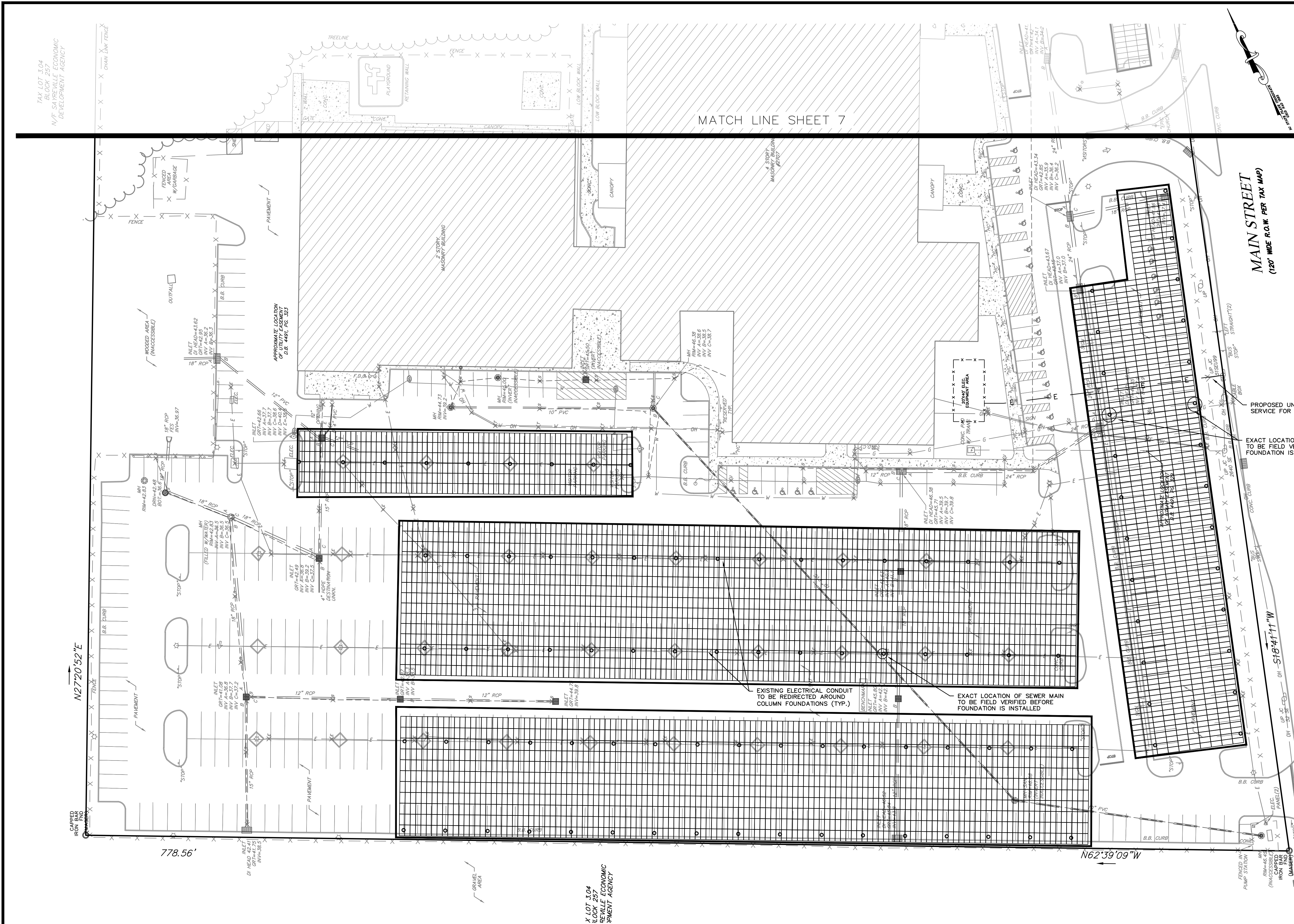
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DRAWN BY: RZH	5 OF 13

SPECIAL ECONOMIC DEVELOPMENT (SED-2) ZONING SCHEDULE				
BLOCK 257, LOT 3.06				
	REQUIRED	EXISTING	PROPOSED	COMPLIES
MIN. LOT AREA	80,000 SF	609,460 SF	NO CHANGE	YES
MIN. LOT WIDTH	200 FT	648.4 FT	NO CHANGE	YES
MIN. FRONT YARD SETBACK (PRINCIPAL)	50 FT	144.5 FT	NO CHANGE	YES
MIN. REAR YARD SETBACK (PRINCIPAL)	40 FT	259.4 FT	NO CHANGE	YES
MIN. SIDE YARD SETBACK (PRINCIPAL)				
	20 FT	133.0 FT	NO CHANGE	YES
	50 FT			
MIN. SIDE YARD SETBACK (ACCESSORY)	10 FT	N/A	133.8 FT	YES
MIN. REAR YARD SETBACK (ACCESSORY)	25 FT	N/A	1.3 FT	NO
MAX. BUILDING HEIGHT	85 FT	< 85 FT	NO CHANGE	YES
MAX. BUILDING COVERAGE	35%	14.6%	NO CHANGE	YES
MAX. IMPERVIOUS COVERAGE	85%	74.1%	NO CHANGE	YES

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3. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN FOR BLOCK 257 HEREIN OBTAINED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY; TAX LOT 3.06, BLOCK 257", PREPARED BY DPK CONSULTING DATED 11/11/20.
4. SITE COORDINATES: 604,990' N, 546,685' E
5. HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
6. UNLESS OTHERWISE INDICATED, ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.





MATCH LINE SHEET 7

UTILITY NOTES

1. APPLICANT: SOLAR LANDSCAPE
2. HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
3. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR IS REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
4. UNLESS OTHERWISE INDICATED, ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
5. ALL TRAFFIC CONTROL DEVICES WITHIN THE RIGHT OF WAY TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. ADDITIONALLY, ALL WORK SHALL ALSO COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR.
7. THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES OR OTHER POTENTIAL CONFLICT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
8. THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE AND CONDITION OF EXISTING WATER MAINS AND SANITARY SEWER MAINS PRIOR TO BEGINNING ANY UTILITY WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES, INSPECTING ENGINEER AND/OR PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
10. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL AND/OR MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY SERVICES TO THE BUILDING. WHERE CONFLICTS EXISTING WITH THESE SITE PLANS, THE ENGINEER IS TO BE NOTIFIED IN WRITING PRIOR TO CONSTRUCTION TO RESOLVE PRIOR TO INSTALLATION.
11. ALL ON-SITE UTILITIES SHALL BE UNDERGROUND, UNLESS OTHERWISE INDICATED.
12. THE LOCATION AND LAYOUT OF GAS, ELECTRIC AND TELECOMMUNICATION UTILITIES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION AND LAYOUT OF THESE UTILITIES SHALL BE COORDINATED WITH THE SERVING UTILITY COMPANY.

MAIN STREET
(120' WIDE R.O.W. PER TAX MAP)

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED BASIN BOTTOM
- 100-YR WATER SURFACE ELEV.
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE
- EXISTING INLET
- PROPOSED INLET
- PROPOSED MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY LATERAL
- PROPOSED SANITARY CLEANOUT
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING HYDRANT
- PROPOSED WATER HYDRANT
- PROPOSED WATER METER
- PROPOSED WATER LATERAL
- EXISTING GAS LINE
- PROPOSED GAS LINE

DATE	REVISIONS	BY
04/05/21	REVISED PER 03/24/21 TRC MEETING COMMENTS	KES



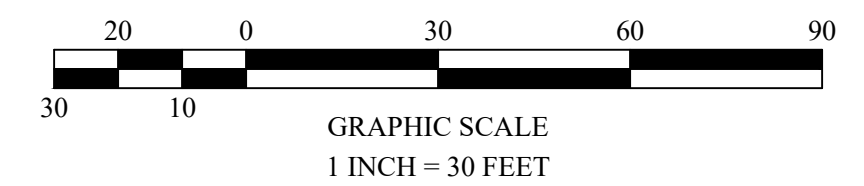
Certificate of Authorization No. 24GA28317800
 Kevin E. Shelly, P.E., PE No. GE05031300
 PO Box 257, Manasquan, NJ 08736
 T: 732-924-8100 | F: 732-924-8110
 www.shorepointengineering.com

Kevin E. Shelly Date: 4/5/21
 Kevin E. Shelly, P.E.
 PROFESSIONAL ENGINEER
 N.J. Lic. No. GE05031300

PRELIMINARY/FINAL MAJOR SITE PLAN
 EPIC CHURCH - SOLAR CARPORTS
 BLOCK 257, LOT 3.06

SITUATED IN
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

SOLAR PANEL LAYOUT PLAN	
SCALE: 1"=30'	PROJECT No.: SLA-201
RELEASED BY: KES	DATE: 01/21/21
CHECKED BY: KES	Sheet Number 6 OF 13
DRAWN BY: RZH	



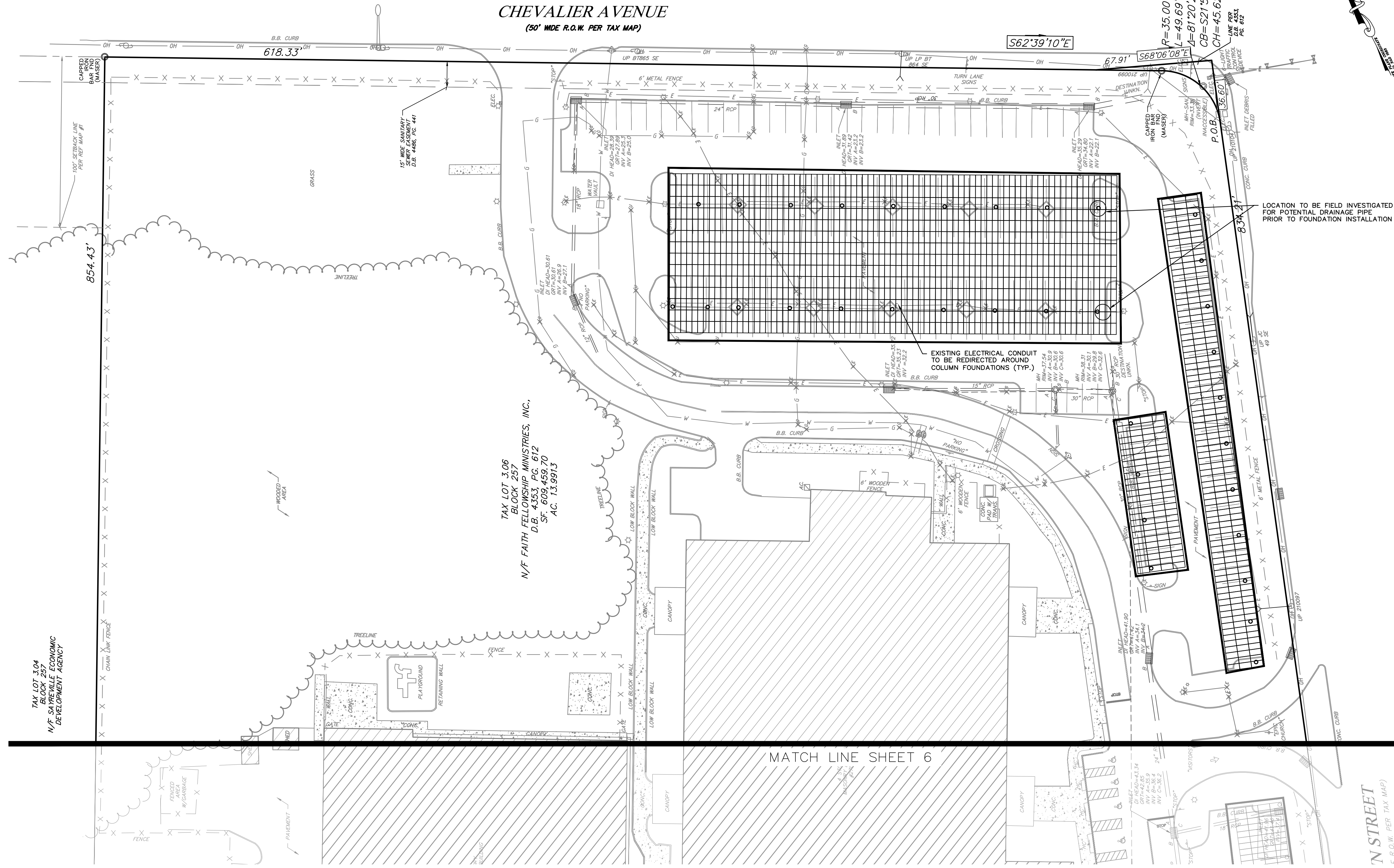
Field Segments							
Description	Racking	Orientation	Tilt	Azimuth	Intrarray Spacing	Frame Size	Frames Modules Power
Tee - 405W	Carport	Portrait (Vertical)	3°	207.522°	0.0 ft	1x1	389 389 157.5 kW
Long Span III - 405W	Carport	Portrait (Vertical)	3°	207.522°	0.0 ft	1x1	1,106 1,106 447.9 kW
Field Segment 8	Carport	Portrait (Vertical)	3°	109.036°	0.0 ft	1x1	944 944 415.4 kW
Field Segment 8 (copy 1)	Carport	Portrait (Vertical)	3°	109.036°	0.0 ft	1x1	240 240 105.6 kW
Long Span I 405W	Carport	Portrait (Vertical)	3°	207.522°	0.0 ft	1x1	1,580 1,580 619.5 kW
Field Segment 12 (copy)	Carport	Portrait (Vertical)	3°	207.522°	0.0 ft	1x1	1,408 1,408 619.5 kW
Field Segment 7	Carport	Portrait (Vertical)	3°	109.52111°	0.0 ft	1x1	104 104 45.8 kW

System Metrics	
Design	12-11-2020 Long Span Rev2 (customer review/04/04/21)
Module DC Nameplate	2.59 MW
Inverter AC Nameplate	1.95 MW
Annual Production	3,107 GWh
Performance Ratio	82.7%
kWh/kWp	1,197.9
Weather Dataset	TMV, NEWARK INTERNATIONAL ARPT, NSRDB (tmy3.1)
Simulator Version	886174009-5171CT29e-a478953989-5c348ca440

Components		
Component Name	Count	
Inverters	Sunny Highpower PEAK1 150-US (3MA)	13 (1.95 MW)
Strings	10 AWG (Copper)	234 (63,993.0 ft)
Module	JA Solar, JAM7210-405MR (405W)	3,475 (1,411 MW)
Module	Canadian Solar, CS3W-440MB AG (2020) (1500W) (440W)	2,696 (1,119 MW)

X LOT 3.04
 SAYREVILLE ECONOMIC
 DEVELOPMENT AGENCY

File Name: C:\Users\holl\OneDrive - Shore Point Engineering\Shore Point - Shore Point Engineering\Kevin Shelly - Clients\Solar Landscaps\Job\SLA-201 - Epic Church - Sayreville\DWG\06-Utility.dwg
 Plot time: Apr 05, 2021 - 4:33pm



- UTILITY NOTES**
1. APPLICANT: SOLAR LANDSCAPE
 2. HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
 3. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR IS REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
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LEGEND

EXISTING CONTOUR	
PROPOSED CONTOUR	
EXISTING SPOT ELEVATION	
PROPOSED SPOT ELEVATION	
PROPOSED BASIN BOTTOM	
100-YR WATER SURFACE ELEV.	
EXISTING SANITARY SEWER LINE	
PROPOSED SANITARY SEWER LINE	
EXISTING STORM SEWER LINE	
PROPOSED STORM SEWER LINE	
EXISTING INLET	
PROPOSED INLET	
PROPOSED MANHOLE	
EXISTING SANITARY MANHOLE	
PROPOSED SANITARY MANHOLE	
PROPOSED SANITARY LATERAL	
PROPOSED SANITARY CLEANOUT	
EXISTING WATER LINE	
PROPOSED WATER LINE	
EXISTING HYDRANT	
PROPOSED WATER HYDRANT	
PROPOSED WATER METER	
PROPOSED WATER LATERAL	
EXISTING GAS LINE	
PROPOSED GAS LINE	

TAX LOT 3.06
 BLOCK 257
 N/F FAITH FELLOWSHIP MINISTRIES, INC.,
 D.B. 4353, PG. 612
 SF. 609,459.70
 AC. 13.9913

MATCH LINE SHEET 6

Field Segments

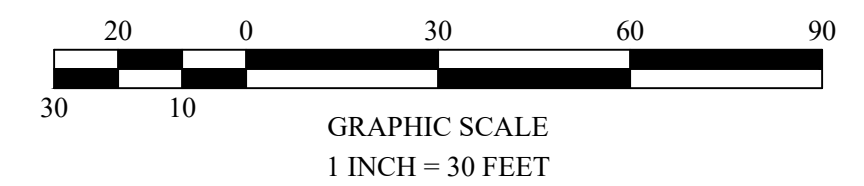
Description	Racking	Orientation	Tilt	Azimuth	Intrarray Spacing	Frame Size	Frames	Modules	Power
Tee - 405W	Carport	Portrait (Vertical)	7°	207.522°	0.0 ft	1x1	389	389	157.5 kW
Long Span III - 405W	Carport	Portrait (Vertical)	3°	207.522°	0.0 ft	1x1	1,106	1,106	447.9 kW
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Field Segment 8 (copy 1)	Carport	Portrait (Vertical)	7°	109.036°	0.0 ft	1x1	240	240	105.6 kW
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Field Segment 12 (copy)	Carport	Portrait (Vertical)	3°	207.522°	0.0 ft	1x1	1,408	1,408	619.5 kW
Field Segment 7	Carport	Portrait (Vertical)	7°	109.52111°	0.0 ft	1x1	104	104	45.8 kW

System Metrics

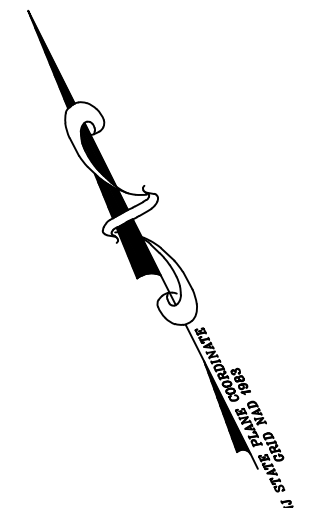
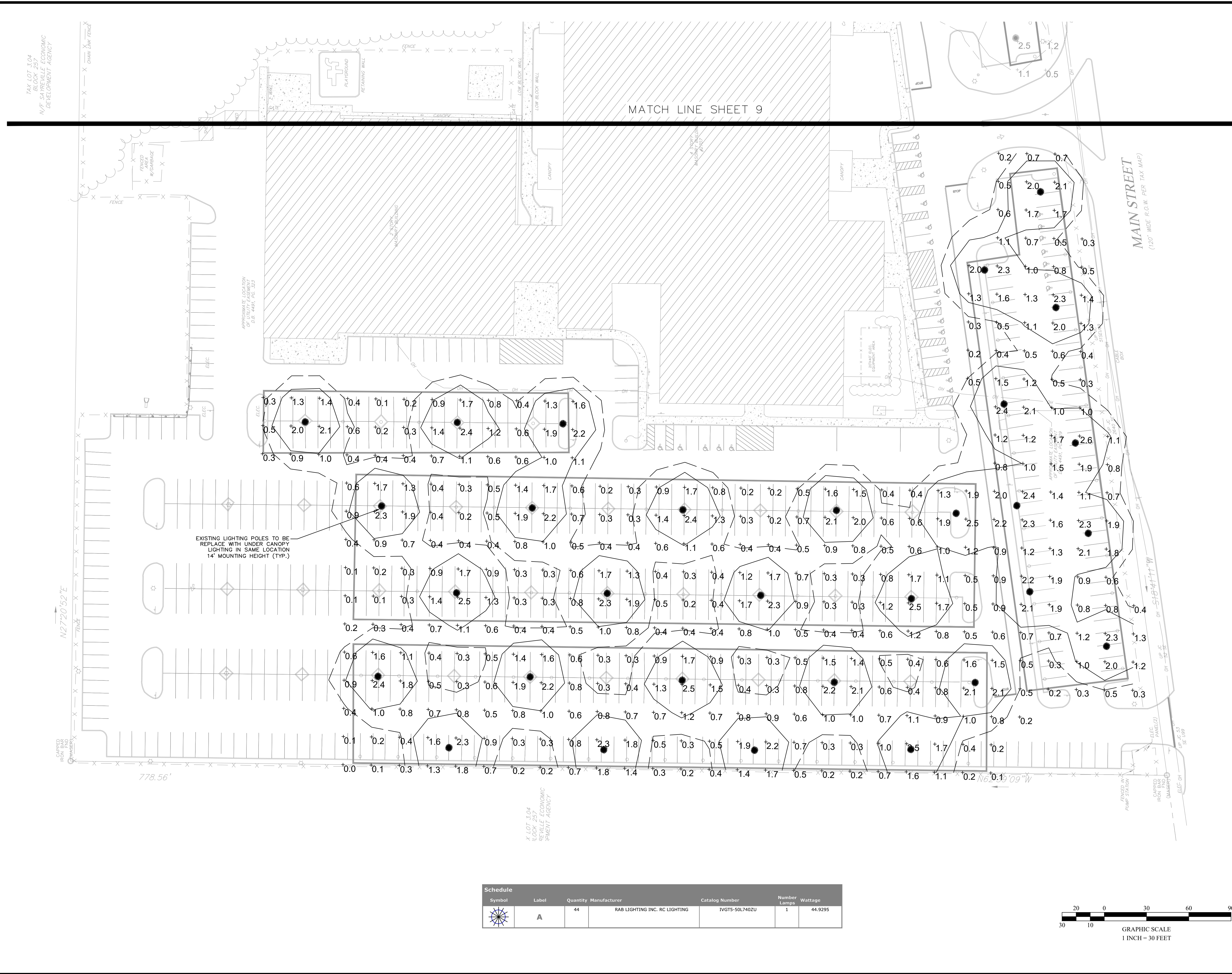
Design	12-11-2020 Long Span Rev2 (customer review/bfacial 440)
Module DC Nameplate	2.59 kW
Inverter AC Nameplate	1.95 MW
Annual Production	3,107 GWh
Performance Ratio	82.7%
kWh/kWp	1,197.9
Weather Dataset	TMJ, NEWARK INTERNATIONAL ARPT, NSRDB (tmy3.1)
Simulator Version	886174009-5171CT29e-a478953989-5c348ca440

Components

Component Name	Count
Inverters	Sunny Highpower PEAK3 150-US (3MA) 13(1.95 MW)
Strings	10 AWG (Copper) 234 693,993.0 ft
Module	JA Solar, JAM72510-405MR (405W) 3,475 (1,411 MW)
Module	Canadian Solar, CS3W-440MB AG (2020) (1500W) (440W) 2,696 (1,119 MW)



04/05/21	REVISED PER 03/24/21 TRC MEETING COMMENTS	KES
DATE	REVISIONS	BY
SHORE POINT ENGINEERING		
Certificate of Authorization No. 24GA28317800 Kevin E. Shelly, P.E. PE No. GE05031300 PO Box 257, Manasquan, NJ 08736 T: 732-924-8100 F: 732-924-8110 www.shorepointengineering.com		
 Kevin E. Shelly, P.E. PROFESSIONAL ENGINEER N.J. Lic. No. CE99931300		
PRELIMINARY/FINAL MAJOR SITE PLAN EPIC CHURCH - SOLAR CARPORTS BLOCK 257, LOT 3.06		
SITUATED IN BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY		
SOLAR PANEL LAYOUT PLAN		
SCALE: 1"=30'	PROJECT No.:	SLA-201
RELEASED BY: KES	DATE:	01/21/21
CHECKED BY: KES	Sheet Number	
DRAWN BY: RZH	7 OF 13	



04/05/21	REVISED PER 03/24/21 TRC MEETING COMMENTS	KES
DATE	REVISIONS	BY

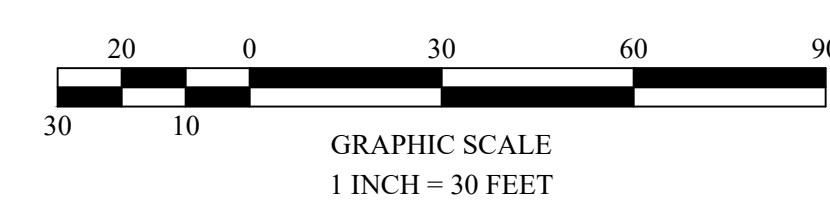
SHORE POINT ENGINEERING
 Certificate of Authorization No. 24GA28317800
 Kevin E. Shelly P.E., PE No. GE05031300
 PO Box 257, Manasquan, NJ 08736
 T: 732-924-8100 | F: 732-924-8110
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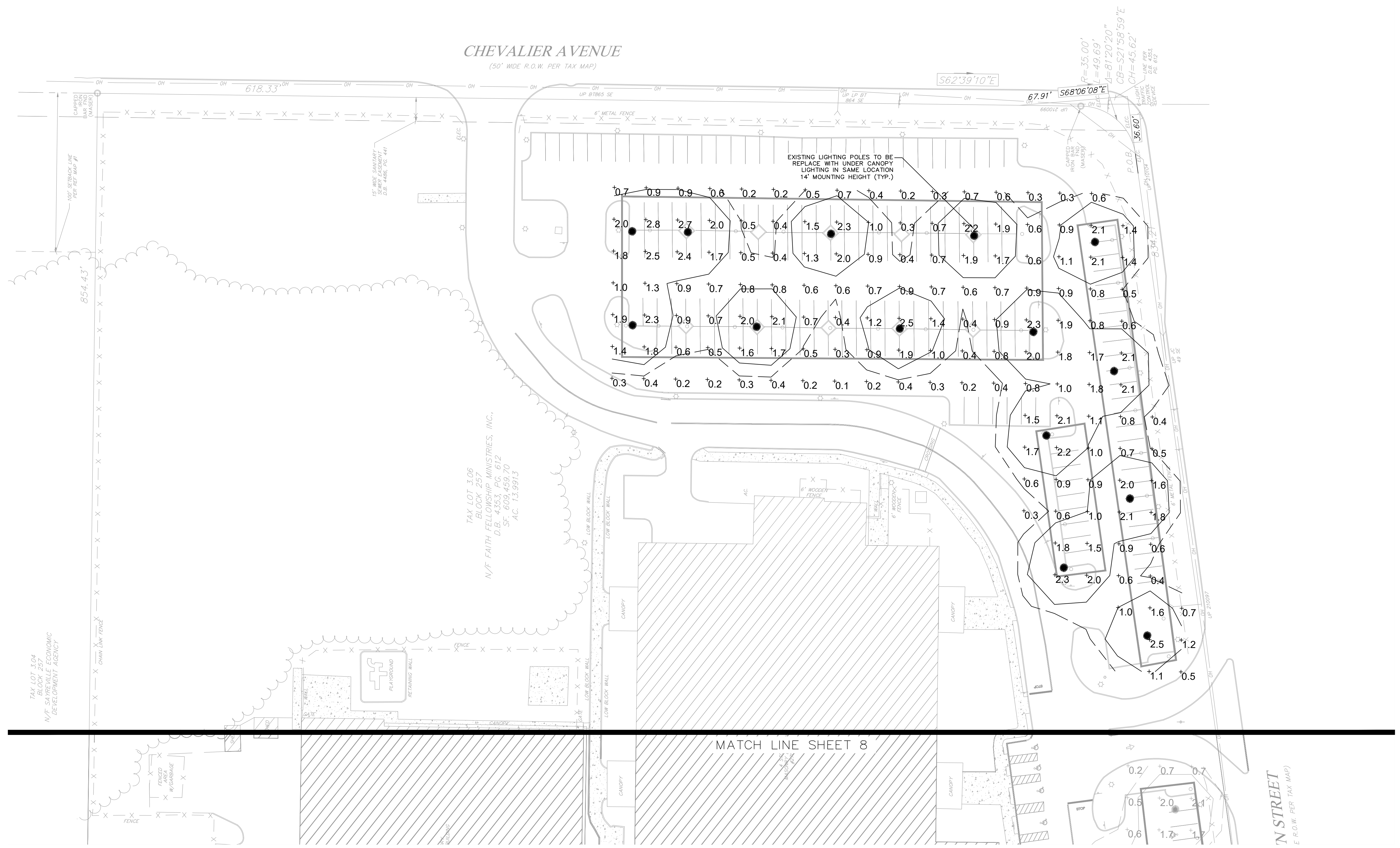
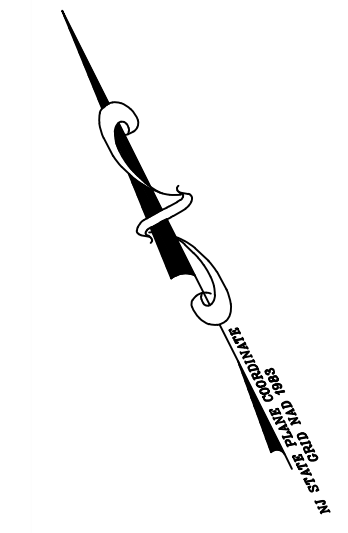
[Signature] Date 4/5/21
Kevin E. Shelly, P.E.
 PROFESSIONAL ENGINEER
 N.J. Lic. No. GE05031300

PRELIMINARY/FINAL MAJOR SITE PLAN
EPIC CHURCH - SOLAR CARPORTS
 BLOCK 257, LOT 3.06
 SITUATED IN
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

LIGHTING PLAN	
SCALE: 1"=30'	PROJECT No.: SLA-201
RELEASED BY: KES	DATE: 01/21/21
CHECKED BY: KES	Sheet Number
DRAWN BY: RZH	8 OF 13

Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Wattage
	A	44	RAB LIGHTING INC. RC LIGHTING	IVGTS-50L740ZU	1	44.9295

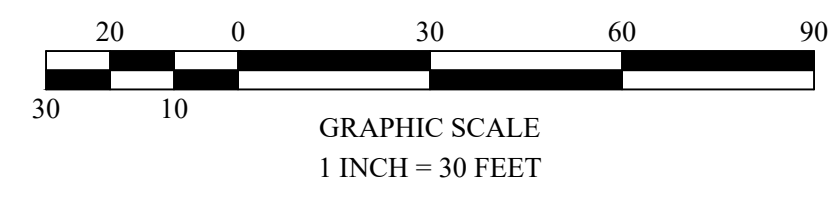




CHEVALIER AVENUE
 (50' WIDE R.O.W. PER TAX MAP)

MATCH LINE SHEET 8

Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Wattage
	A	44	RAB LIGHTING INC. RC LIGHTING	IVGTS-50L7402U	1	44,9295



04/05/21	REVISED PER 03/24/21 TRC MEETING COMMENTS	KES
DATE	REVISIONS	BY

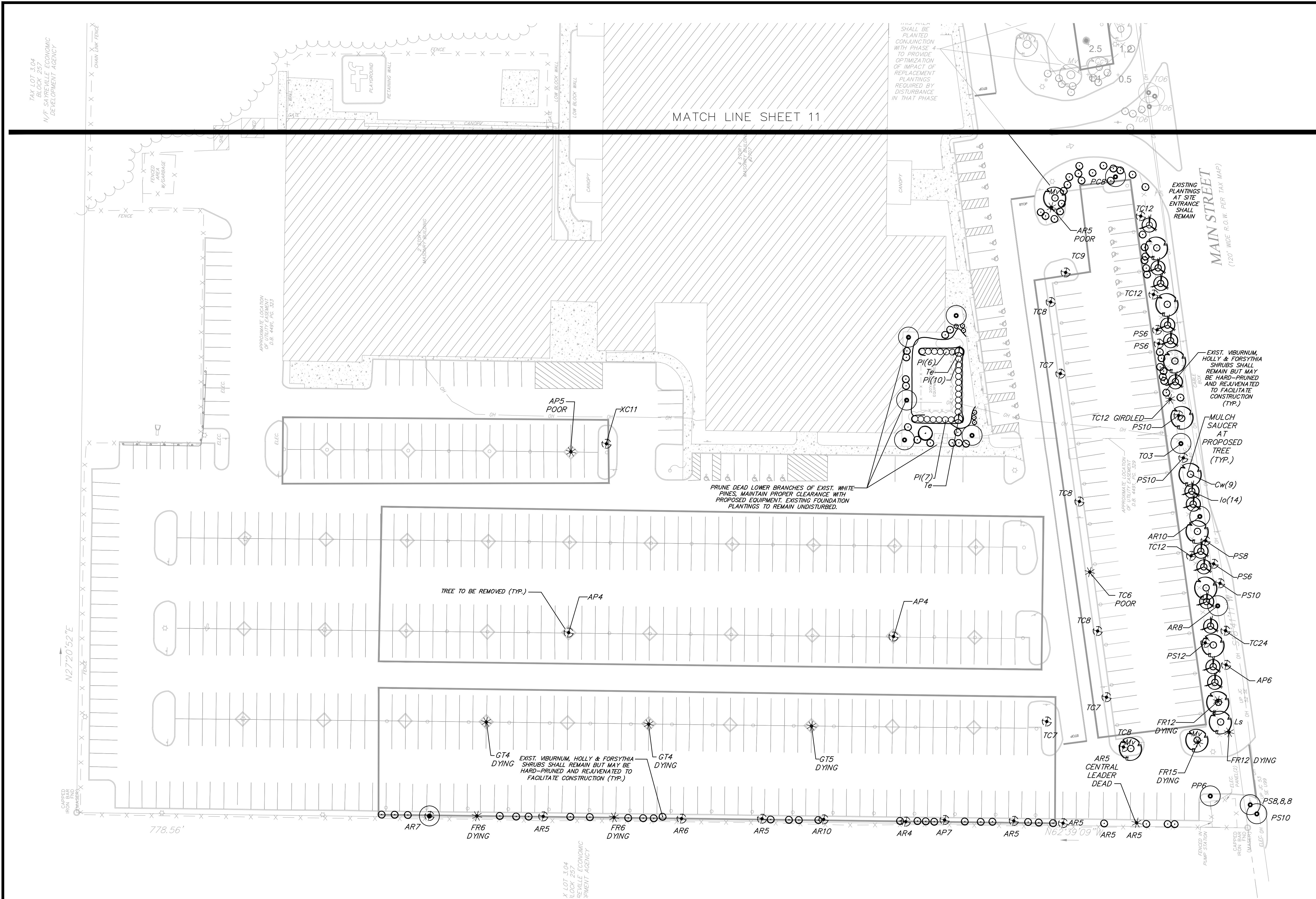
SHORE POINT ENGINEERING
 Certificate of Authorization No. 24GA28317800
 Kevin E. Shelly P.E. PE No. GE05031300
 PO Box 257, Manasquan, NJ 08736
 T: 732-924-8100 | F: 732-924-8110
 www.shorepointengineering.com

Kevin E. Shelly Date: 4/5/21
Kevin E. Shelly, P.E.
 PROFESSIONAL ENGINEER
 N.J. Lic. No. GE05031300

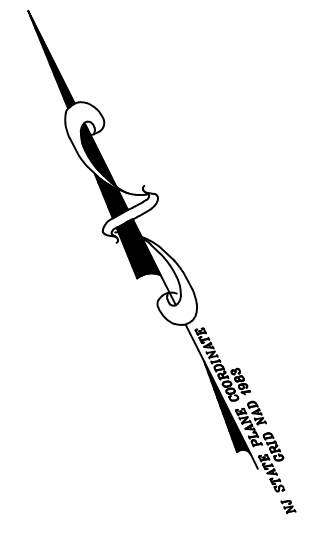
PRELIMINARY/FINAL MAJOR SITE PLAN
 EPIC CHURCH - SOLAR CARPORTS
 BLOCK 257, LOT 3.06
 SITUATED IN
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

LIGHTING PLAN	
SCALE: 1"=30'	PROJECT No.: SLA-201
RELEASED BY: KES	DATE: 01/21/21
CHECKED BY: KES	Sheet Number 9 OF 13
DRAWN BY: RZH	

File Name: C:\Users\Kvisha\OneDrive - Shore Point Engineering\Shore Point Engineering\Clients\Solar Landscape\Job\SLA-201 - Epic Church - Solar Carports - Epic Church - Sayreville\DWG\06-L&L.dwg
 Plot time: Apr 08, 2021 9:14am



MATCH LINE SHEET 11



PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	NOTES	PLANT TYPE
Cc	<i>Cercis canadensis</i>	EASTERN REDBUD	3	2.5"-3.0" CALIPER	B&B	DOT
Cw	<i>Crataegus viridis</i> 'Winter King'	WINTER KING GREEN HAWTHORN	15	2.5"-3.0" CALIPER	B&B	DOT/DST
h	<i>Ilex opaca</i>	AMERICAN HOLLY	24	5"-6" HT.	B&B	EBT
La	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	SLENDER SILKPOCKETE COLUMNAR SWEETGUM	1	2.5"-3.0" CALIPER	B&B OR CONTAINER	DCST
Mv	<i>Magnolia virginiana</i>	SWEETBAY MAGNOLIA	3	10"-12" HT.	B&B OR CONTAINER	SEOT
Pl	<i>Prunus laurocerasus</i> 'Schlippenfels'	SHIP LAUREL	23	36"-42"	B&B OR CONTAINER	ETS
Te	<i>Thuja occidentalis</i> 'Smaragd'	EMERALD ARBORVITAE	2	5"-6" HT.	B&B OR CONTAINER	ECT

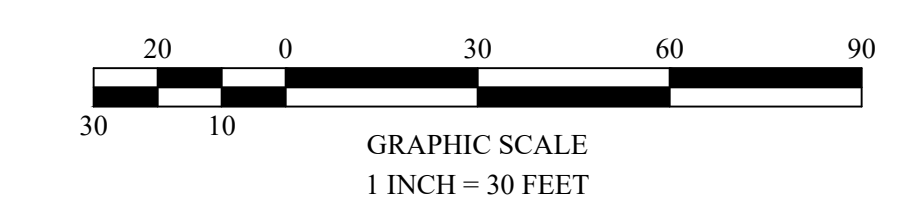
EXISTING TREE SPECIES

KEY	BOTANICAL NAME	COMMON NAME
AP	<i>Acer platanoides</i>	NORWAY MAPLE
AR	<i>Acer rubrum</i>	RED MAPLE
FR	<i>Fraxinus pennsylvanica</i>	GREEN ASH
GT	<i>Geodidia villosa</i>	HONEYLOCUST
PC	<i>Pinus cottiniana</i>	GALLERY PEAR
PS	<i>Pinus strobus</i>	EASTERN WHITE PINE
PP	<i>Picea abies</i> 'Pendula'	WEeping NORWAY SPRUCE
TC	<i>Tilia cordata</i>	LITTLELEAF LINDEN
TE	<i>Thuja occidentalis</i>	EASTERN ARBORVITAE
XC	<i>X Cupressocyparis leylandii</i>	LEYLAND CYPRUSS

EXISTING TREE REMOVAL

PHASE	DEAD AND IMPAIRED* TREES	4"-16" DBH TREES	24" DBH TREE
1	3	19	-
2	6	19	1
3	1	3	-
4	5	10	-

* A NUMBER OF EXISTING TREES ON SITE HAVE SERIOUS FLAWS, AS NOTED ON THE PLAN AND WARRANT REMOVAL. CONDITIONS INCLUDE: DEAD OR TO TOP-PRUNED TRUNKS; STRESS AND DIE-BACK FROM ENVIRONMENTAL CONDITIONS; DEAD BRANCHING AND STRUCTURAL ISSUES; VERTICILLIUM WILT; EMERALD ASH BORERS; BARK AND SAPWOOD INJURIES; WINDTHROW, AND OTHER CAUSES.



BRYCE BENNETT LANDSCAPE ARCHITECT
 NEW JERSEY LICENSED LANDSCAPE ARCHITECT No. A580036600
 MEMBER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS
 119 FRANCE STREET
 PO BOX 1911
 TOMS RIVER, NJ 08754-1911
 732.270.5550
 bennettbp@aol.com
 Bryce M. Bennett
 5 APRIL 2021
 BRYCE M. BENNETT - NJ LICENSED LANDSCAPE ARCHITECT DATE
ALL RIGHTS RESERVED. REPRODUCTION OR USE OF ANY PORTION OF THE LANDSCAPE ARCHITECTURAL PORTION OF THIS PLAN IS PROHIBITED WITHOUT WRITTEN PERMISSION OF SHORE POINT ENGINEERING.

DATE	REVISIONS	BY



Certificate of Authorization No. 24GA28317800
 Kevin E. Shelly P.E., PE No. GE05031300
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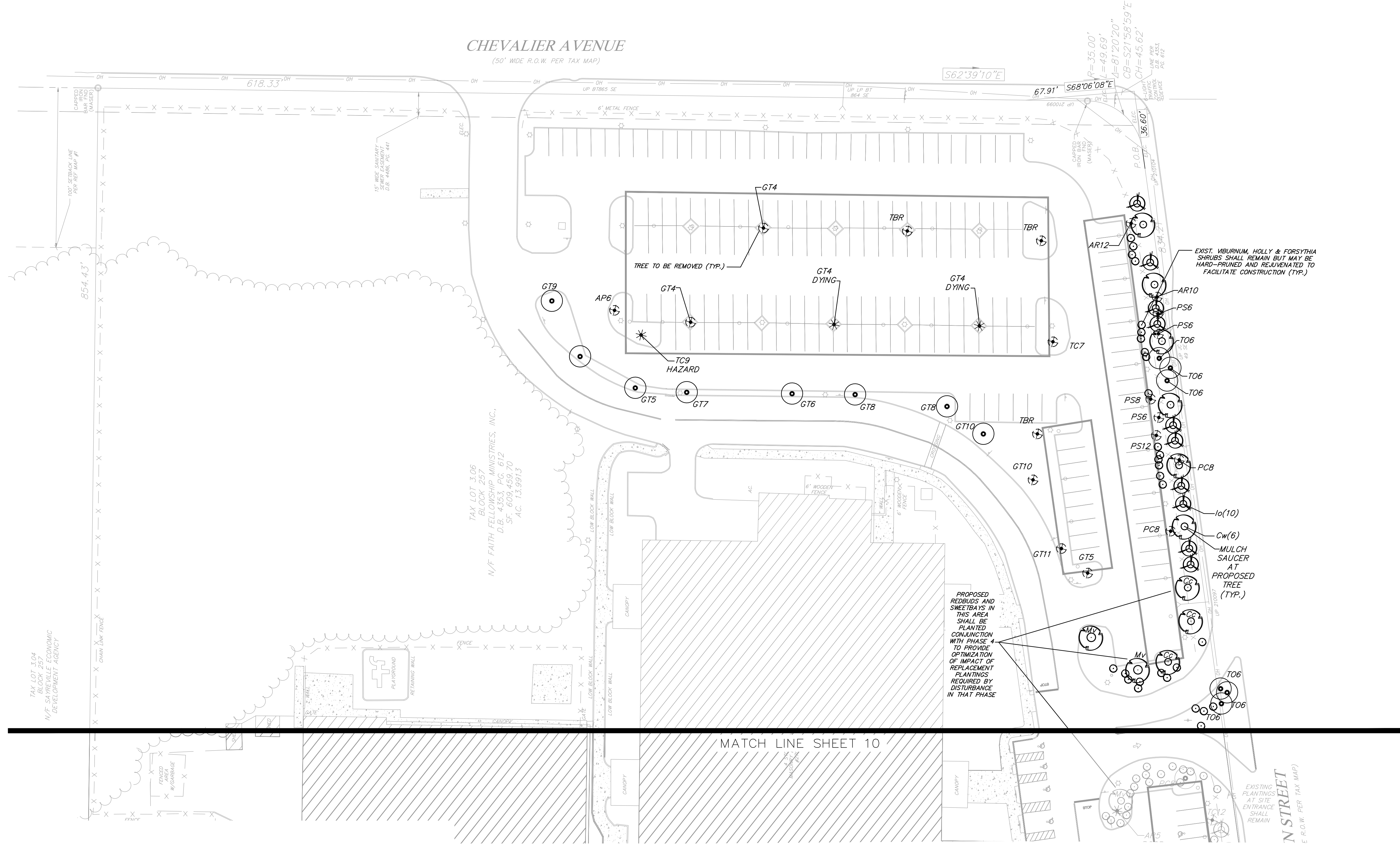
KS Date: 4/5/21
 Kevin E. Shelly, P.E.
 PROFESSIONAL ENGINEER
 N.J. Lic. No. GE05031300

PRELIMINARY/FINAL MAJOR SITE PLAN
EPIC CHURCH - SOLAR CARPORTS
 BLOCK 257, LOT 3.06

SITUATED IN
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

LANDSCAPE PLAN	
SCALE: 1"=30'	PROJECT No.: SLA-201
RELEASED BY: KES	DATE: 04/05/21
CHECKED BY: KES	Sheet Number
DRAWN BY: RZH	10 OF 13

File Name: C:\Users\kneha\OneDrive - Shore Point Engineering\Shore Point Engineering\Clients\Solar Landscaps\Joba\SLA-201 - Epic Church - Sayreville\DWG\06-L&L.dwg
 Plot Time: Apr 08, 2021 - 9:16am



BRYCE BENNETT LANDSCAPE ARCHITECT
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 bennettbryce@gmail.com
 Bryce M. Bennett
 5 APRIL 2021
 BRYCE M. BENNETT - NJ LICENSED LANDSCAPE ARCHITECT DATE

DATE	REVISIONS	BY

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Kevin E. Shelly Date: 4/5/21
Kevin E. Shelly, P.E.
 PROFESSIONAL ENGINEER
 N.J. Lic. No. GE05031300

PRELIMINARY/FINAL MAJOR SITE PLAN
EPIC CHURCH - SOLAR CARPORTS
 BLOCK 257, LOT 3.06
 SITUATED IN
 BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY

LANDSCAPE PLAN

SCALE: 1"=30'	PROJECT No.: SLA-201
RELEASED BY: KES	DATE: 04/05/21
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DRAWN BY: RZH	11 OF 13

PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	NOTES	PLANT TYPE
Cc	<i>Cercis canadensis</i>	EASTERN REDBUD	3	2.5"-3.0" CALIPER	B&B	DOT
Cw	<i>Crataegus viridis</i> 'Winter King'	WINTER KING GREEN HAWTHORN	15	2.5"-3.0" CALIPER	B&B	DOT/DST
h	<i>Ilex opaca</i>	AMERICAN HOLLY	24	5"-6" HT.	B&B	EBT
La	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	SLENDER SILHOUETTE COLUMNAR SWEETGUM	1	2.5"-3.0" CALIPER	B&B OR CONTAINER	DCST
Mv	<i>Magnolia virginiana</i>	SWEETBAY MAGNOLIA	3	10"-12" HT.	B&B OR CONTAINER	SEOT
Pl	<i>Prunus laurocerasus</i> 'Schipholensis'	SHIP LAUREL	23	36"-42"	B&B OR CONTAINER	ETS
Te	<i>Thuja occidentalis</i> 'Smaragd'	EMERALD ARBORVITAE	2	5"-6" HT.	B&B OR CONTAINER	ECT

CONTRACTOR: SUBSTITUTIONS NOT PERMITTED; CONTACT LANDSCAPE ARCHITECT WITH SOURCING & AVAILABILITY QUESTIONS.
 THE CONTRACTOR ASSUMES AND BEARS ALL RISK IN VARYING FROM THE PLAN, PLANTING SCHEDULE OR SPECIFICATIONS.

EXISTING TREE SPECIES

KEY	BOTANICAL NAME	COMMON NAME
AP	<i>Acer platanoides</i>	ACER PLATANOIDES
AR	<i>Acer rubrum</i>	RED MAPLE
FR	<i>Fraxinus pennsylvanica</i>	GREEN ASH
GT	<i>Gleditsia triacanthos</i>	HONEYLOCUST
PC	<i>Pinus strobus</i>	GALLERY PEAR
PP	<i>Pinus strobus</i>	EASTERN WHITE PINE
PP	<i>Picea abies</i> 'Pendula'	WEeping NORWAY SPRUCE
TE	<i>Tilia cordata</i>	LITTLELEAF LINDEN
TE	<i>Thuja occidentalis</i>	EASTERN ARBORVITAE
XC	<i>X Cupressocyparis leylandii</i>	LEYLAND CYPRRESS

EXISTING TREE REMOVAL

PHASE	DEAD AND IMPAIRED TREES	4"-16" DBH TREES	24" DBH TREE
1	3	19	-
2	6	19	1
3	1	3	-
4	5	10	-

* A NUMBER OF EXISTING TREES ON SITE HAVE SERIOUS FLAWS, AS NOTED ON THE PLAN AND WARRANT REMOVAL. CONDITIONS INCLUDE: DEAD OR TO TOP-PRUNED TRUNKS; STRESS AND DIE-BACK FROM ENVIRONMENTAL CONDITIONS; DEAD BRANCHING AND STRUCTURAL ISSUES; VERTICILLIUM WILT; EMERALD ASH BORERS; BARK AND SAPWOOD INJURIES; WINDTHROW, AND OTHER CAUSES.

