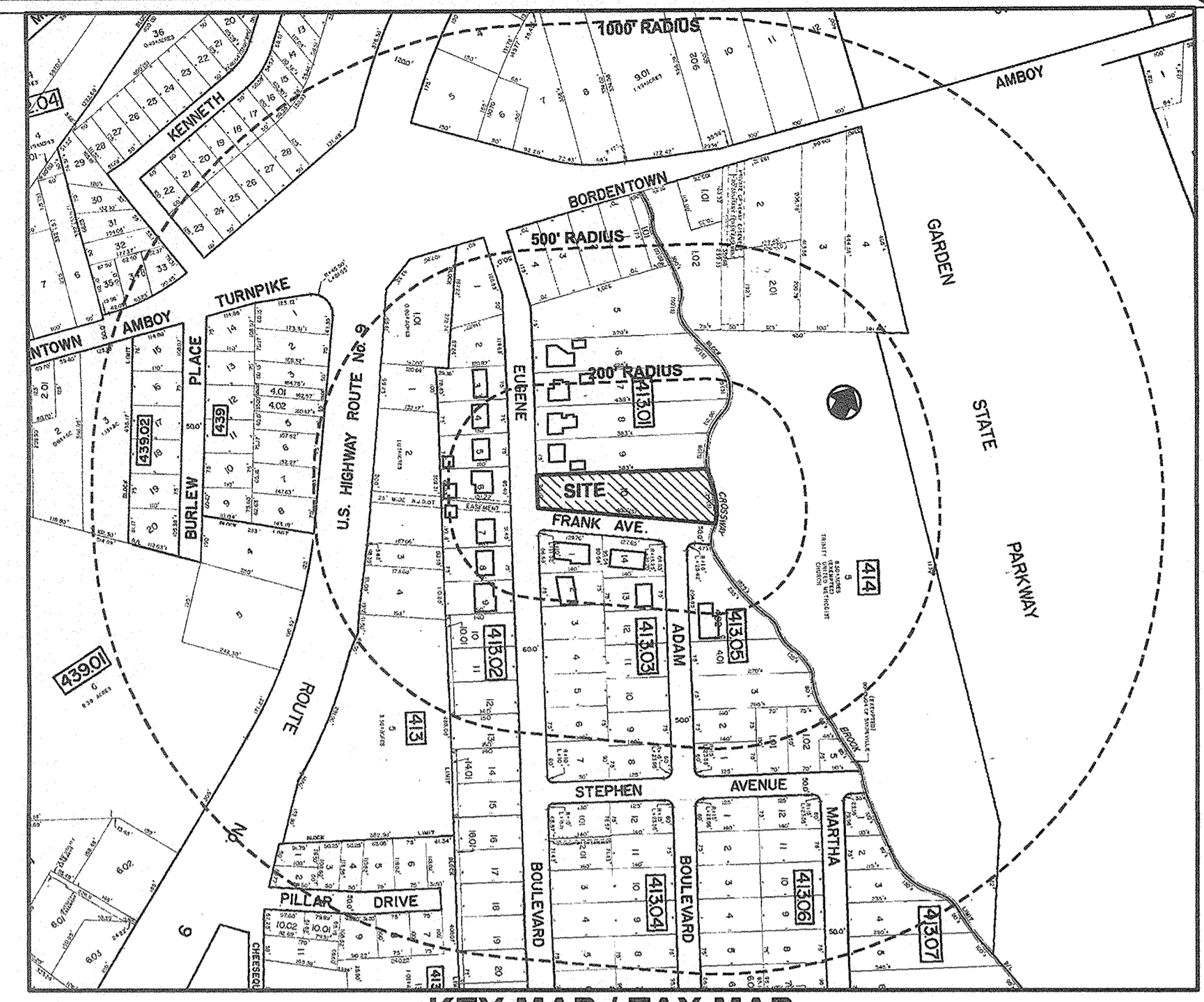


**ZONING MAP**  
SCALE: N.T.S.

**PROPERTY OWNERS WITHIN 200':**

BLOCK	LOT	OWNER'S NAME & ADDRESS	BLOCK	LOT	OWNER'S NAME & ADDRESS
413.01	8	CHRISTOPHER J. & DONNA WILLIAMS 8 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.02	1	FELIX MEZZANA 2 FRANK AVENUE SOUTH AMBOY, NJ 08879
413.01	9	FRANK S. BUCZEK, JR. 10 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.02	2	VINCENT T. & VICTORIA LISNIOCHA 18 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879
413.02	3	JAMES & NANCY WILLIAMS 5 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.03	3	SANJAY VERMA & SHEVALI GHAI 20 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879
413.02	4	ROBERT S. SHARO 7 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.03	12	ASA SERVICES, LLC 315 SCHMIDT PLACE FORDS, NJ 08853
413.02	5	JOHN F. MARILLO 7 DOMINICK DRIVE MORRIS TOWNSHIP, NJ 08851	413.03	13	RONALD VAZQUEZ & MARGARITA SANCHEZ 4 ADAM BOULEVARD SOUTH AMBOY, NJ 08879
413.02	6	RICHARD T. & LISA STAREK 11 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.03	14	RUSSELL & FRANCES KNOELL, JR. 4 FRANK AVENUE SOUTH AMBOY, NJ 08879
413.02	7	MARIANNE MURPHY 13 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.05	4.02	PAUL & EDITH SOHAYDA 5 ADAM BOULEVARD SOUTH AMBOY, NJ 08879
413.02	8	RALPH H. SZESIKO-ESTATE 15 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	414	5	TRINITY UNITED METHODIST CHURCH 915 BORDENTOWN AVENUE SOUTH AMBOY, NJ 08879
			EASEMENT		NEW JERSEY DEPARTMENT OF TRANSPORTATION 1030 PARKWAY AVENUE EWING, NJ 08060



**KEY MAP / TAX MAP**  
SCALE: 1" = 300'

**GENERAL NOTES:**

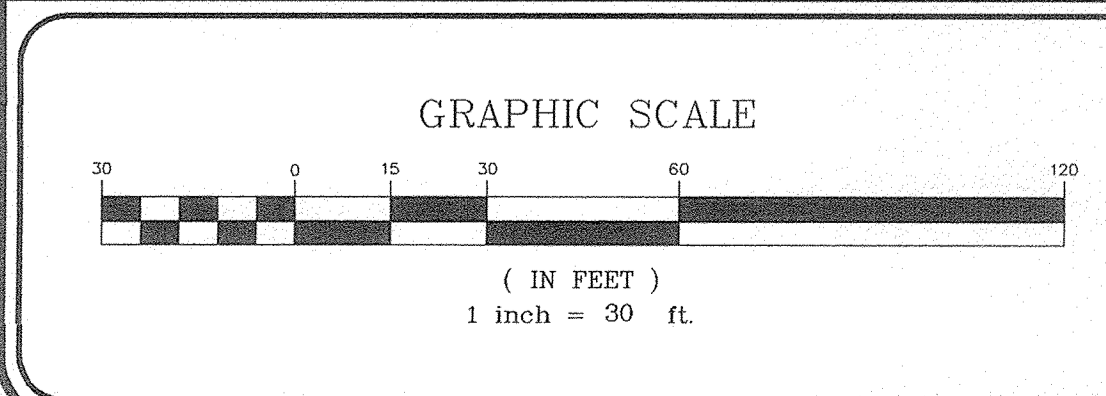
- BOUNDARY & TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM A SURVEY TITLED "BOUNDARY AND TOPOGRAPHICAL SURVEY, TAX MAP LOT 10 BLOCK 413.01, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY TAX MAP SHEET No. 119" PREPARED BY JUAN J. RODRIGUEZ, P.L.S. N.J. LICENSE #240504323000 OF AMERTECH ENGINEERING INC., DATED 5/24/18. VERTICAL DATUM UTILIZED IS NAVD 1988 AND HORIZONTAL DATUM UTILIZED IS BASED ON N.J.S.P.C.S. NAD 83. VERTICAL DATUM CONVERSION IS NAVD1988 = NGVD1929 - 1.07.
- THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, AND/OR IF IN THE OPINION OF THE CONTRACTOR SUCH CONDITIONS SHOULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- BASEMENT FLOOR TO BE SET AT A MINIMUM OF 1 FOOT HIGHER THAN THE SEASONAL HIGH WATER TABLE ELEVATION.
- AS PER THE "NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP TITLED "MIDDLESEX COUNTY, NEW JERSEY (ALL JURISDICTIONS), PANEL 158 OF 286, COMMUNITY PANEL NUMBER 34023C0158F, EFFECTIVE DATE, JULY 6, 2010", PORTION OF THE SITE IS LOCATED IN ZONE AE, AND THE FLOOD HAZARD ELEVATION IS 54.
- CABLE, ELECTRIC, GAS, AND TELEPHONE SHALL BE SUPPLIED BY THEIR RESPECTIVE UTILITY COMPANIES AND CONSTRUCTED UNDERGROUND.
- THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSES OF OBTAINING MUNICIPAL SITE PLAN AND OTHER AGENCY APPROVAL AND SHALL NOT BE UTILIZED AS A CONSTRUCTION DOCUMENT UNTIL EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
- THE PROPOSED BUILDINGS WILL BE SERVED BY PUBLIC SANITARY SEWER AND WATER EXISTING IN THE PUBLIC RIGHT OF WAY.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, AND/OR IF IN THE OPINION OF THE CONTRACTOR SUCH CONDITIONS SHOULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING:  
A. CURRENT PREVAILING MUNICIPAL, COUNTY AND/OR FEDERAL REGULATIONS, SPECIFICATIONS, AND STANDARDS,  
B. CURRENT JURISDICTIONAL UTILITY COMPANY/AUTHORITY SPECIFICATIONS, AND STANDARDS  
C. CURRENT UNIFORM CONSTRUCTION CODE AND BARRIER-FREE DESIGN REGULATIONS.
- CLEARING AND GRADING SHALL BE PERFORMED IN STRICT CONFORMANCE WITH SECTION 200 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION ENTITLED "EARTHWORK".
- ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL AND ALL AREAS SEEDED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- SITE GRADING & UTILITY WORK ARE TO BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO EXISTING VEGETATION AND TREES. ALL AREAS NOT AFFECTED BY CONSTRUCTION ARE TO REMAIN NATURAL AND UNDISTURBED.
- ALL EXISTING OR PROJECT GENERATED DEBRIS IS TO BE REMOVED AND PROPERLY DISPOSED ACCORDING TO ALL APPLICABLE REGULATIONS.

**ZONING SCHEDULE - R-10**  
LAND USE = RESIDENTIAL

SITE DATA	REQUIRED	EXISTING (LOT 10)	PROPOSED (LOT 10.01)	PROPOSED (LOT 10.02)	PROPOSED (LOT 10.03)
MINIMUM LOT AREA / CORNER LOT	10,000 / 11,875 SF	37,917.9 SF	13,352.9 SF	10,533.4 SF	14,031.6 SF
MINIMUM LOT WIDTH / CORNER LOT	100 / 125 FT.	76.93 FT.*	76.93 FT.*	105.03 FT.	131.24 FT.
MINIMUM LOT DEPTH / CORNER LOT	100 / 100 FT.	388.35 FT.	160.55 FT.	100.29 FT.	115.06 FT.
MINIMUM FRONT YARD SETBACK	30 FT.	37.4 FT.	37.4 FT.	31 FT.	31 FT.
MINIMUM SIDE YARD SETBACK	10 FT.	10 FT.	10 FT.	20 FT.	11 FT.
MINIMUM TOTAL SIDE YARD SETBACK	25 FT.	305.7 FT.	88.9 FT.	47.0 FT.	83.2 FT.
MINIMUM REAR YARD SETBACK	25 FT.	10 FT.*	10 FT.*	29.8 FT.	27.2 FT.
MAXIMUM BUILDING HEIGHT	35 FT. or 2.5 STORIES	≤30 FT. / 1.5 STORIES	≤30 FT. / 1.5 STORIES	≤35 FT. or 2.5 STORIES	≤35 FT. or 2.5 STORIES
MAXIMUM LOT COVERAGE-BUILDINGS	20%	5.9% ±	16.7% ±	19.8%	12.5%
MAXIMUM LOT COVERAGE-BUILDING & PAVEMENT	40%	20.9% ±	32.6% ±	27.3%	20.5%

\* EXISTING VARIANCE

⊗ = EXISTING TREES TO BE REMOVED



**OWNER**  
MARCUS BURNETT  
1 FRANK AVENUE  
SOUTH AMBOY, NJ 08879

**APPLICANT**  
CREATIVE MODULAR HOMES  
C/O RICHARD BURNETT &  
MARK IGNORMIRELLO  
224 RT.18  
EAST BRUNSWICK, NJ 08816

NO.	REVISION	DATE	Dr./Ck
3	REV. PER ONE LETTER DATED 7/13/19	7/18/19	GRD/SA
2	REV. PER ONE REVIEW LETTER DATED 10/26/18	11/22/18	GRD/SA
1	REV. PER ONE REVIEW LETTER DATED 9/20/18	9/28/18	GRD/SA

CAD#:	DESIGN BY:	DATE:
18-011 MINOR SUB.	SA	7/9/18
PB#:	DRAWN BY:	SCALE:
-	JA	1"=30'
BOOK#:	Checked by:	FILE NO.:
-	SA	18-011

**AMERTECH ENGINEERING, INC.**  
ENGINEERS, SURVEYORS AND PLANNERS  
757 ROUTE 3000 AVENUE, NORTH BRUNSWICK, NJ 08902  
(732) 238-3333 • FAX (732) 238-3333  
E-MAIL: amertech@amertecheng.com

*Sharif H. Aly*  
**SHARIF H. ALY**  
NEW JERSEY PROFESSIONAL ENGINEER LICENSE, NO. 34669

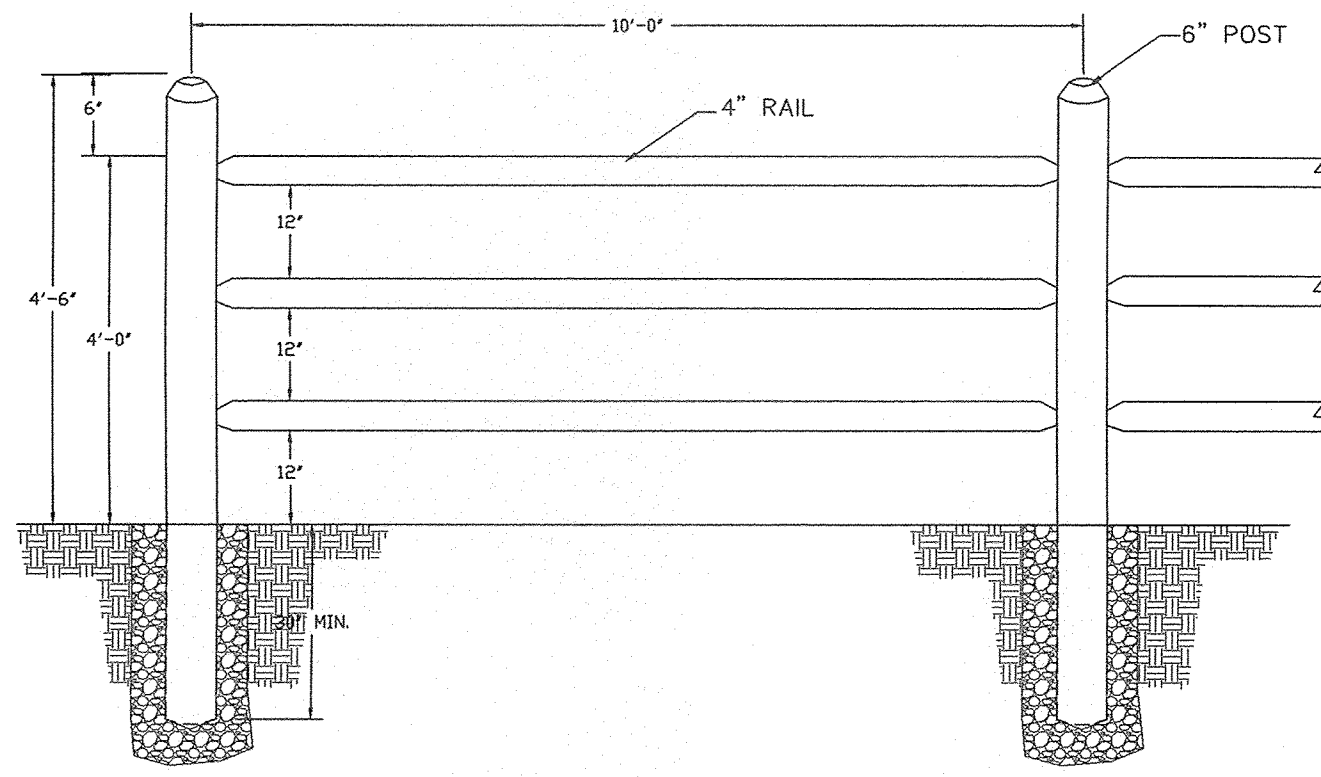
MINOR SUBDIVISION  
TAX MAP LOT 10 in BLOCK 413.01  
BOROUGH OF SAYREVILLE  
MIDDLESEX COUNTY, NEW JERSEY  
TAX MAP SHEET 119

APPROVED BY THE ZONING BOARD OF THE BOROUGH OF SAYREVILLE AT THE REGULAR MEETING OF \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
BOROUGH ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

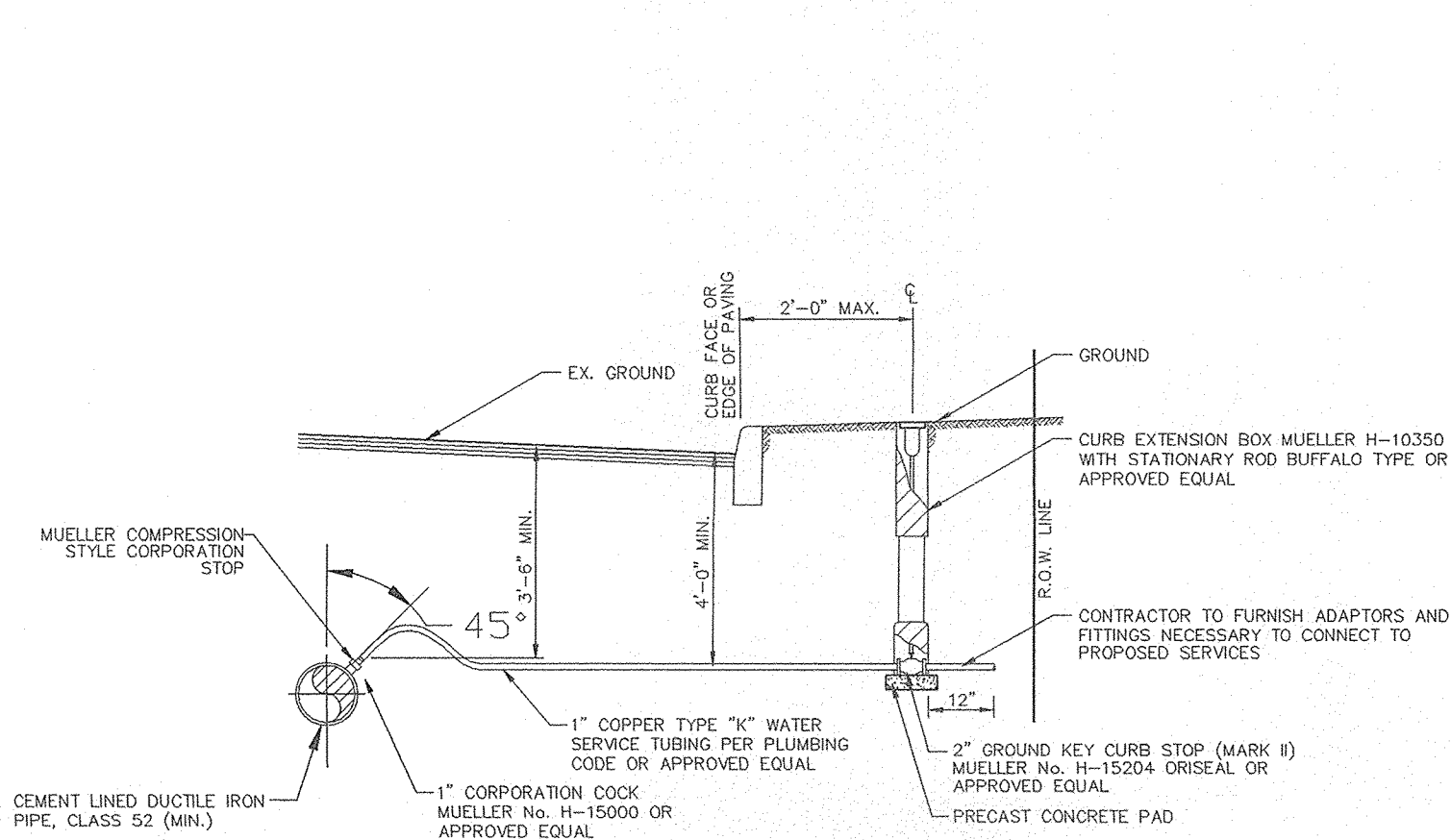
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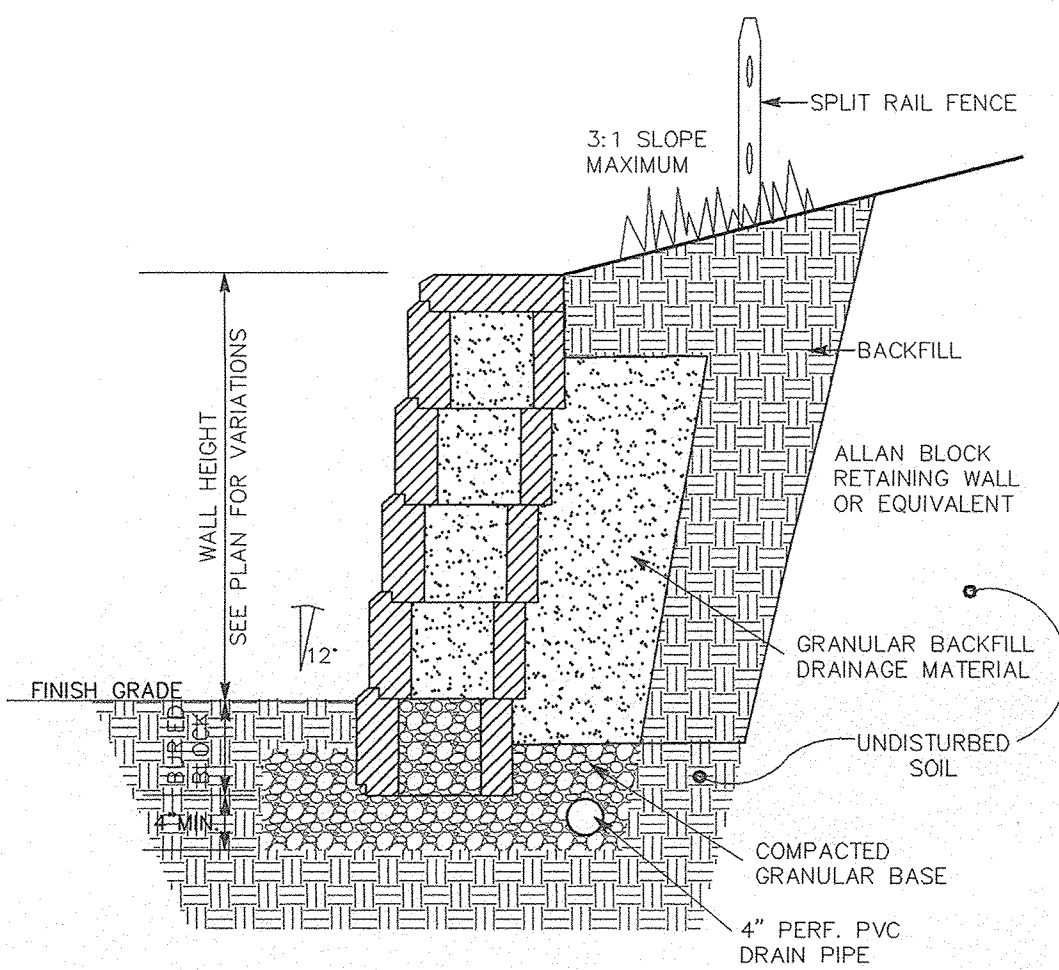


**SPLIT RAIL/POST & RAIL FENCE DETAIL**

- NOTES:
1. POSTS & RAILS TO BE WOOD OR VINYL, AS SELECTED BY OWNER
  2. RAILS TO HAVE TAPERED ENDS INSERTED INTO POSTS
  3. POST HOLES TO BE BACKFILLED WITH 3/4" DIA. CRUSHED ANGULAR STONE
  4. ALL WOOD SHALL BE PRESSURE TREATED IN ACCORDANCE WITH ANPA STANDARD C1-92
  5. WHERE VINYL FENCE IS SELECTED BY OWNER, CONTRACTOR SHALL COMPLY WITH MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION

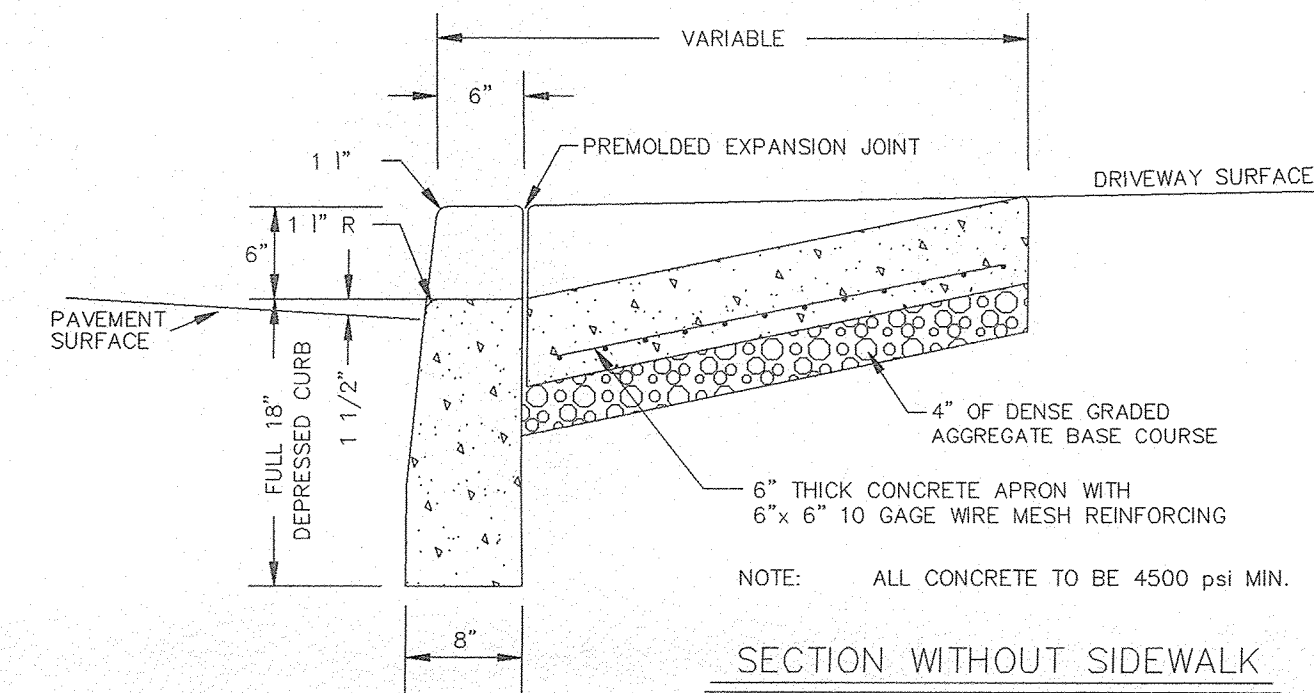


**WATER SERVICE CONNECTION DETAIL**  
N.T.S.

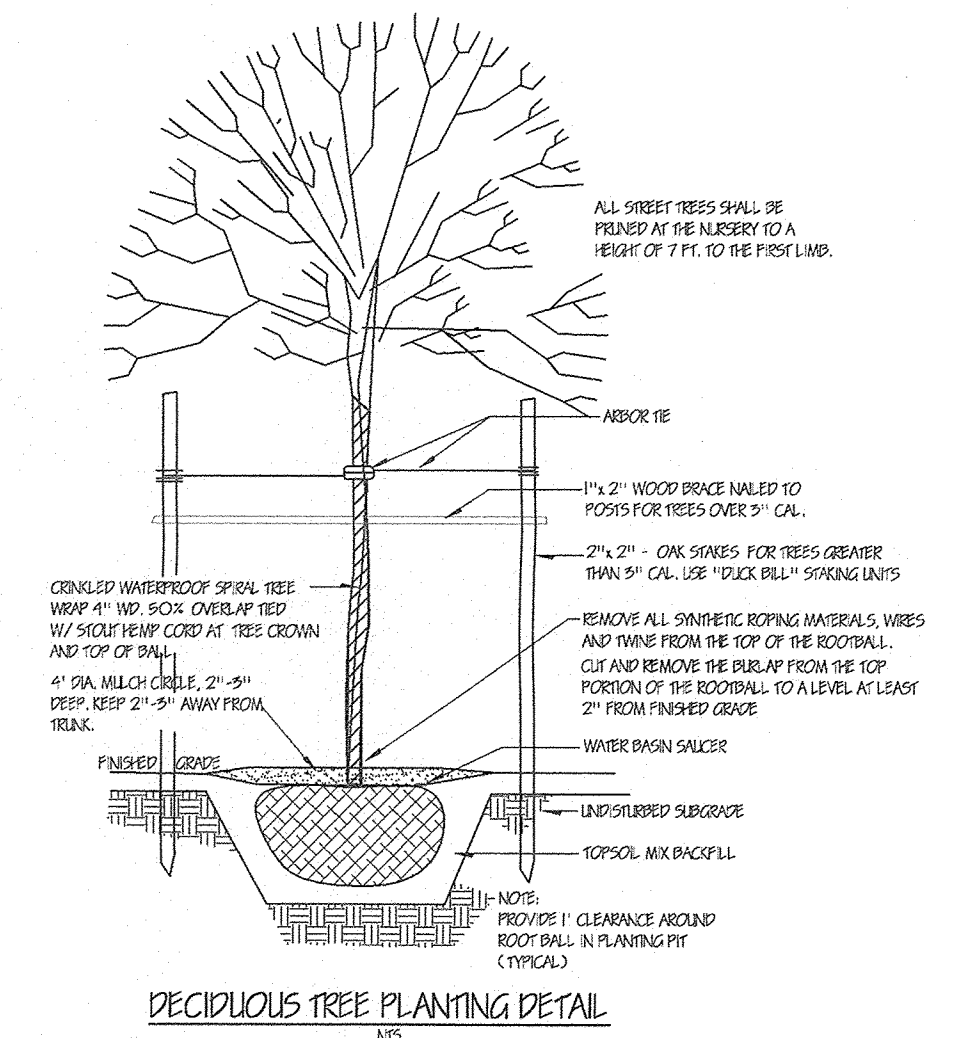


**BLOCK RETAINING WALL DETAIL**

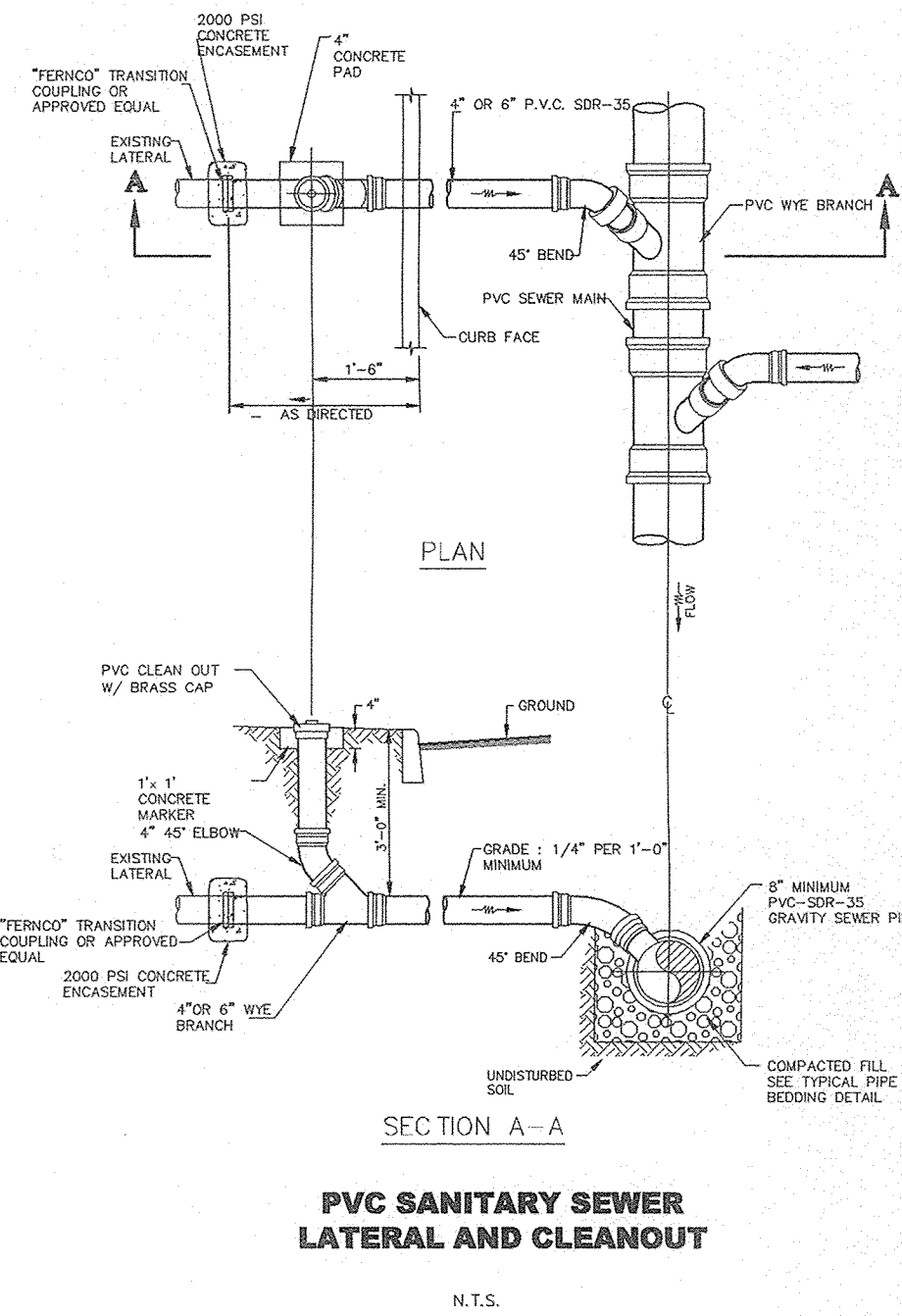
- BLOCK RETAINING WALL NOTES:
1. REFER TO PLAN FOR LOCATION AND HEIGHT OF WALLS.
  2. INSTALLATION OF WALLS AND REINFORCEMENT OF WALLS SHALL BE IN ACCORDANCE WITH MANUFACTURERS DESIGN, SPECIFICATIONS AND RECOMMENDATIONS.
  3. MANUFACTURERS CALCULATIONS AND CUT SHEETS SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
  4. GEOTEXTILE REINFORCING SHALL BE PROVIDED AS REQUIRED BY THE MANUFACTURER BASED ON THE MAXIMUM WALL HEIGHT. REINFORCING FOR THE MAXIMUM HEIGHT OF WALL SHALL BE SIMILARLY INSTALLED TO THE LOWER WALLS TO MAINTAIN CONSISTENCY IN THE STRENGTH OF THE WALL.



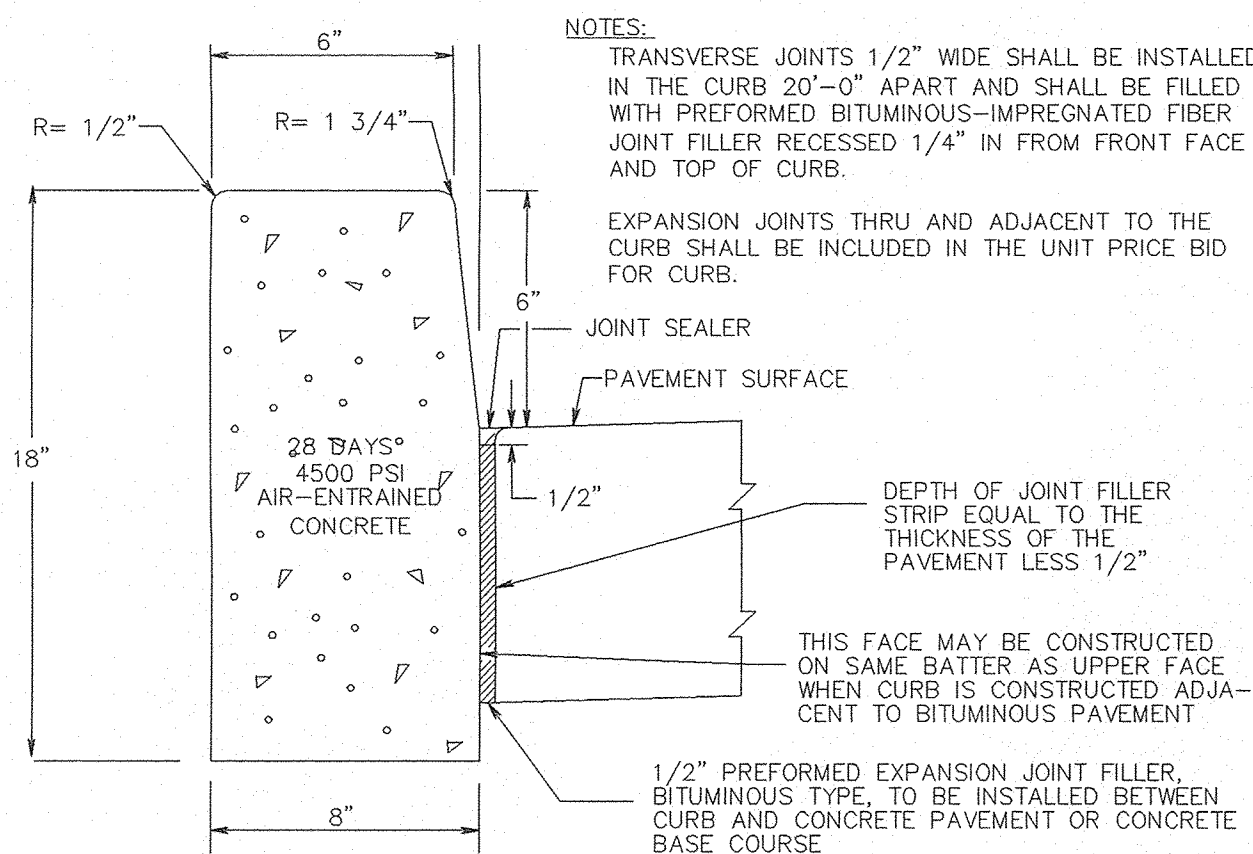
**DRIVEWAY ENTRANCE  
DEPRESSED CURB, DRIVEWAY APRON**  
N.T.S.



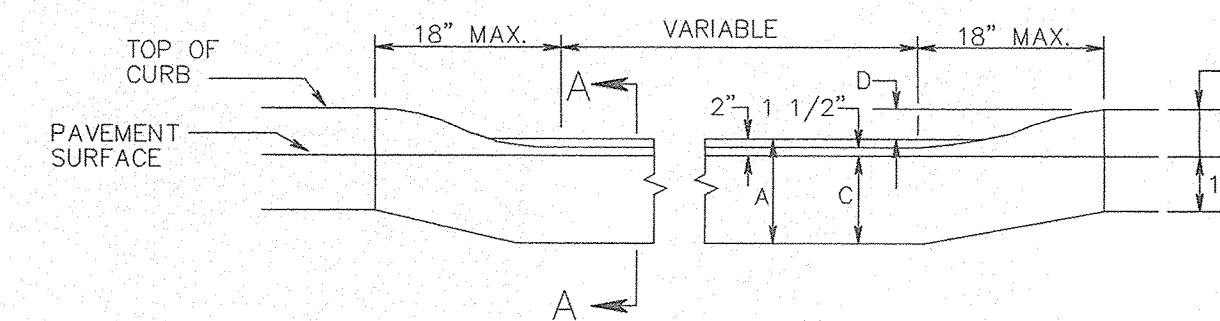
**DECIDUOUS TREE PLANTING DETAIL**  
N.T.S.



**PVC SANITARY SEWER LATERAL AND CLEANOUT**  
N.T.S.

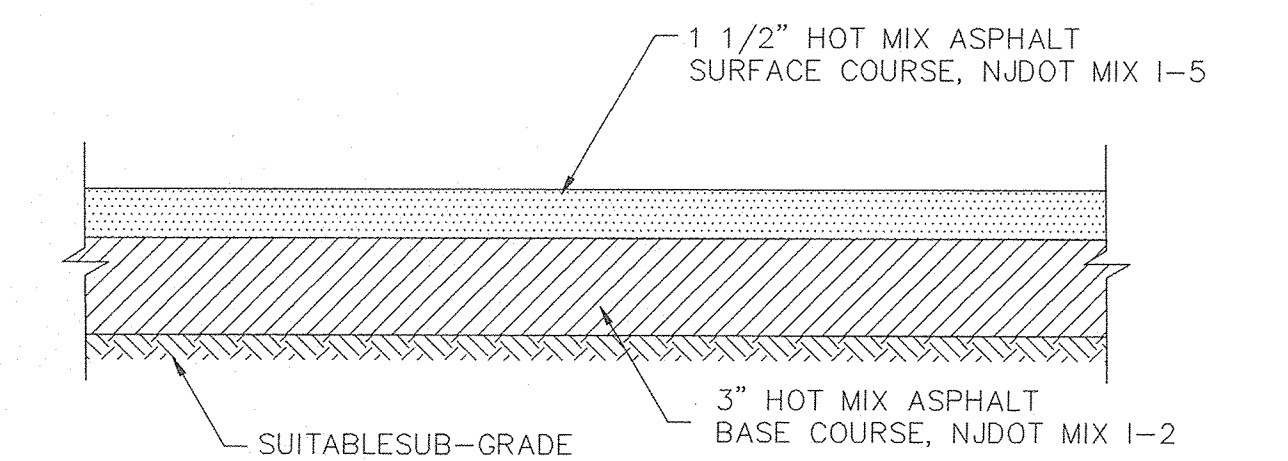


**CONCRETE VERTICAL CURB**

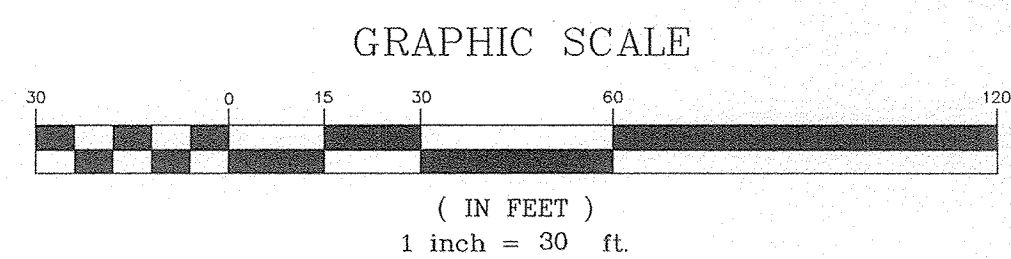


CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D
9" BY 16"	16"	4"	14"	2"
9" BY 18"	18"	6"	16"	4"
9" BY 20"	20"	8"	18"	6"

**DEPRESSED CURB DETAIL**  
N.T.S.



**DRIVEWAY PAVEMENT DETAIL**  
N.T.S.



**OWNER**  
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1 FRANK AVENUE  
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(732) 241-1234 • (732) 241-1235 • FAX (732) 241-1236  
E-MAIL: AMERTECH@AMERTECHENGINEERING.COM  
STATE OF NEW JERSEY LICENSE NO. 241000040

**SHARIF H. ALY**  
NEW JERSEY PROFESSIONAL ENGINEER LICENSE NO. 34669

MINOR SUBDIVISION  
TAX MAP LOT 10 in BLOCK 413.01  
BOROUGH OF SAYREVILLE  
MIDDLESEX COUNTY, NEW JERSEY  
TAX MAP SHEET 119

**MINOR SUBDIVISION  
CONSTRUCTION DETAILS**

JOB #:  
18-011

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