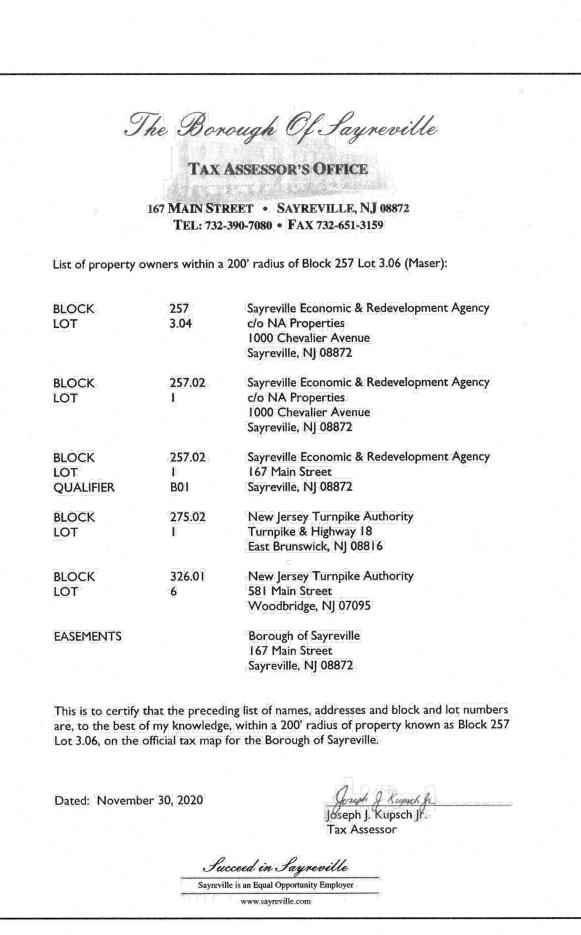


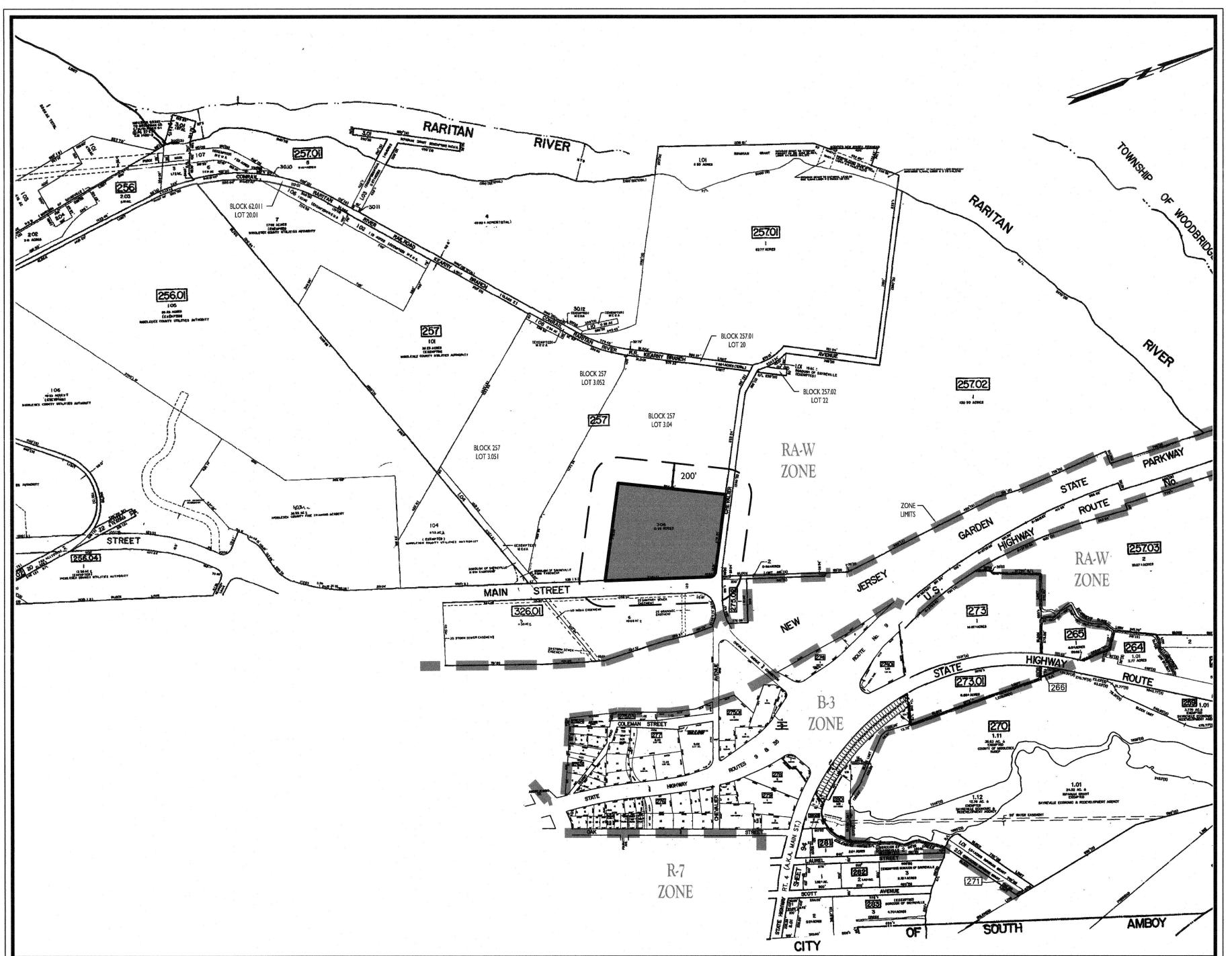
# **LOCATION MAP**

# USE VARIANCE AND PRELIMINARY AND FINAL MAJOR SITE PLAN FOR

# EPIC CHURCH

# BLOCK 257, LOT 3.06 BOROUGH OF SAYREVILLE MIDDLESEX COUNTY, NEW JERSEY





# **INDEX OF SHEETS** DESCRIPTION COVER SHEET EXISTING SITE CONSTRAINTS AND DEMOLITION PLAN DIMENSION PLAN **GRADING PLAN** UTILITY PLAN LANDSCAPE PLAN LIGHTING PLAN SOIL EROSION AND SEDIMENT CONTROL PLAN SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS PROFILES AND CONSTRUCTION DETAILS CONSTRUCTION DETAILS

# SCALE : 1" = 500'APPROVED BY THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF SAYREVILLE AT THE REGULAR MEETING OF \_\_\_\_\_\_\_DATE

**KEY & ZONING MAP** 

- ADA INSTRUCTIONS TO CONTRACTOR:
- I. THE DESIGN OF ALL PROPOSED CURB RAMPS, SIDEWALKS, AND CROSSWALKS SHALL MEET THE 2. CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN.
  - ( NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN):
  - A. PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR

TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE

NOMINALLY 2.0%) IN ANY DIRECTION. B. CURB RAMPS- SLOPES SHALL NOT EXCEED 1:12 (8.3%).

INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- C. LANDINGS -SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE
- DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER

UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM

WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL.

- E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A
- MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (I/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE

DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE

DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT

AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.

WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS). 2. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH

# **GENERAL NOTES**

- THE SUBJECT PROPERTY IS KNOWN AS LOT 3.06 IN BLOCK 257 AS SHOWN ON SHEET 91 OF THE OFFICIAL TAX MAP OF THE BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY, DATED
- 2. THE PROPERTY IS LOCATED IN THE SED-2 ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF
- 3. OWNER: EPIC CHURCH INTERNATIONAL INC 2707 MAIN STREET SAYREVILLE, NJ 08872
- APPLICANT: SAYREVILLE SEAPORT ASSOCIATES URBAN RENEWAL, L.P.

4. THE SUBJECT PROPERTY IS PRESENTLY DEVELOPED WITH A CHURCH AND ASSOCIATED SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, PARKING AREAS, STORM SEWER AND TORMWATER MANAGEMENT FACILITIES, UTILITY SERVICES, LIGHTING, AND LANDSCAPING. THE APPLICANT PROPOSES TO MODIFY THE EXISTING PARKING AREAS. INCLUDING ASSOCIATE MODIFICATIONS TO THE STORM SEWER AND STORMWATER MANAGEMENT FACILITIES, UTILITY

- 5. THE FOLLOWING VARIANCES AND/OR DESIGN WAIVERS MAY BE REQUIRED FROM THE FOLLOWING ORDINANCE SECTIONS IF DETERMINED BY THE ZONING BOARD:
- <u>VARIANCES</u> §26-84.8.b: A VARIANCE FOR THE EXISTING AND PROPOSED CHURCH USE WHEREAS CHURCHES ARE 3.681 ACRES WHEREAS A MINIMUM LOT AREA OF 30 ACRES IS REQUIRED FOR CORNER LOTS. \$26-84.8.f.5: A VARIANCE FOR AN EXISTING BUILDING HEIGHT OF APPROXIMATELY 50 FEET WHEREA: A MAXIMUM BUILDING HEIGHT OF 35 FEET IS PERMITTED §26-88.2: A VARIANCE FOR EXISTING AND PROPOSED OFF-STREET LOADING SPACE QUANTITY OF TWO (2) SPACES WHEREAS SEVEN (7) SPACES ARE REQUIRED.
- 26-96.h.4: A WAIVER FOR MAXIMUM LIGHTING INTENSITY AT THE PROPERTY LINE OF 2.4 OOTCANDLES WHEREAS 0.5 FOOTCANDLES IS PERMITTED. §26-98.1.b.1: A WAIVER FOR PROVIDING SINGLE LINE PARKING SPACE STRIPING WHEREAS HAIRPIN \$26-98 I h 8: A WAIVER FOR PROVIDING OFF-STREET PARKING WITHIN THE REQUIRED FRONT YARD SETBACK AND WITHIN 3.5 FEET OF THE SOUTHERLY PROPERTY LINE WHEREAS OFF-STREET PARKING IS NOT PERMITTED IN THE REQUIRED FRONT YARD SETBACK OR WITHIN 5 FEET OF A PROPERTY
- §30-7.c: A WAIVER FOR PROVIDING 30 TREES FOR 192 PROPOSED OR RECONSTRUCTED PARKING SPACES (1 TREE : 6.4 SPACE RATIO) WHEREAS 96 TREES ARE REQUIRED FOR 192 PARKING SPACES (
- SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY", SHEET I OF I, DATED AUGUST 26, 2016, REVISED THROUGH OCTOBER 26, 2016, PREPARED BY MASER CONSULTING P.A.

"BOUNDARY SURVEY FOR FAITH FELLOWSHIP MINISTRIES, INC., BLOCK 257, LOT 3.06, BOROUGH OF

- 7.I. A PLAN ENTITLED "PARTIAL TOPOGRAPHIC SURVEY FOR EPIC CHURCH INTERNATIONAL, INC BLOCK 257, LOT 3.06, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW IERSEY", DATED
- 7.2. A PLAN ENTITLED, "TOPOGRAPHIC SURVEY FOR SAYREVILLE SEAPORT ASSOCIATES, L.P." BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY" PREPARED BY MASER CONSULTING, P.A. DATED FEBRUARY 9, 2009 AND REVISED THRU 5/7/19.
- 7.3. PHOTOGRAMMETRIC MAPPING COMPILED AND STEREO PLOTTED BY COOPER AERIAL SURVEYS CO. BASED ON AERIAL PHOTOGRAPHS DATED JUNE 10, 2016. A MAP ENTITLED: "AERIAL TOPOGRAPHIC SURVEY FOR WEST SIDE, SAYREVILLE REDEVELOPMENT, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY", DATED
- 8. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.

JANUARY 3, 2008, PREPARED BY MASER CONSULTING, P.A.

- . THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON ARE BASED ON A PLAN ENTITLED WETI ANDS DELINEATION PLAN FOR FAITH FELLOWSHIP MINISTRIES, INC., BLOCK 257, LOT 3.06, TAX MAP SHEET 91. SITUATED IN THE BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW IERSEY DATED NOVEMBER 10, 2011, REVISED THROUGH JANUARY 26, 2012, PREPARED BY MASER CONSULTING P.A. AND VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION WITH A LETTER OF INTERPRETATION DATED: FEBRUARY 29, 2012 (FILE NO 1219-07-0003.1 FWW 110001). THE LETTER OF INTERPRETATION HAS SINCE EXPIRED AND A NEW LETTER OF INTERPRETATION IS TO BE FILED
- D. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP NUMBER 34023C0156F FOR THE BOROUGH OF SAYREVILLE, COUNTY OF MIDDLESEX, NEW
- ERSEY, DATED JULY 6, 2010 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. I. FUTURE OFFSITE IMPROVEMENT INFORMATION (E.G. FUTURE RIVERTON BOULEVARD AND FUTURE PETER FISHER BOULEVARD IMPROVEMENTS) SHOWN HEREIN IS TAKEN FROM A PLAN ENTITLED Preliminary/final major site and subdivision plan for riverton village phase I, parcel c BLOCK 257, LOTS 3.04 & 3.052, BLOCK 257.01, LOTS 1, 1.01, 4, 5, 6, 20, 1.10 & 30.12, BLOCK 257.02, LOTS 1 1.01 & 22, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY", DATED MAY 15, 2019, REVISED THROUGH NOVEMBER 20, 2020, PREPARED BY MASER CONSULTING P.A.
- 2. THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NO Qualified to determine the existence of same. Should environmental contamination OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- 13. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT
- 14. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADIACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE
- 5. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAV BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS HALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN
- 16. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL

17. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY

CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.

- I. NEW BUILDINGS AND/OR MODIFICATION TO EXISTING BUILDINGS ARE NOT PROPOSED AS PART OF THIS APPLICATION. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING
- 2. CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AND HANDICAP ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS
- CONTROL DEVICES.
- ENCLOSURES AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
- THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON
- A. NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", 2007; AS SUPPLEMENTED. 8. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS,
- C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND

STANDARDS, CONDITIONS, AND REQUIREMENTS.

D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENT

- I. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES. AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER IGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY from those represented hereon, such conditions could render the designs hereon
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND 1AY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH o" ring gaskets or internally prelubricated gasket (tylox superseal or equivalent ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPEP), AS NOTED ON THE PLAN, OR APPROVED EOUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO

PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

- WATER SERVICE IS TO BE PROVIDED FROM THE PROPOSED 12" WATER MAIN WITHIN FUTURE RIVERTON BOULEVARD (FORMERLY CHEVALIER AVENUE). PERMITTING AND CONSTRUCTION OF THE PROPOSED 12" WATER MAIN WITHIN FUTURE RIVERTON BOULEVARD BY OTHERS. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION regulations, american waterworks association standards, and borough of SAYREVILLE REGULATIONS. 8", 10", AND 12" WATER MAIN PIPE MATERIAL SHALL BE C900 PVC PIPE MADE FROM 12454 COMPOUND PER ASTM D1784 IN ACCORDANCE WITH THE DIMENSION. CHEMICAL, AND PHYSICAL REQUIREMENTS OF AWWA C900 FOR POTABLE WATER PIPE. THE WATER 1AIN PIPE SHALL BE MANUFACTURED FROM NATIONAL SANITATION FOUNDATION (NSF) APPROVED COMPOUNDS AND MEET THE REQUIREMENTS OF ANSI/NSF 61 "DRINKING WATER SYSTEM COMPONENTS - HEALTH EFFECTS". GASKETED JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D 3139 - "STANDARD SPECIFICATIONS FOR PLASTIC PRESSURE PIPES USING ELASTOMERIC SEALS" AND ASTM F477 - "STANDARD FOR ELASTOMER SEALS (GASKETS) FOR IOINING PLASTIC PIPE, ALL WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO
- 6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO THE PROPOSED SEWER MAIN WITHIN FUTURE PETER FISHER BOULEVARD, PERMITTING AND CONSTRUCTION OF THE PROPOSED SANITARY SEWER MAIN WITHIN FUTURE PETER FISHER BOULEVARD BY OTHERS. proposed sewer main extensions and manhole locations are subject to municipal REVIEW AND APPROVAL ACCORDING TO NEW IERSEY DEPARTMENT OF ENVIRONMENTAL protection regulations, pipe materials shall be pvc sdr-35, except as noted otherwise ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR JTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF the water main or with such separation expressly approved by the department oi ENVIRONMENTAL PROTECTION.
- 8. AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS), WITH WATERTIGHT JOINTS THAT IS A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWER SEAL MODEL #3501- OR
- 9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES
- . TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE

# THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

POND AND THE WET POND HAVE BEEN CONSTRUCTED.

EQUIVALENT AT DIP/PVC JOINTS.

CONSTRUCTION OF THE PROPOSED IMPROVEMENTS FOR BLOCK 257, LOT 3.06 CANNOT TAKE PLACE UNTIL THE STORMWATER COLLECTION SYSTEM ALONG CHEVALIER AVENUE (FUTURE RIVERTON BOULEVARD), PETER FISHER BOULEVARD, SOUTH AVENUE, AND THEIR CONNECTION TO THE WET

ZONING ORDINANCE CRITIQUE											
PROJECT EI	PIC CHURCH										
	OROUGH OF SAYREVILLE										
	LOCK 257, LOT 3.06										
	2001, 201, 201, 5100										
ZONE: SE	D-2										
EXISTING USE:	HURCH										
	HURCH (V)										
PERMITTED USE:	YES	NO		ONDITIONAL							
			h-mark								
DESCRIPTION	REQUIRED	EXISTING		PROPOSED							
Min. LOT AREA	30 AC.	13.991 AC. (609,438 SF)	(E)	13.681 AC. (595,930 SF)	(V						
Min. LOT WIDTH	500 FT	663.6 FT		667.9 FT							
Min. LOT DEPTH	400 FT	854.4 FT		836.4 FT							
1ax. BLDG. COVERAGE	50%	15.0% (91,543 SF)		15.4% (91,543 SF)							
Max. IMPERVIOUS COVERAGE	75%	68.5% (417,202 SF)		73.8% (439,591 SF)							
PRINCIPAL BUILDING											
Min. FRONT YARD SETBACK	100 FT	144.5 FT		144.5 FT							
Min. SIDE YARD SETBACK (ONE)	50 FT	133.0 FT		133.0 FT							
Min. SIDE YARD SETBACK (BOTH)	150 FT	N/A		N/A							
Min. REAR YARD SETBACK	100 FT	259.4 FT		N/A							
Max. BUILDING HEIGHT											
FEET	35 FT	50 FT +/-	(E)	50 FT +/-	(E)						
STORIES	2.5 STORIES	2 STORIES		2 STORIES							
OFF STREET PARKING											
AT STREET FARRING	I SPACE / 3 SEATS										
	(2,500 SEATS = 834										
NUMBER (PLACE OF WORSHIP)	SPACES)										
NOTIBER (I BACE OF WORDSHIP)	1.5 SPACES PER										
	CLASSROOM, BUT NOT										
	LESS THAN 1.0 SPACE PER										
	TEACHER AND STAFF (10										
	CLASSROOMS = 15										
NUMBER (SUNDAY SCHOOL)	SPACES)										
NUMBER (TOTAL)	849 SPACES	860 SPACES		864 SPACES							
OFF STREET LOADING											
	I SPACE / 25,000 SF + I										
	SPACE / ADDITIONAL										
	15,000 SF.										
NUMBER	(111,105 SF = 7 SPACES)	2 SPACES	(E)	2 SPACES	(E)						

(W) WAIVER REQUIRED

(E) EXISTING NON-CONFORMITY

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www.maserconsulting.com



EPIC CHURCH

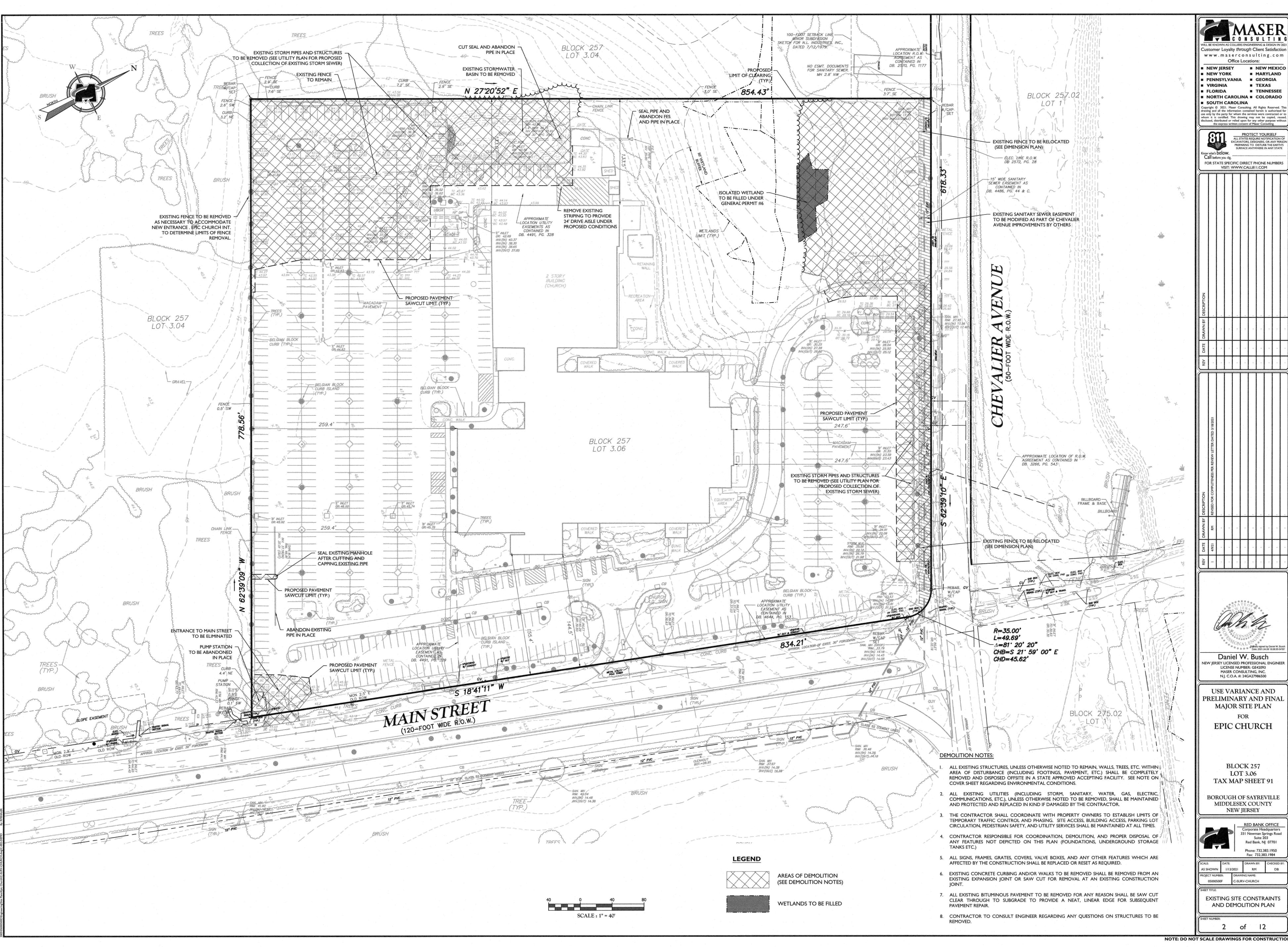
BLOCK 257 LOT 3.06

**TAX MAP SHEET 91 BOROUGH OF SAYREVILLE** MIDDLESEX COUNTY

**NEW JERSEY** RED BANK OFFICE Corporate Headquarters Suite 203 Red Bank, NJ 07701 Phone: 732.383.1950 Fax: 732.383.1984

C-CVER-CHURCH **COVER SHEET** 

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



**EXISTING SITE CONSTRAINTS** AND DEMOLITION PLAN

Daniel W. Busch

LICENSE NUMBER: GE42093 MASER CONSULTING, INC. N.J. C.O.A. #: 24GA27986500

BLOCK 257

LOT 3.06

**NEW JERSEY** 

C-SURV-CHURCH

RED BANK OFFICE Corporate Headquarters

331 Newman Springs Road

Red Bank, NJ 07701

Phone: 732.383.1950 Fax: 732.383.1984

Suite 203

Office Locations:

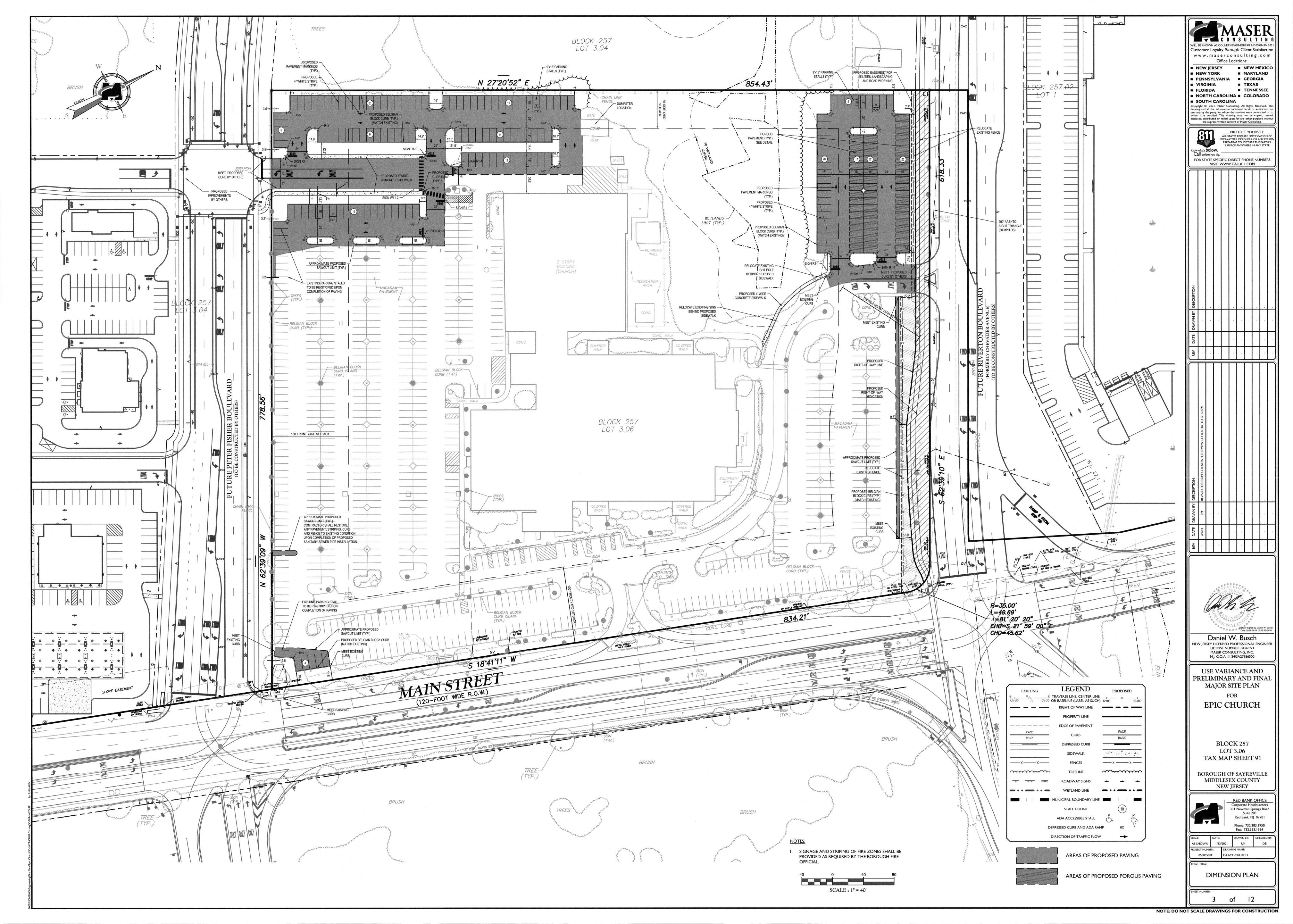
■ TEXAS

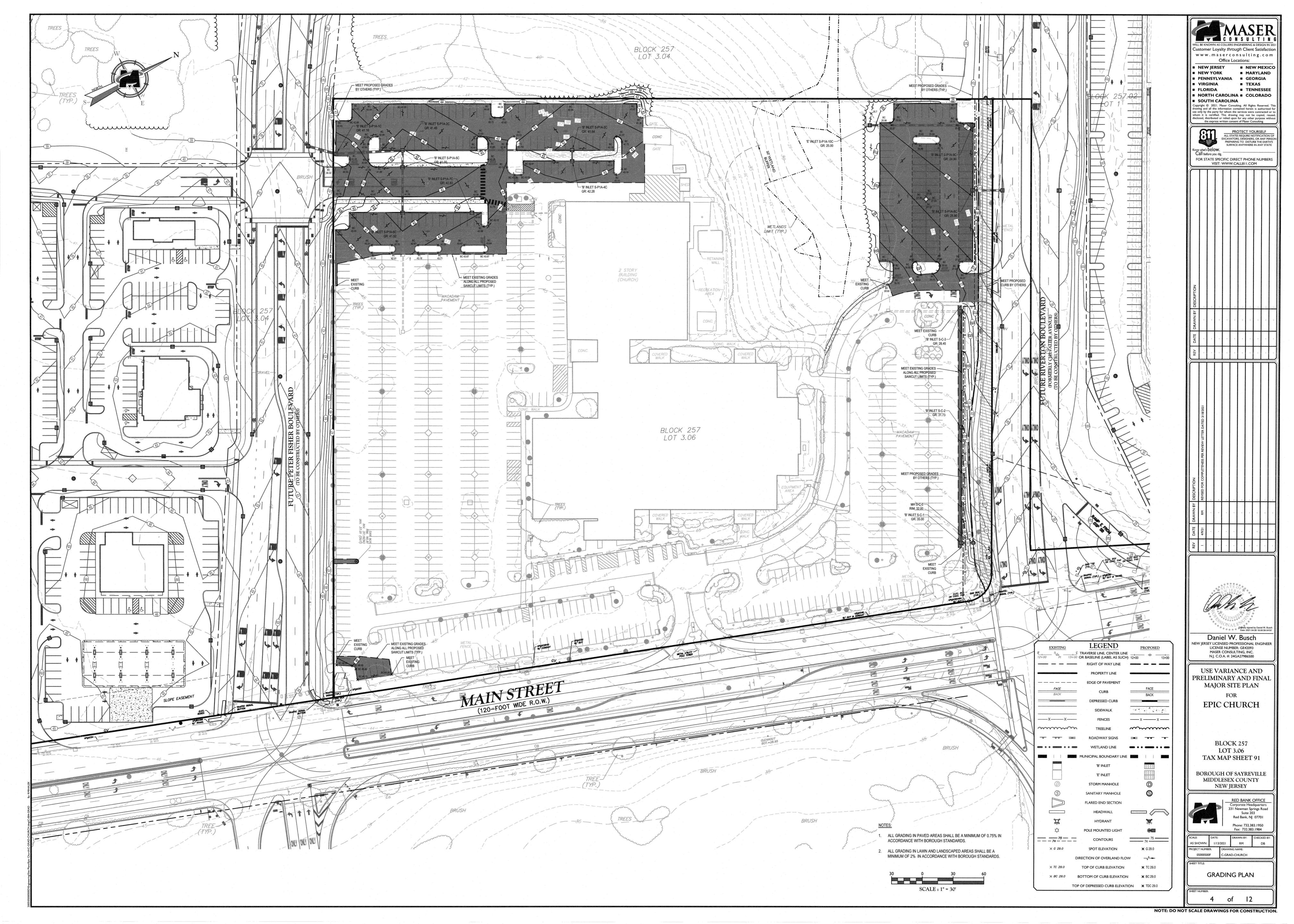
PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
EXCAVATORS, DESIGNERS, OR ANY PERSO
PREPARING TO DISTURB THE EARTH'S
SURFACE ANYWHERE IN ANY STATE

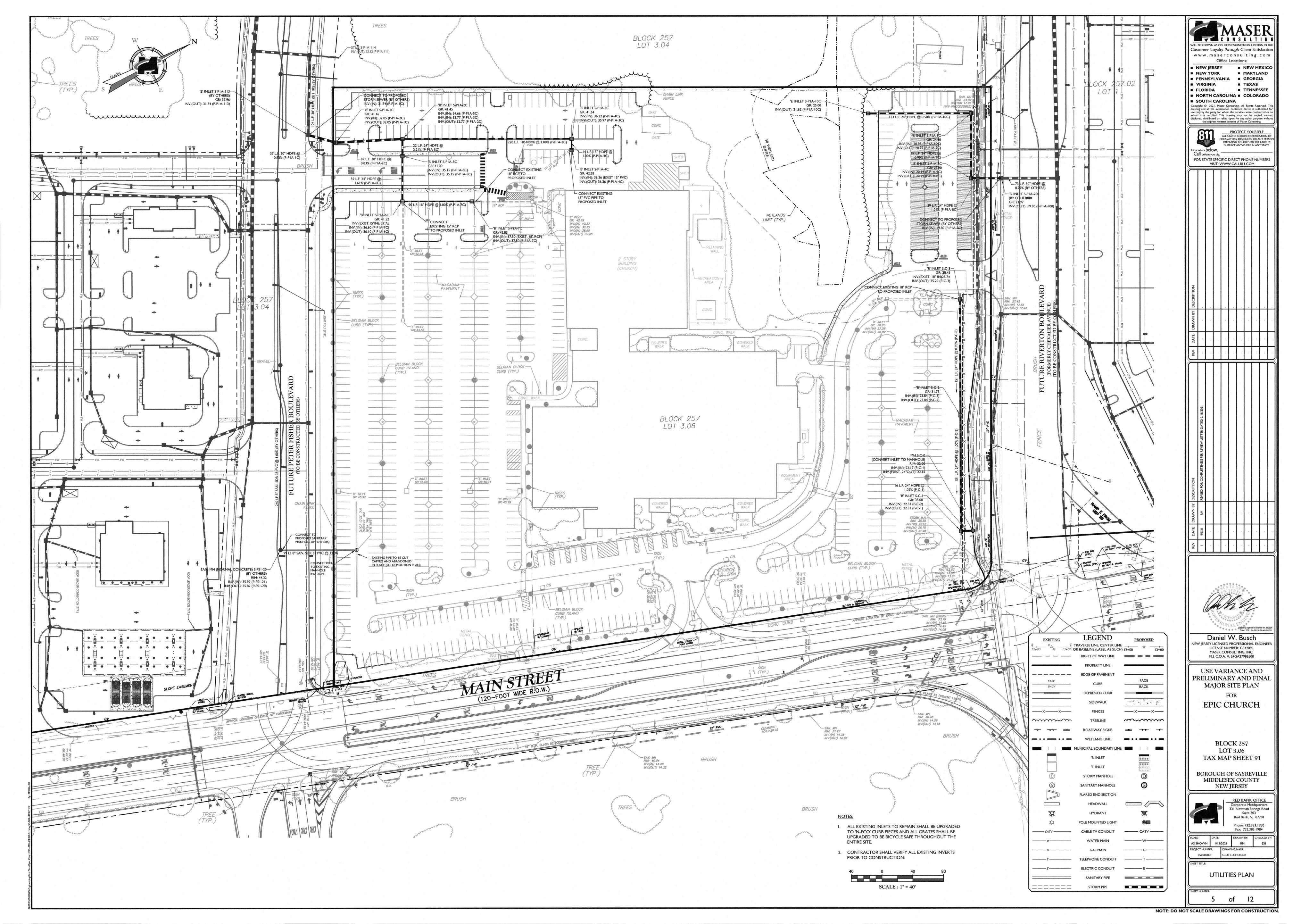
VISIT: WWW.CALL811.COM

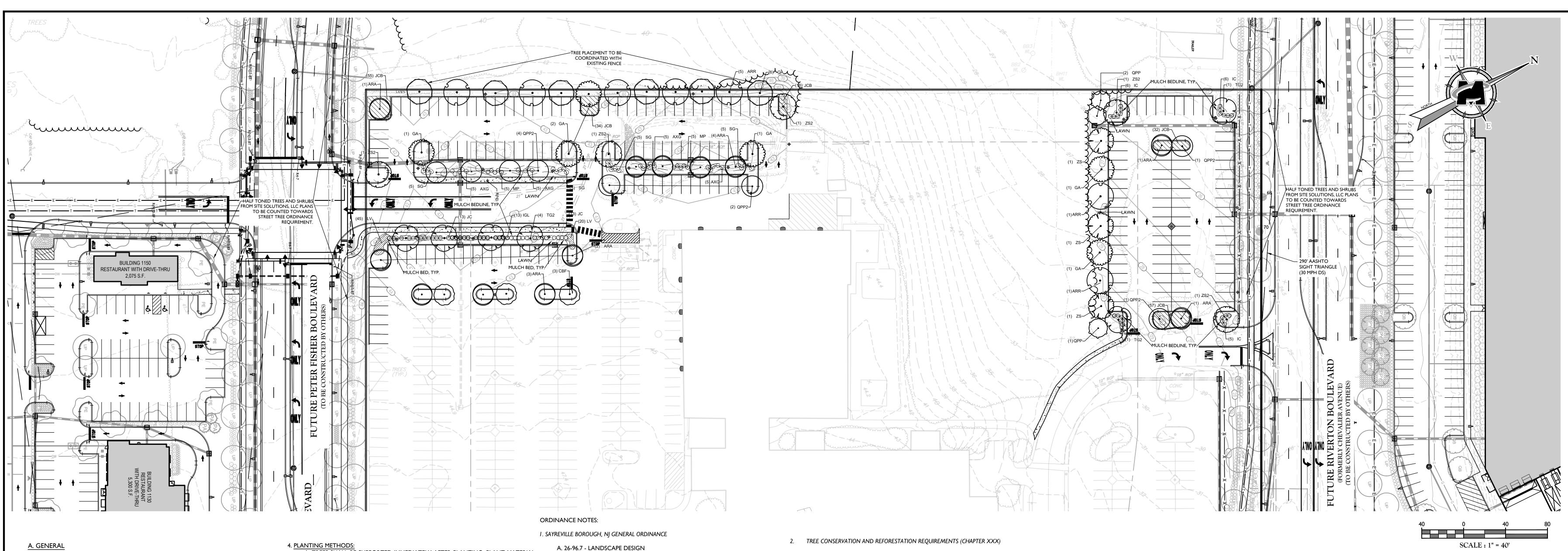
**■ TENNESSEE** 

of 12 NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION









# A. GENERAL

- I. THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR
- REGULATIONS GOVERNING UPON THIS WORK. 3. OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.

# B. PLANT MATERIAL

A. PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN. B. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT. C. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL

WHEN PLANTED. D. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.

E. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS. 2. PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.

3. PLANT SIZE: THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE. 4. SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL

UNAVAILABILITY MUST BY DOCUMENTED BY THE CONTRACTOR. 5. GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (I) YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OF ONE GROWING SEASON. TREE STAKES, AND PLASTIC CHAINS SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.

# C. PLANTING PROCEDURES

# A. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL

PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL B. PLANTING BEDS SHALL RECEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR; UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE

C. SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS. 2. PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.

3. PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT

A. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. (I) STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE

UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER (2) THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A

TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2  $\frac{1}{2}$  TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT (3) TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET

BY MEANS OF PLASTIC CHAIN LINK TREE TIE  $\binom{7}{16}$  WIDE RECOMMENDED FOR TREES UP TO  $2\frac{1}{2}$  INCHES IN CALIPER). B. SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT. C. AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY

INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL D. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE

E. CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER  $\frac{1}{3}$  OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.

# D. MAINTENANCE

A. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.

B. SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30" ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0". C. THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.

A. THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS. B. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE

INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET. C. SOD, IF SPECIFIED, SHALL CONSIST OF A NEW JERSEY CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.

B. EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED

BRANCHES. . SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

(e). "DECIDUOUS TREES SHALL HAVE AT LEAST A THREE INCH CALIPER, AND EVERGREENS SHALL BE AT LEAST FOUR FEET TALL."

B. 26-97.2 STREET APPURTENANCES, OBSTRUCTIONS AND SIGHT DISTANCE (c).(1). REQUIRED: "TREES SHALL BE APPROXIMATELY FIFTY (50') FEET APART AND LOCATED BETWEEN THE SETBACK LINE AND THE STREET RIGHT-OF-WAY LINE IF POSSIBLE."

> REQUIRED: 222 LF OF STREET FRONTAGE (CHEVALIER AVE) / 50 = 5 TREES REQUIRED 167 LF OF STREET FRONTAGE (FUTURE PETER FISHER BLVD / 50 = 4 TREES REQUIRED PROVIDED: TREES PROVIDED AS PART OF RIVERTON

STREET TREE PLANS FOR CHEVALIER AVE (RIVERTON BLVD) AND FUTURE PETER FISHER BLVD. SEE HALF-TONED TREES FROM SITE SOLUTIONS, LLC.

C. 26-98 - OFF-STREET CIRCULATION, PARKING AND LOADING. (i). A MINIMUM OF TEN (10%) PERCENT OF ANY SURFACE PARKING FACILITY SHALL BE LANDSCAPED ABOUT THE INTERIOR AND SHALL INCLUDE ONE (I) SHADE TREE FOR EVERY TWENTY (20) PARKING SPACES.

> REQUIRED: 68,146.1 SQ FT OF PARKING AREA X 0.1 = 6,814.61 SF 191 PARKING STALLS / 20 = 10 TREES REQUIRED PROVIDED: 13,785.7 SF AND 10 TREES PROVIDED

D. 26-98.1 OFF-STREET PARKING (c).(1). AT LEAST ONE (1) TREE WITH A CALIPER OF TWO (2") INCHES FOR EVERY TEN (10) PARKING SPACES.

PROVIDED: 19 TREES AT 2" CAL. PROVIDED

REQUIRED: 191 STALLS / 10 TREES = 19 TREES AT 2" CAL. REQUIRED

A. SECTION 30-7 STANDARDS. (b.)(5.) "THE TREES ON THE SITE THAT ARE TO BE REMOVED ARE I AND 2 FOR SCHEDULE).

> FOR TREES 4-16" CALIPER: TOTAL DEVELOPABLE WOODED AREA = 34,275 SF TOTAL WOODED AREA TO BE REMOVED = 10,319 SF 10,319 / 34,275 = 30 PERCENT WOODED AREA TO BE REMOVED (20 PERCENT REPLACEMENT FACTOR)

WOODED AREA OF 34,275 SF 44 X 0.2 = 9 TREES AT 3" CAL. MIN. REQUIRED

3 TREES >18" & < 21" X 4 = 12 TREES I TREE > 24 & < 27" X 6 = 6 TREES

(c.) "THE DEVELOPMENT PLAN SHALL INCLUDE THE ADDITION OF ONE TREE FOR EVERY TWO PARKING SPACES." REQUIRED: 96 TREES REQUIRED

PROVIDED: 30 TREES PROVIDED (40 PROVIDED @ 3-3  $\frac{1}{2}$ " CAL. - 10 FOR PARKING ORDINANCE REQUIREMENTS = 30 TREES PROVIDED FOR TREE REPLACEMENT ON PLAN).

NATURAL GROWTH HABIT; NEVER CUT CENTRAL LEADER OR TRUNK.  $\omega$ RUBBER GUARD TO PREVENT BARK DAMAGE PLASTIC CHAIN 2" DIA. HARDWOOD STAKES 🖁 TREE HEIGHT, 3 PER TREE LOCATED **OUTSIDE OF PLANTING PIT. ALL TREE** STAKES TO BE REMOVED AFTER ONE REMOVE ALL ROPE FROM TRUNK ANI TOP OF ROOT BALL, FOLD BURLAP BACK FROM TOP OF ROOT BALL. 4" SHREDDED HARDWOOD BARK - 6" SAUCER RIM TOPSOIL WIRE BASKET TO BE REMOVED. PREPARED BACKFILL MIX; SEE GENERAL PLANTING NOTE C.I(A). SOAK BACKFILL AFTER PLANTING.

PLACE ROOT BALL ON UNEXCAVATED

OR TAMPED SOIL.

NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.

2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

-

**DECIDUOUS TREE PLANTING DETAIL** 

REPLACED ON SITE IN ACCORDANCE WITH THE BELOW LISTED SCHEDULE." (SEE "TREE PRESERVATION PLAN" DATED 1/13/21 SHEETS

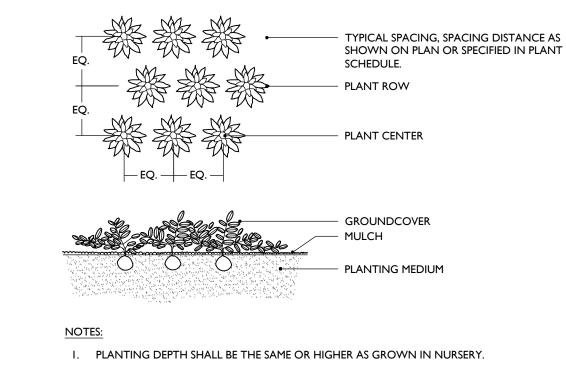
44 TREES 4-16" TO BE REMOVED IN THE TOTAL DEVELOPABLE 44 TREES / 0.3 = 147 TREES IN ENTIRE DEVELOPABLE WOODED AREA

FOR TREES GREATER THAN 16" CALIPER: TOTAL REPLACEMENT FOR >16" =18 TREES AT 3" CAL. MIN. REQUIRED

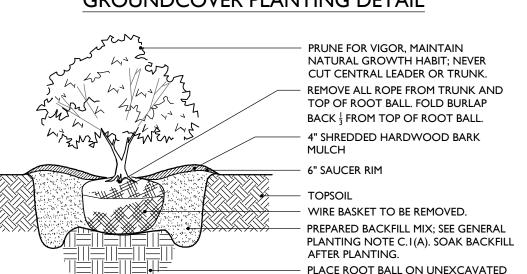
TOTAL REPLACEMENT TREES REQUIRED: 9 + 18 = 27 TREES AT 3" CAL. MIN. **PROVIDED: NONE** 

TOTAL TREE REPLACEMENT REQUIRED FOR TREE CONSERVATION AND REFORESTATION REQUIREMENTS: 27 TREES + 96 TREES = 123 TREES REQUIRED **PROVIDED: 30 TREES** 

(123-30 TREES = 93 TREE DEFICIT)



# GROUNDCOVER PLANTING DETAIL



OR TAMPED SOIL.

NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

SHRUB PLANTING DETAIL

# PLANT SCHEDI II E EPIC CHI IRCH

Juniperus conferta `Blue Pacific`

PLANT SCHEDULE EPIC CHURCH												
DECIDUOUS TREES ARA	QTY 12	BOTANICAL NAME Acer rubrum `Armstrong`	COMMON NAME Armstrong Red Maple	CONT B & B	<u>SIZE</u> 3-3 1/2"	HEIGHT 13-15` Ht.	REMARKS FALL DIGGING HAZARD					
ARR	7	Acer rubrum 'Red Sunset'	Red Sunset Maple	B & B	3-3 1/2"	13-15` Ht.	FALL DIGGING HAZARD					
CBF	3	Carpinus betulus `Fastigiata`	Pyramidal European Hornbean	B & B	3-3 1/2"	12-14` Ht.	FALL DIGGING HAZARD					
GA	6	Ginkgo biloba `Autumn Gold` TM	Maidenhair Tree	B & B	3-3 1/2"	12-14` Ht.						
QA	6	Quercus alba	White Oak	B & B	3-3 1/2"	12-14` Ht.	FALL DIGGING HAZARD					
QPP2	8	Quercus palustris `Green Pillar`	Green Pillar Oak	B & B	2" Min. Cal.							
QPP	3	Quercus palustris `Green Pillar`	Green Pillar Oak	B & B	3-3 1/2"	12-14` Ht.						
TG2	6	Tilia cordata `Greenspire`	Greenspire Littleleaf Linden	В&В	2" Min. Cal.							
ZS2	5	Zelkova serrata `Village Green`	Sawleaf Zelkova	В&В	2" Min. Cal.		FALL DIGGING HAZARD					
ZS	3	Zelkova serrata `Village Green`	Sawleaf Zelkova	В&В	3-3 1/2"	13-15` Ht.	FALL DIGGING HAZARD					
SHRUBS AXG	<u>QTY</u> 20	BOTANICAL NAME Abelia x grandiflora `Edward Goucher`	COMMON NAME Glossy Abelia	CONT 5 gal	<u>SIZE</u> 36" min.		<u>REMARKS</u>					
IC	22	llex crenata `Compacta`	Dwarf Japanese Holly	5 gal	4` min.							
IGL	13	llex crenata `Green Lustre`	Green Luster Japanese Holly	5 gal	24-30"							
JC	26	Juniperus chinensis `Sea Green`	Sea Green Juniper	5 gal	4` min.							
MP	10	Myrica pensylvanica	Northern Bayberry	5 gal	24-30"							
SG	20	Spiraea x bumalda `Goldflame`	Goldflame Spirea	5 gal	24-30"							
SHRUB AREAS LV	<u>QTY</u> 65	BOTANICAL NAME Liriope muscari `Variegata`	COMMON NAME Variegated Lily Turf	CONT 2 gal	SPACING 24" O.C.		<u>REMARKS</u>					

COMMON NAME

Blue Pacific Juniper

### GENERAL NOTES THIS SHEET IS TO BE USED FOR LANDSCAPE PURPOSES ONLY. REFER TO SHEET I FOR GENERAL NOTES.

ARCHITECT AND/OR THE TOWNSHIP ENGINEER OR PLANNER.

# LANDSCAPE PLAN NOTES

I. REFER TO THIS SHEET FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS. 2. REFER TO THIS SHEET FOR PLANT SCHEDULES. 3. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE

<u>SPACING</u>

REMARKS

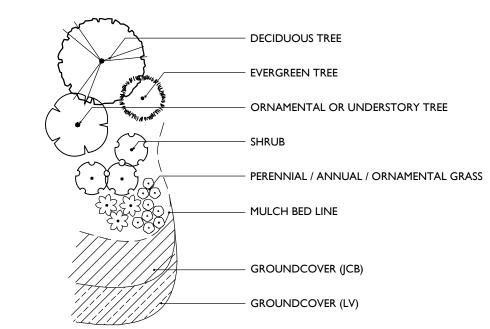
4. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.

5. LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. REFER TO

THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.

6. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-00" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-00" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.

# LANDSCAPE LEGEND



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USE VARIANCE AND PRELIMINARY AND FINAL MAJOR SITE PLAN

EPIC CHURCH

BLOCK 257 LOT 3.06 TAX MAP SHEET 91

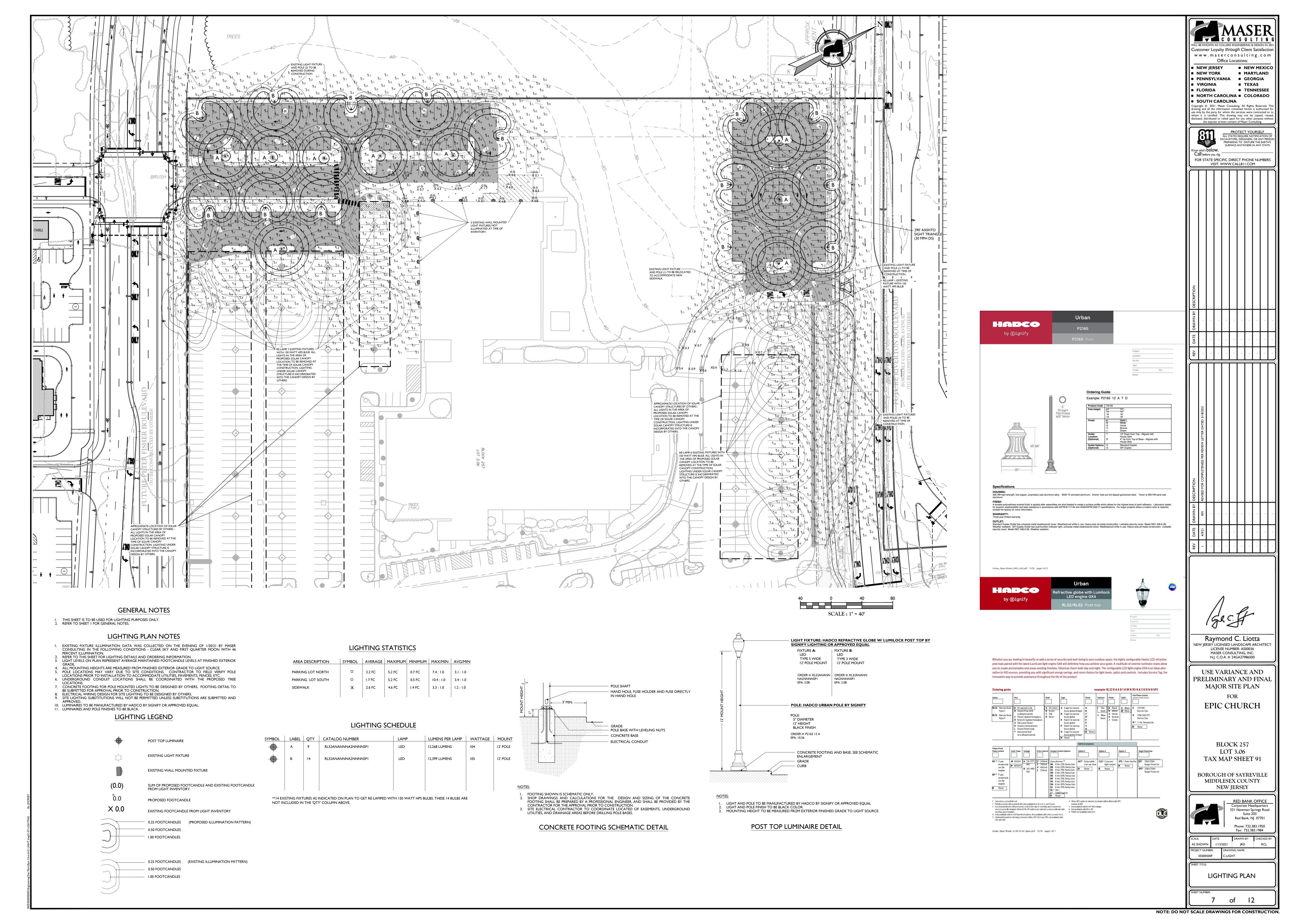
BOROUGH OF SAYREVILLE MIDDLESEX COUNTY

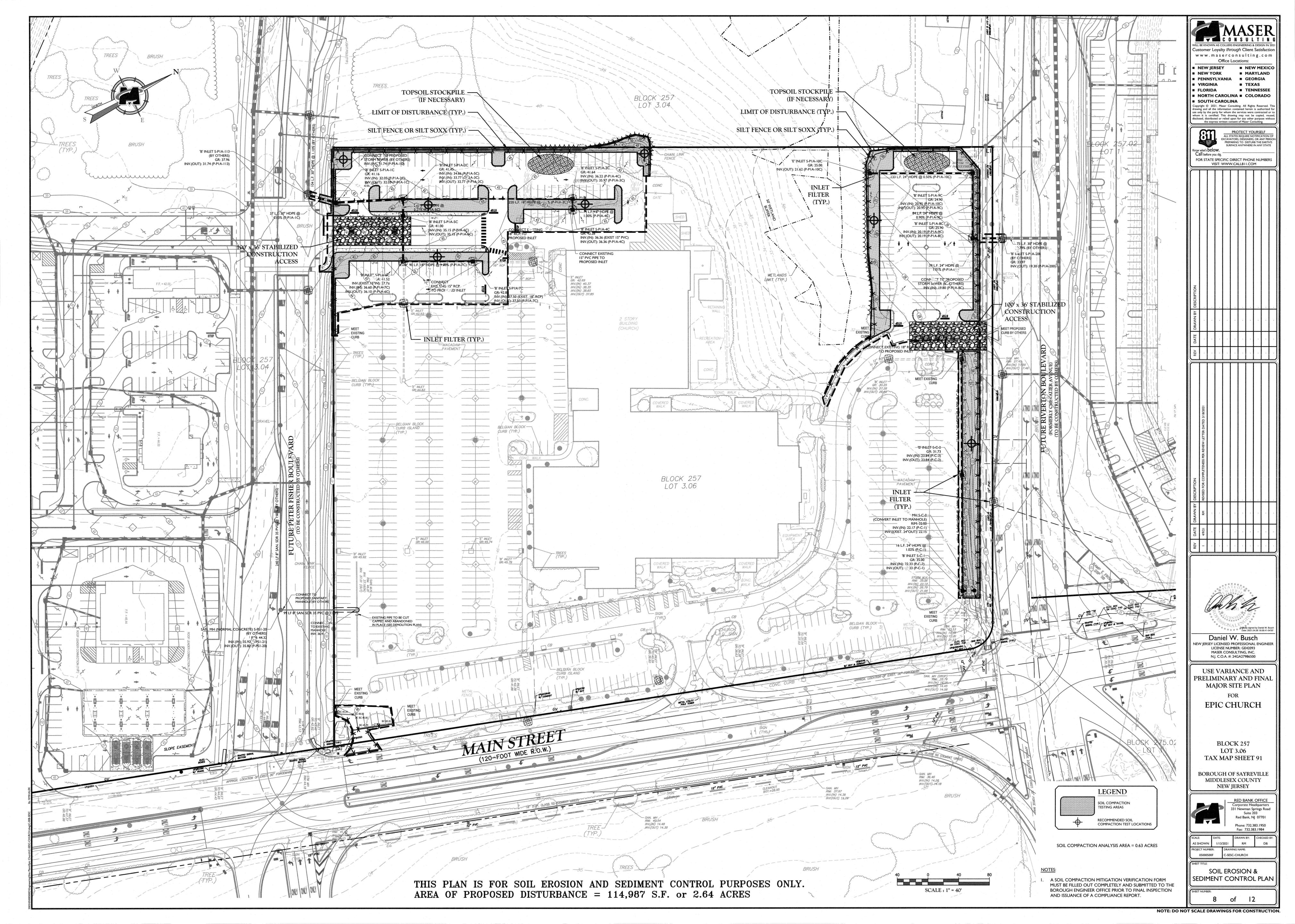


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05000500F LANDSCAPE PLAN

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION





## BOROUGH SOIL CONSERVATION DISTRICT NOTES

MOD: 04/02/18 MCNJ-SOIL-NOTE-1005 THE BOROUGH OF SAYREVILLE SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

CURRENT STATE SOIL FROSION AND SEDIMENT CONTROL STANDARDS.

ADVANCE OF ANY SOIL DISTURBING ACTIVITY.

- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL FROSION AND SEDIMENT CONTROL PLANS TO THE BOROUGH FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL
- N.I.S.A 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE BOROUGH DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE BOROUGH MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS. PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
- ANY STOCKPILE OR DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER THE DISTLIBBED AREAS WILL BE MUILCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STARILIZE STREETS ROADS DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE AFTER INTERIOR ROADWAYS ARE PAVED. INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (I" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10") EOUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
- PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS. NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE. (OR 450 LBS/1.000 SO FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST
- STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS
- EROSION AND SEDIMENT CONTROL NOTE #6.

ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

> FREEHOLD SOIL CONSERVATION DISTRICT 4000 KOZLOSKI ROAD, FREEHOLD, NJ 07728-5033, PHONE (732) 683-8500, FAX (732) 683-9140, EMAIL: INFO@FREEHOLDSCD.ORG.

# **MITIGATION NOTES** FOR ACIDIC SOIL

MCNJ-SOIL-NOTE-1700

LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH-ACID PRODUCING SOILS ARE ENCOUNTERED.

- TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS.
- STOCKPILES OF HIGH ACID-PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO
- MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE, IF NOT POSSIBLE, STOCKPILES SHALL
- BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH ACID-PRODUCING SOIL. HIGH ACID PRODUCING SOILS WITH A pH OF 4.0 OR LESS OR CONTAINING IRON
- SULFIDE (INCLUDING BORROW FROM CUTS OR DREDGED SEDIMENT) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1.000 SOUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A pH OF 5.0 OR MORE EXCEPT
- A. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A pH OF 5 OR MORE.
- B. DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS BERMS, STREAM BANKS, DITCHES, AND OTHERS, TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.
- EQUIPMENT USED FOR MOVEMENT OF HIGH ACID-PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID-PRODUCING SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED
- NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SEDIMENT BARRIER, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM, AROUND, OR OFF THE SITE.
- FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION. AND TOPSOILING). MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO ENSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID-PRODUCING SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.

# STABILIZATION WITH MULCH ONLY

STANDARDS FOR LAND GRADING

MCNJ-SOIL-NOTE-1301

- 1. SITE PREPARATION A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS, SEE STANDARDS 11 THROUGH 42. 2. PROTECTIVE MATERIALS
- A. UNROTTEN SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SOUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.
- B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
- C. WOOD-FIBER OR PAPER-FIBER MULCH HYDROSEEDER IN QUANTITIES/APPLICATION RATES AS RECOMMENDED BY MANUFACTURER.
- D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED.
- WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT. 3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER

PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER.

THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON

- THE SIZE OF THE AREA AND STEEPNESS OF THE SLOPES. A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE
- B. MULCH NETTING STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.

AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.

C. CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON A SLOPING LAND, THE OPERATION SHOULD BE ON THE CONTOUR.

## D. LIQUID MULCH-BINDERS

- I. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE
- 2. USE ONE OF THE FOLLOWING:

UNIFORM IN APPERANCE.

- a. ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
- b. SYNTHETIC BINDERS HIGH POLYMERS SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

# SPPP REQUIRED INSPECTIONS AND REPORTS

MCNJ-SOIL-NOTE-1201

A COPY OF THE AUTHORIZATION SHALL BE POSTED ONSITE AT A SAFE, PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY OF THE CONSTRUCTION SITE AT ALL TIMES UNTIL A NOTICE OF COMPLETION HAS BEEN ISSUED. THE PERMITTEE SHALL POST THE NIDEP HOTLINE NUMBER (I-877-WARN-DEP) WITH THE COPY OF THE AUTHORIZATION.

# ROUTINE INSPECTIONS

- A. THE PERMITTEE SHALL CONDUCT AND DOCUMENT WEEKLY (MINIMUM) INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT AND EVALUATE WHETHER THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) IDENTIFIED UNDER E.I. OF THE CONSTRUCTION ACTIVITY STORMWATER (GP) PART I NARRATIVE REQUIREMENTS, INCLUDING THIS SOIL EROSION AND SEDIMENT CONTROL PLAN IS BEING PROPERLY IMPLEMENTED AND MAINTAINED, OR WHETHER ADDITIONAL
- MEASURES ARE NEEDED TO IMPLEMENT THE SPPP. B. ONCE INSTALLATION OF ANY REQUIRED OR OPTIONAL EROSION CONTROL DEVICE OR MEASURE HAS BEEN IMPLEMENTED, ROUTINE INSPECTIONS, MINIMUM WEEKLY, OF EACH MEASURE SHALL BE PERFORMED BY THE CONTRACTOR'S INSPECTION PERSONNEL AND THE RESULTS RECORDED TO INVENTORY AND REPORT THE CONDITION OF EACH MEASURE TO ASSIST IN MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER.
- C. THESE REPORT FORMS SHALL BECOME AN INTEGRAL PART OF THE SPPP AND SHALL BE MADE READILY ACCESSIBLE TO GOVERNMENTAL INSPECTION OFFICIALS, TH OPERATOR'S ENGINEER, AND THE OPERATOR FOR REVIEW UPON REQUEST DURING VISITS TO THE PROJECT SITE. IN ADDITION, COPIES OF THE REPORTS SHALL BE PROVIDED TO ANY OF THESE PERSONS, UPON REQUEST, VIA MAIL OR FACSIMILE
- TRANSMISSION. D. OTHER RECORD-KEEPING REQUIREMENTS
- THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED TO CONSTRUCTION ACTIVITIES AT THE SITE:
- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WERE DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURAL DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA
- DATES WHEN AN AREAS IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY DATES OF RAINFALL AND THE AMOUNT OF RAINFALL DATES AND DESCRIPTIONS OF THE CHARACTER AND AMOUNT OF AN SPILLS OF HAZARDOUS MATERIALS RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES OF HAZARDOUS MATERIALS SPILLED
- STORMWATER POLLUTION PREVENTION PLAN (SPPP)
- A. CONSTRUCTION ACTIVITY THAT MAY RESULT IN A STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT SHALL BE EXECUTED ONLY IN ACCORDANCE WITH A PPP THAT CONSISTS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. AND (WHERE APPLICABLE) THE CONSTRUCTION SITE WASTE CONTROL COMPONENT SET FORTH IN ATTACHMENT B TO THE GENERAL PERMIT. A COPY OF THIS SPPP SHALL BE RETAINED BY THE PERMITTEE FOR A PERIOD OF AT LEAST FIVE (5 YEARS AFTER THE COMPLETION OF CONSTRUCTION. THIS PERIOD MAY BI EXTENDED BY WRITTEN REQUEST OF THE DEPARTMENT AT ANY TIME (SEE N.J.A.C.
- REPORTS OF NONCOMPLIANCE A. ALL INSTANCES OF NONCOMPLIANCE NOT REPORTED UNDER N.I.A.C. 7:14A-6.10
- SHALL BE REPORTED TO THE DEPARTMENT ANNUALLY. NOTIFICATION OF COMPLETION A. THE SOIL CONSERVATION DISTRICT WILL PROVIDE THE DEPARTMENT A COPY OF
- THE REPORT OF COMPLIANCE ISSUED UNDER N.J.A.C. 2:90-I FOR COMPLETED CONSTRUCTION ACTIVITIES, EXCEPT SINGLE FAMILY HOME CONSTRUCTION UNDER B. BELOW. THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF B. THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERMIT.
- BUT NOT WITHIN THE DEFINITION OF "PROJECT AT N.J.S.A. 4:24-41G, SHALL SEND A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE SOIL CONSERVATION DISTRICT. THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE DEPARTMENT, WHICH WILL SERVE AS NOTIFICATION OF COMPLETION.
- C. THE DOT SHALL PROVIDE WRITTEN NOTIFICATION TO THE DEPARTMENT WHEN DOT CERTIFIED PROJECTS ARE COMPLETED.
- COPIES OF ALL OF THE ABOVE, INCLUDING THE SPPP (WITH THE CERTIFIED PLAN), THE CERTIFICATION, AUTHORIZATION UNDER NJPDES CONSTRUCTION ACTIVITY STORMWATER GENERAL PERMIT. ALL CORRESPONDENCE AND NOTES TO AND FROM THE NIDEP AND SOIL CONSERVATION DISTRICT (OR DESIGNATED MUNICIPALITY) SHALL BE MAINTAINED ON-SITE.

# CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP)

MCNI-SOIL-NOTE-1200

- THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SPPP CONSISTS OF THE REQUIREMENTS IN 2. 3. AND 4 BELOW, THESE REQUIREMENTS BECAME OPERATIVE ON MARCH 3, 2004 AND APPLY TO CONSTRUCTION ACTIVITIES THAT COMMENCE ON OR AFTER MARCH 3, 2004. ANY NEW CONSTRUCTION ACTIVITY FOR WHICH AN RFA IS SUBMITTED ON OR AFTER MARCH 3, 2004 OR WHICH RECEIVE AUTOMATIC RENEWAL OF AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3, 2004 ALSO SHALL COMPLY WITH
- MATERIAL MANAGEMENT TO PREVENT OR REDUCE WASTE ANY PESTICIDES. FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS. CLEANING SOLVENTS AND ACIDS. DETERGENTS. CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS SHALL BE STORED IN CONTAINERS IN A DRY COVERED AREA, MANUFACTURERS' RECOMMENDED APPLICATION RATES, USES, AND METHODS SHALL BE STRICTLY FOLLOWED TO THE EXTENT NECESSARY TO PREVENT OR MINIMIZE THE PRESENCE OF WASTE FROM SUCH MATERIALS IN THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT (THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTURERS' RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SPPP.)
- WASTE HANDLING THE FOLLOWING REQUIREMENTS APPLY ONLY TO CONSTRUCTION SITE WASTE THAT HAS THE POTENTIAL TO BE TRANSPORTED BY THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. THE HANDLING AT THE CONSTRUCTION SITE OF WASTE BUILDING MATERIAL AND RUBBLE AND OTHER CONSTRUCTION SITE WASTES, INCLUDING LITTER AND HAZARDOUS AND SANITARY WASTES, SHALL CONFORM WITH THE STATE SOLID WASTE MANAGEMENT ACT, N.J.S.A. 13:1E-1 ET SEQ., AND ITS IMPLEMENTING RULES AT N.J.A.C. 7:26, 7:26A, AND 7:26G; THE NEW JERSEY PESTICIDE CONTROL CODE AT NIAC 7:30: THE STATE LITTER STATUTE (NISA 13:1E-99.3); AND OSHA REQUIREMENTS FOR SANITATION AT 29 C.F.R. 1926 (EXCEPT WHERE SUCH CONFORMANCE IS NOT RELEVANT TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT). CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADIACENT TO THE SITE, AND AN ADEQUATE NUMBER OF CONTAINERS (WITH LIDS OR COVERS) FOR WASTE. WASTE SHALL BE COLLECTED FROM SUCH CONTAINERS BEFORE THEY OVERFLOW, AND SPILLS AT SUCH CONTAINERS SHALL BE CLEANED UP IMMEDIATELY.
- A. CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO:
- "CONSTRUCTION AND DEMOLITION WASTE," AS DEFINED IN N.J.A.C. 7:26-1.4 AS FOLLOWS: "WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM CONSTRUCTION REMODELING REPAIR AND DEMOLITION OPERATIONS ON HOUSES, COMMERCIAL BUILDINGS, PAVEMENTS AND OTHER STRUCTURES, THE FOLLOWING MATERIALS MAY BE FOUND IN CONSTRUCTION AND DEMOLITION WASTE: TREATED AND UNTREATED WOOD SCRAP: TREE PARTS, TREE STUMPS AND BRUSH; CONCRETE, ASPHALT, BRICKS, BLOCKS AND OTHER MASONRY; PLASTER AND WALLBOARD; ROOFING MATERIALS; CORRUGATED CARDBOARD AND MISCELLANEOUS PAPER; FERROUS AND NON-FERROUS METAL; NON-ASBESTOS BUILDING INSULATION; PLASTIC SCRAP; DIRT; CARPETS AND PADDING; GLASS (WINDOW AND DOOR); AND OTHER MISCELLANEOUS MATERIALS; BUT SHALL NOT INCLUDE OTHER SOLID WASTE TYPES."
- ii. ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C. 7:26G (THE HAZARDOUS WASTE
- iii. DISCARDED (INCLUDING SPILLED) PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBLASTING GRITS, CLEANING SOLVENTS, ACIDS FOR CLEANING MASONRY SURFACES, DETERGENTS, CHEMICAL ADDITIVES USED FOR SOIL STABILIZATION (E.G., CALCIUM CHLORIDE), AND CONCRETE CURING COMPOUNDS.
- iv. OTHER "LITTER," AS DEFINED AT N.J.S.A. 13:1E-215.D AS FOLLOWS: "ANY USED OR UNCONSUMED SUBSTANCE OR WASTE MATERIAL WHICH HAS BEEN DISCARDED WHETHER MADE OF ALUMINUM, GLASS, PLASTIC, RUBBER, PAPER, OR OTHER NATURAL OR SYNTHETIC MATERIAL OR ANY COMBINATION THEREOF, INCLUDING. BUT NOT LIMITED TO, ANY BOTTLE, JAR OR CAN, OR ANY TOP, CAP OR DETACHABLE TAB OF ANY BOTTLE, IAR OR CAN, ANY UNLIGHTED CIGARETTE, CIGAR, MATCH OR ANY FLAMING OR GLOWING MATERIAL OR ANY GARBAGE, TRASH, REFUSE, DEBRIS, RUBBISH, GRASS CLIPPINGS OR OTHER LAWN OR GARDEN WASTE, NEWSPAPERS, MAGAZINES, GLASS, METAL, PLASTIC OR PAPER CONTAINERS OR OTHER PACKAGING OR CONSTRUCTION MATERIAL. BUT DOES NOT INCLUDE THE WASTE OF THE PRIMARY PROCESSES OF MINING OR OTHER EXTRACTION PROCESSES, LOGGING, SAWMILLING, FARMING OR MANUFACTURING."
- v. SANITARY SEWAGE AND SEPTAGE.
- vi. CONTAMINATED SOILS ENCOUNTERED OR DISCOVERED DURING EARTHMOVING ACTIVITIES OR DURING THE CLEANUP OF A LEAK OR DISCHARGE OF A HAZARDOUS
- B. CONCRETE WASHOUT CONCRETE WASHOUT ONSITE IS PROHIBITED OUTSIDE DESIGNATED AREAS. WASHOUT ACTIVITIES INCLUDE, BUT NOT LIMITED TO, THE WASHING OF TRUCKS, CHUTES, HOSES, MIXERS, HOPPERS, AND TOOLS.
- DESIGNATED WASHOUT AREAS SHALL BE LINED AND BERMED TO PREVENT DISCHARGES TO SURFACE AND GROUNDWATER.
- ii. HARDENED CONCRETE FROM THE CONCRETE WASHOUT WASHOUT SHALL BE REMOVED AND PROPERLY DISPOSED OF

iii. THE CONCRETE WASHOUT AREA SHALL BE CLEARLY DESIGNATED WITH A SIGN

- INDICATING THE AREAS USES. C. SANITARY SEWAGE/SEPTAGE DISPOSAL - DISCHARGES OF RAW SANITARY SEWAGE OR SEPTAGE ONSITE ARE STRICTLY PROHIBITED. ADEOUATE FACILITIES WITH PROPER
- DISPOSAL SHALL BE PROVIDED AND MAINTAINED ONSITE OR ADJACENT TO THE SITE FOR ALL WORKERS AND OTHER SANITARY NEEDS.
- SPILLS; DISCHARGES OF HAZARDOUS SUBSTANCES; FEDERALLY REPORTABLE RELEASES. A. SPILL KITS SHALL BE AVAILABLE ONSITE OR ADJACENT TO THE SITE FOR ANY MATERIALS THAT ARE LISTED IN 2. ABOVE AND USED OR APPLIED ONSITE. ALL SPILLS OF SUCH MATERIAL SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY. CLEANED UP MATERIALS SHALL BE PROPERLY DISPOSED OF.
- B. DISCHARGES OF HAZARDOUS SUBSTANCES (AS DEFINED IN N.J.A.C. 7:1E-1.6) IN CONSTRUCTION SITE WASTES ARE SUBJECT TO THE PROVISIONS OF THE SPILL COMPENSATION AND CONTROL ACT, N.I.S.A. 58:10-23.11 ET SEQ., AND OF DEPARTMENT RULES FOR DISCHARGES OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.J.A.C. 7:1E. NO DISCHARGE OF HAZARDOUS SUBSTANCES RESULTING FROM AN ONSITE SPILL SHALL BE DEEMED TO BE "PURSUANT TO AND IN COMPLIANCE WITH [THIS] PERMIT" WITHIN THE MEANING OF THE SPILL COMPENSATION AND CONTROL ACT AT N.J.S.A. 58:10-23.11C.
- C. RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 110, 117, AND 302 THAT OCCUR WITHIN A 24-HR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800 424-8802).

# SEQUENCE OF COMMERCIAL CONSTRUCTION

- INSTALLATION OF STONE CONSTRUCTION ENTRANCE PAD. SILT FENCE TO BE INSTALLED IMMEDIATELY DOWNSTREAM PRIOR TO ANY DISTURBANCE FOR
- 2. INSTALL PERIMETER SILT FENCE OR SILT SOXX. (I MONTH)
- 3. REPLACE CATCH BASIN CASTINGS (I MONTH)
- 4. INSTALL INLET FILTERS (I WEEK)
- 5. SITE GRADING. (6 MONTHS)
- 6. CONTINUALLY MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT CONSTRUCTION. 7. CONSTRUCT PARKING AREAS (NO PAVEMENT SURFACE COURSE) & UTILITIES (12
- 8. INSTALL LANDSCAPING (6 MONTHS) 9. INSTALL FINAL PAVEMENT UPON COMPLETION OF ALL CONSTRUCTION IN AREAS
- TO BE PAVED (2 MONTHS) 10. STABILIZE WORK AREA ACCORDING TO PERMANENT SEEDING SPECIFICATIONS. (2)
- . REMOVE CONSTRUCTION ACCESS, SILT FENCE, INLET PROTECTION, AND ALL OTHER TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES UPON PERMANENT STABILIZATION OF ALL DISTURBED AREAS AND ACCEPTANCE BY BOROUGH ENGINEER. (2 WEEKS)

# DEWATERING NOTES

L. SPECIFIC DEWATERING DESIGNS WILL BE PROVIDED AS NEEDED PRIOR TO CONSTRUCTION.

2. DETAILS FOR DEWATERING MEASURES SHALL BE PROVIDED AS SHOP DRAWINGS.

# STANDARD FOR VEGETATIVE COVER

3/1 - 4/30 (ZONE 6b);

A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR

GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.

SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING, ALL

. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE

TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT

DAMAGING THE SOIL STRUCTURE A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5

INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED. ALTERNATIVE DEPTHS MAY BE

CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE

APPROPRIATE SUCH AS ON GOLF COURSES, SPORTS FIELDS, LANDFILL CAPPING ETC. TOPSOIL

SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE

D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS,

A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN

SPREAD AND FIRMED, ACCORDING TO SITE SPECIFIC SOIL TEST RECOMMENDATIONS SUCH AS

OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM

THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES

FOR TEMPORARY SEEDING: FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER

ACRE OR 11 POUNDS PER 1,000 SOUARE FEET OF 10-20-10 OR FOUIVALENT WITH 50% WATER

INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMING RATE SHALL BE

b. FOR PERMANENT SEEDING: FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER

ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER

INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED

INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE

RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF

INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL

. HIGH ACID PRODUCING SOIL SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE

D. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SURFACE SHOULD BE

SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE

E. REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION AND

A. TEMPORARY SEEDING SPECIFICATIONS - TEMPORARY VEGETATIVE COVER SHALL CONSIST OF

PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1.0 POUNDS PER 1.000 SO.FT. (100

LBS/ACRE), OR A MIXTURE FROM TABLE 7-2 OF THE STANDARDS APPROVED BY THE SOIL

PERMANENT SEEDING SPECIFICATIONS - SELECT AN APPROVED MIXTURE FROM THOSE LISTED

BELOW AN APPROVED MIXTURE FROM TARLE 4-3 OF THE STANDARDS OR LISE A MIXTURE

RECOMMENDED BY RUTGERS COOPERATIVE EXTENSION OR NATURAL RESOURCES

CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED

GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO

SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD

130 LBS/ACRE

45 LBS/ACRE

10 LBS/ACRE

05/01/17

45 LBS/ACRE

UNLESS RETESTED. SEED SHALL BE APPLIED AS NOTED BELOW WITHIN THE DATES SPECIFIED IN

OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER

ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION

SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE

BEFORE INITIATING SEEDBED REPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH

HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE

RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.

TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.

SYSTEMS, ETC.), SEE "SOIL DECOMPACTION AND TESTING REQUIREMENTS".

MIX #15 (WELL TO MODERATELY DRAINED SOIL)

STRONG CREEPING RED FESCUE 130 LBS/ACRE

DUST CONTROL

TREATED AREAS ARE TO BE MONITORED AND RETREATED AS NECESSARY.

EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

CONTRACTOR TO USE EARTH GUARD & DUST CONTROL DG FROM LSC

WATER

DILUTION

12.5:1

NONE

KEEP TRAFFIC OFF THESE AREAS, MATERIALS AS FOLLOWS:

ENVIRONMENTAL PRODUCTS LLC OR APPROVED EQUAL.

EXPOSED SOIL SURFACES SUBJECT TO DUST BLOWING MUST BE TREATED FOR DUST

APPLY MULCHES OR VEGETATIVE COVER AS PER NJ SOIL EROSION AND SEDIMENT

TILL AND ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A

TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL

BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE, CHISEL-TYPE

PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE

ERECT BARRIERS SUCH AS SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES,

CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL TO CONTROL AIR CURRENTS

APPLY CALCIUM CHLORIDE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE

ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL

KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. NOT

SUITABLE ON STEEPER SLOPES NEAR THE STREAMS OR POTENTIALLY ACCUMULATE

TYPE OF NOZZLE

COARSE SPRAY

FINE SPRAY

**FINE SPRAY** 

SEE SEDIMENT BASIN STANDARD, P. 26-1

APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS

COARSE SPRAY

TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS.

GALLONS/ACRE

1200

235

USE SPRAY-ON ADHESIVE ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS).

ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

UNSUITABLE MATERIAL.

CONSERVATION DISTRICT

THE STANDARDS:

HARD FESCUE

**CHEWING FESCUE** 

PERENNIAL RYEGRASS

**ROUGH BLUEGRASS** 

**OPTIMUM SEEDING DATES:** 

ACCEPTABLE SEEDING DATES:

CONTROL PER THE METHODS OUTLINED BELOW.

SPRINKLE THE SITE UNTIL THE SURFACE IS WET.

CONTROL STANDARDS

AND SOIL BLOWING

AROUND PLANTS

MATERIAL

ANIONIC ASPHALT EMULSION

LATEX EMULSION

**RESIN IN WATER** 

POLYACRYLAMIDE (PAM) -

POLYACRYLAMIDE (PAM)

ACIDULATED SOY BEAN

DRY SPREAD

8/15 - 10/15 (ZONE 6b):

STRONG CREEPING RED FESCUE

MIX #16 (POORLY DRAINED SOIL)

GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS,

STANDARD FOR TOPSOILING.

(HTTP://NJAES.RUTGERS.EDU/COUNTY/).

ESTABLISHED PER SOIL TESTING.

AND WATERWAYS

EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.

- **SUMMER SEEDING DATES \*** 5/1 - 8/14 (ZONE 6b)
- \* NOTE: SUMMER SEEDING SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED. MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX WEEKS OF GROWING SEASON REMAIN AFTER SEEDING TO ENDURE ESTABLISHMENT BEFORE FREEZING CONDITIONS

25 LBS/ACRE

- 2. DETENTION BASINS: MIX #9:
- DEERTONGUE 20 LBS/ACRE 2 LBS/ACRE WILD RYE (ELYMUS) 15 LBS/ACRE
- **OPTIMUM SEEDING DATES:** 3/1 - 4/30 (Zone 6b)

**SWITCHGRASS** 

- C. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING, DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
- D. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT RESTORE CAPILLARITY AND IMPROVE SEEDLING EMERGENCE THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
- E. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4 - MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.
- WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4
  - MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.
  - A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
  - APPLICATION SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING

UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

- I. PEG AND TWINE DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO
- 2. MULCH NETTINGS STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- 3. CRIMPER (MULCH ANCHORING COULTER TOOL) A TRACTOR-DRAWN IMPLEMENT, BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- 4. LIQUID MULCH-BINDERS MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.
- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM
- b. USE ONE OF THE FOLLOWING:
- I) ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING,

- POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURF GRASS, USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- 2) SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH, DRYING AND CURING. SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER, BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
- NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF
- B. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- C. PELLETIZED MULCH COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT. WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCH MAT. PELIFTIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/I.000 SOUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS, SEEDED AREAS WHERE WEED- SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE, APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MUI CH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

## IRRIGATION (WHERE FEASIBLE):

IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY

NO FOLLOW-UP TOPDRESSING IS MANDATORY UNLESS WHERE GROSS NITROGEN DIFICIENCY

EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE,

### TOPDRESS WITH 10-10-10 OR FOLIVALENT AT 300 LB PER ACRE OR 7 LB PER 1,000 SF EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.

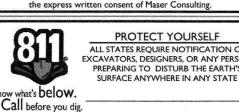
ESTABLISHING PERMANENT VEGETATIVE STABILIZATION:

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-2 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE. NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

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DANIEL W. BUSCH NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: GE42093

USE VARIANCE AND

PRELIMINARY AND FINAL

MAJOR SITE PLAN EPIC CHURCH

BLOCK 257 LOT 3.06

TAX MAP SHEET 91

BOROUGH OF SAYREVILLE MIDDLESEX COUNTY **NEW IERSEY** 

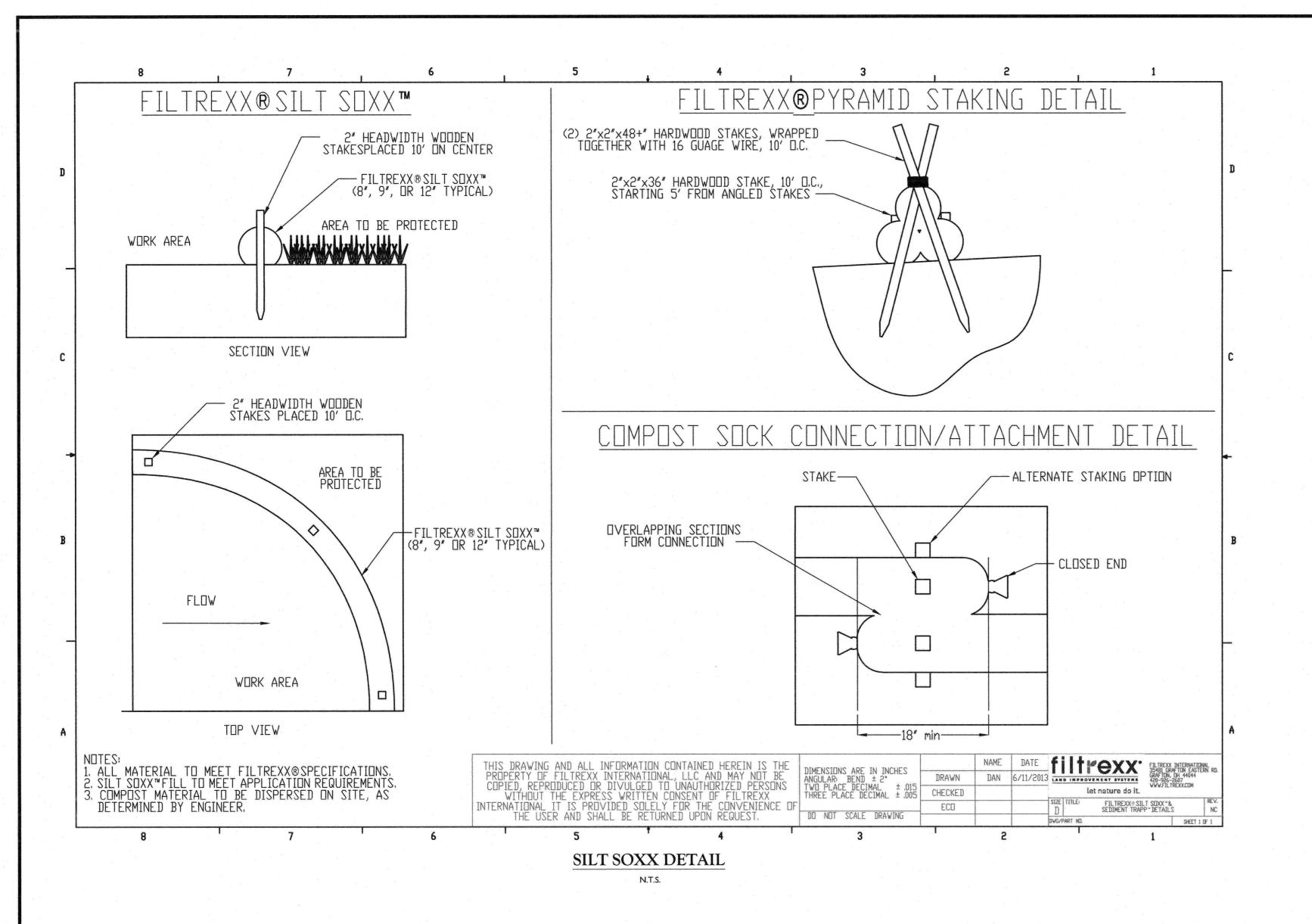


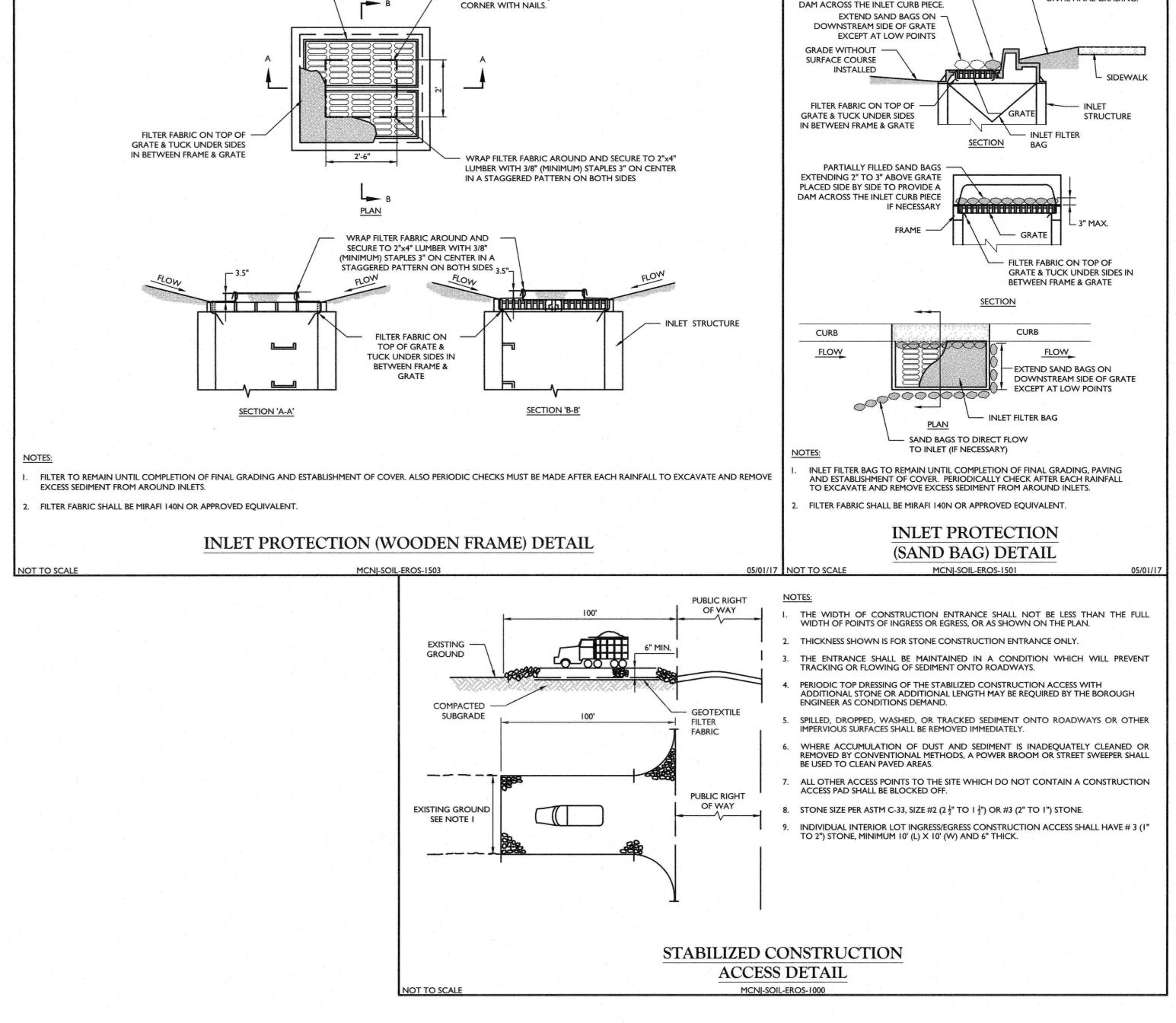
C-SESC-CHURCH SOIL EROSION AND

SEDIMENT CONTROL NOTES AND DETAILS

of

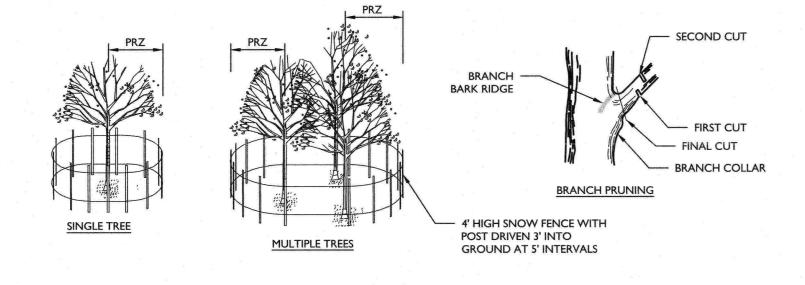
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION





WOOD FRAME CONSTRUCTED OF 2"x4"

STUD GRADE LUMBER JOINED AT EACH



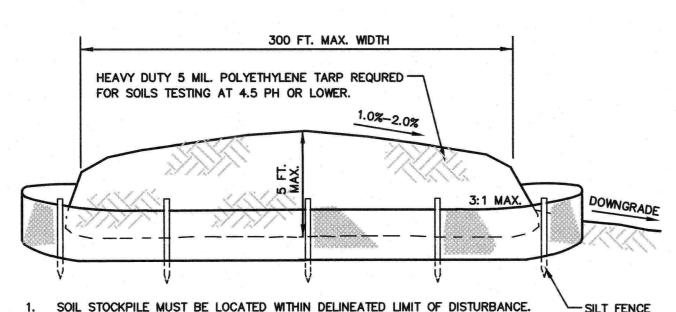
1. PROTECTIVE FENCING IS TO BE ERECTED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION AS DIRECTED BY THE LANDSCAPE ARCHITECT, SOIL CONSERVATION

- DISTRICT AND/OR MUNICIPAL ENGINEER. 2. NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE PROTECTIVE FENCING.
- AS CONSTRUCTION NEARS COMPLETION THE FENCING WILL BE REMOVED AS DIRECTED.
- 4. AT THE COMPLETION OF CONSTRUCTION, ALL TREES WILL BE PRUNED AS NECESSARY TO CORRECT ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY.
- 5. GENERAL MECHANICAL DAMAGE SEE CRITICAL ROOT ZONE CALCULATION (CRZ) FOR CORRECT PLACEMENT OF TREE PROTECTION.
- 6. BOX TREES WITHIN 25 FEET OF A BUILDING SITE TO PREVENT MECHANICAL INJURY. FENCING OR OTHER BARRIER SHOULD BE INSTALLED BEYOND THE CRITICAL ROOT ZONE. 7. BOARDS WILL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
- 8. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE THE PROTECTED ROOT ZONE (PRZ) OR CRITICAL ROOT ZONE (CRZ). TREE ROOT SYSTEM COMMONLY EXTEND BEYOND THE
- 9. DAMAGED TRUNKS OR EXPOSED ROOTS SHOULD HAVE DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED. EXPOSED ROOTS SHOULD BE COVERED WITH
- TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ROOTS SHALL BE PRUNED TO GIVE A CLEAN, SHARP SURFACE AMENABLE TO HEALING. ROOTS EXPOSED DURING HOT WEATHER SHOULD BE IRRIGATED TO PREVENT PERMANENT TREE INJURY. CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A PROFESSIONAL FORESTER OR CERTIFIED TREE EXPERT.

10. TREE LIMB REMOVAL WHERE NECESSARY, WILL BE DONE AS NATURAL TARGET PRUNING TO REMOVE THE DESIRED BRANCH COLLAR. THERE SHOULD BE NO FLUSH CUTS. FLUSH CUTS

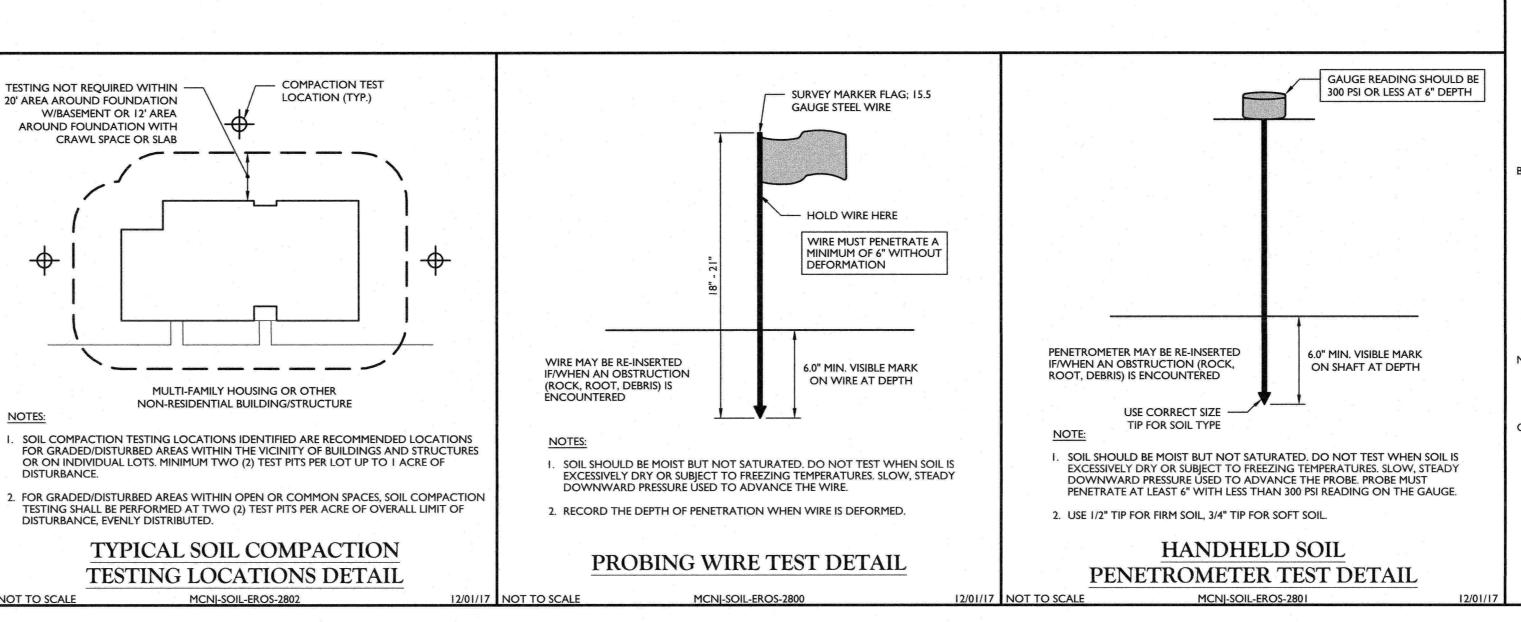
- DESTROY A MAJOR DEFENSE SYSTEM OF THE TREE. NO TREE PAINT SHALL BE APPLIED. ALL CUTS SHALL BE MADE AT THE OUTSIDE EDGE OF THE BRANCH COLLAR. CUTS MADE TOO FAR BEYOND THE BRANCH COLLAR MAY LEAD TO EXCESS SPROUTING, CRACKS AND ROT. REMOVAL OF A "V" CROTCH SHOULD BE CONSIDERED FOR FREE STANDING SPECIMEN TREES TO
- 11. CRITICAL ROOT ZONE (CRZ) OR PROTECTED ROOT ZONE (PRZ) CALCULATION: MEASURE DHB OF THE TREE (DIAMETER OF TREE IN BREAST HEIGHT OR 4.5' ABOVE GROUND ON THE UPHILL SIDE) IN INCHES. CRZ OR PRZ = DHB TIMES I.S (FOR OLD/UNHEALTHY/SENSITIVE TREES) OR DHB X I.0 (FOR YOUNG/HEALTH/TOLEKANT TREES), EXPRESS IN FEET.

# TEMPORARY TREE PROTECTION DETAIL



2. ALL STOCKPILES TO REMAIN DISTURBED FOR MORE THAN 14 DAYS SHALL BE

STABILIZED IN ACCORDANCE WITH SOIL EROSION SEDIMENT CONTROL STANDARDS.



-DRAWSTRING RUNNING THROUG FABRIC ALONG TOP OF FENCE

ALL SILT FENCE TO BE INSPECTED AND REMEDIAL MAINTENANCE PERFORMED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH RAIN.

FRAME AND GRATE -

SOIL DECOMPACTION AND TESTING REQUIREMENTS

05/01/18

MCNJ-SOIL-NOTE-2000 SOIL COMPACTION TESTING REQUIREMENTS

PARTIALLY FILLED SAND BAGS

**EXTENDING 2" TO 3" ABOVE GRATE** 

PLACED SIDE BY SIDE TO PROVIDE A

AREA BETWEEN CURB AND

SIDEWALK TO REMAIN LOW

UNTIL FINAL GRADING.

. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL "STANDARD FOR VEGETATIVE COVER" NOTES SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER (SEE "STANDARD FOR VEGETATIVE COVER" NOTES FOR TOPSOIL REQUIREMENTS).

2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE SOIL EROSION CONTROL PLAN, MINIMUM 2 TESTS FOR LIMIT OF DISTURBANCE UP TO 1 ACRE, PLUS 2 TESTS PER ACRE OF LIMIT OF DISTURBANCE THEREAFTER, SPACED EVENLY THROUGHOUT

3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN SHALL BE USED TO MARK THE LOCATIONS OF TESTS AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.

4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE PROBING OR PENETRATION TESTING METHODS (SEE DETAILS), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (I) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL DENSITY TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DENSITY TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- I. PROBING WIRE TEST (SEE DETAIL)
- 2. HANDHELD PENETROMETER TEST (SEE DETAIL).
- 3. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- 4. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED) 5. ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY
- MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL. NOTE: SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION MITIGATION IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION. FOR LAND GRADING" OF THE STANDARD.
- . PROCEDURES FOR SOIL COMPACTION MITIGATION
- I. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE
- 2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO
- 3. IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

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NEW JERSEY PROFESSIONAL

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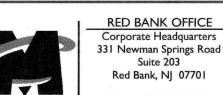
PRELIMINARY AND FINAL MAJOR SITE PLAN

**EPIC CHURCH** 

BLOCK 257 LOT 3.06 TAX MAP SHEET 91

**BOROUGH OF SAYREVILLE** MIDDLESEX COUNTY

**NEW JERSEY** 



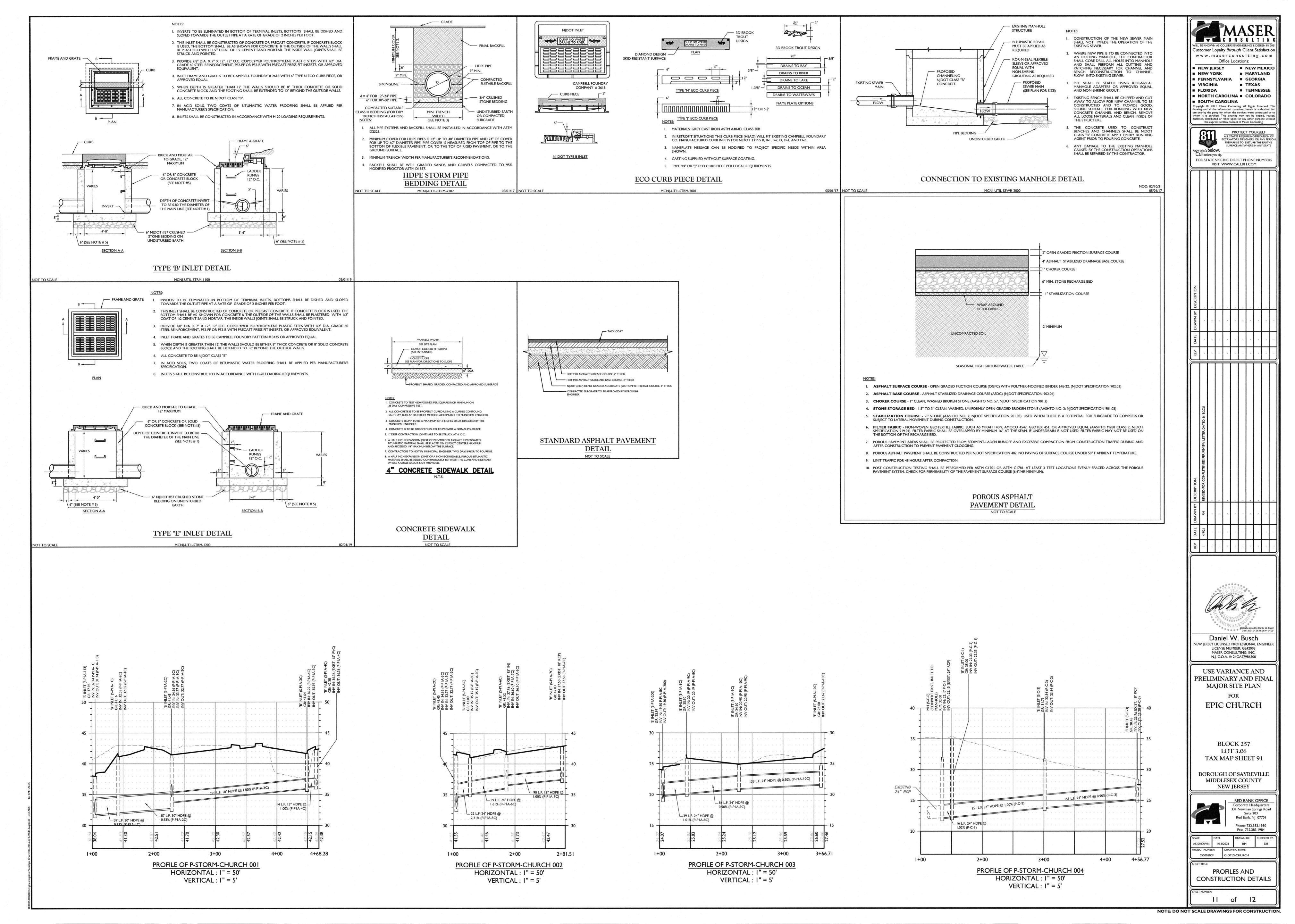
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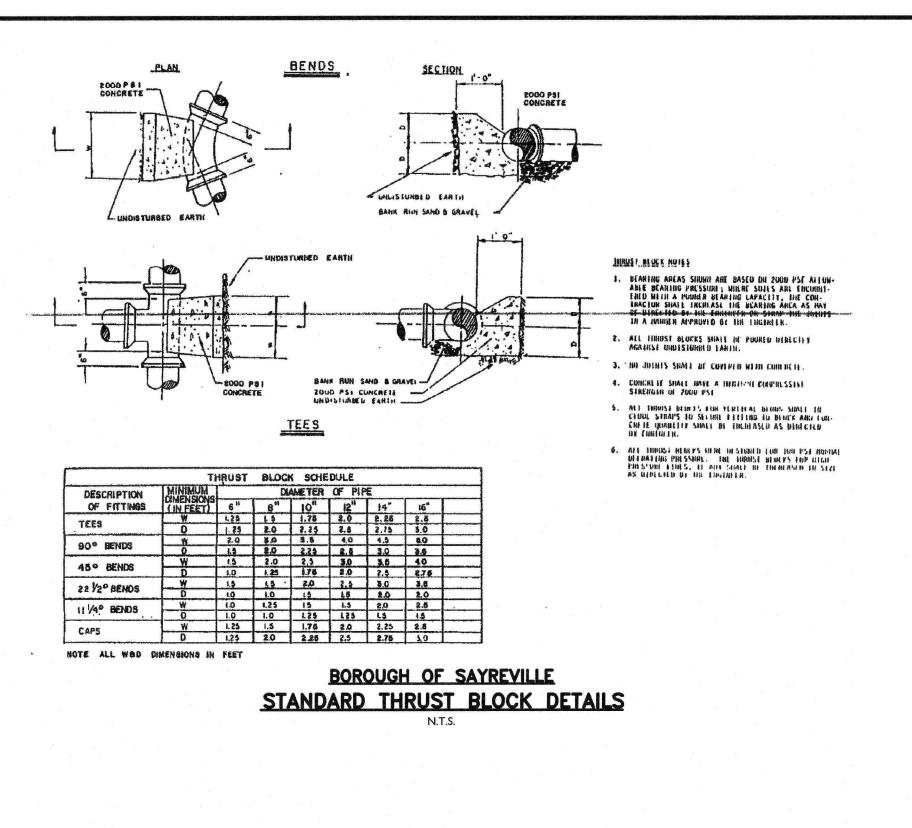
C-SESC-CHURCH SOIL EROSION AND

SEDIMENT CONTROL NOTES AND DETAILS

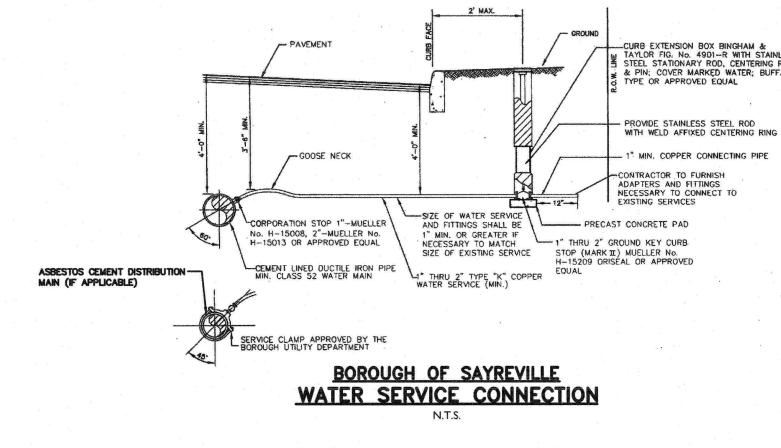
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- 8" OR 6" CEMENT LINED D.LP.

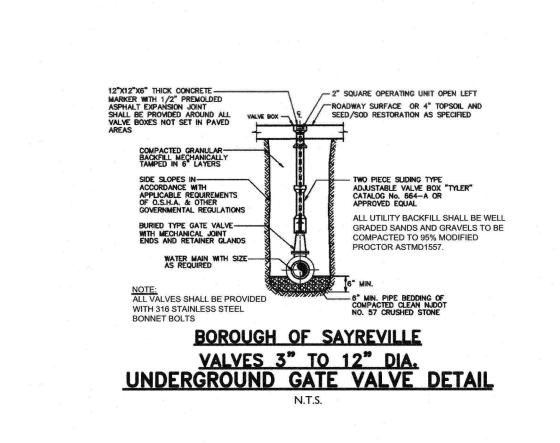


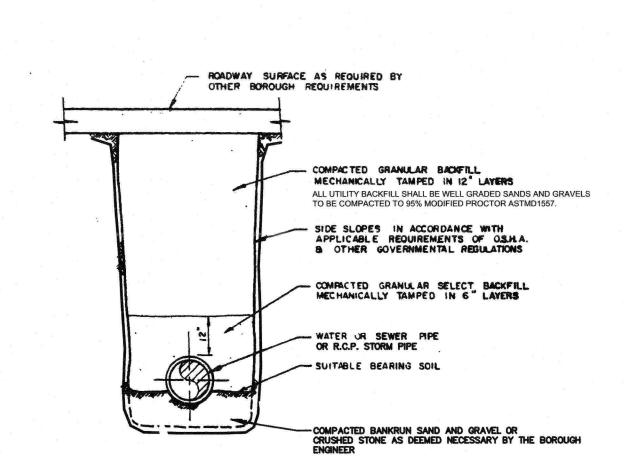
CONCRETE SUPPORT BLOCK DETAIL

LARGE DIAMETER

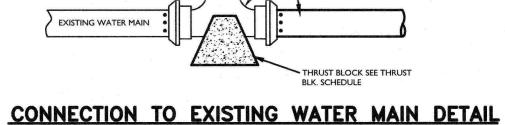
SUITABLE UNDISTURBED SOIL SATISFACTORY TO THE ENGINEER

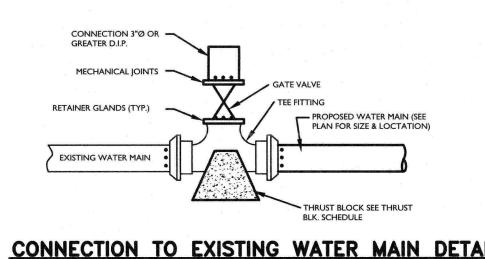
CONCRETE SUPPORT TO BE 2'-0" IN LENGTH

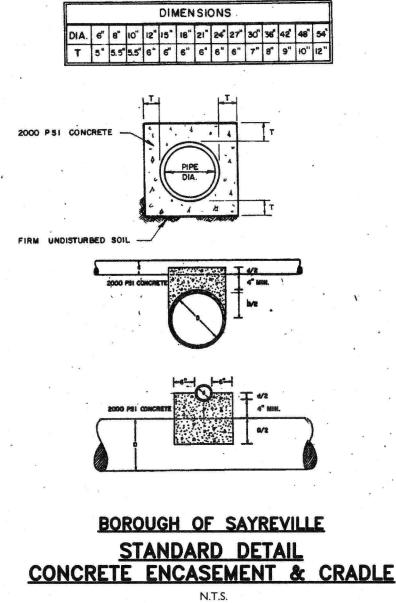


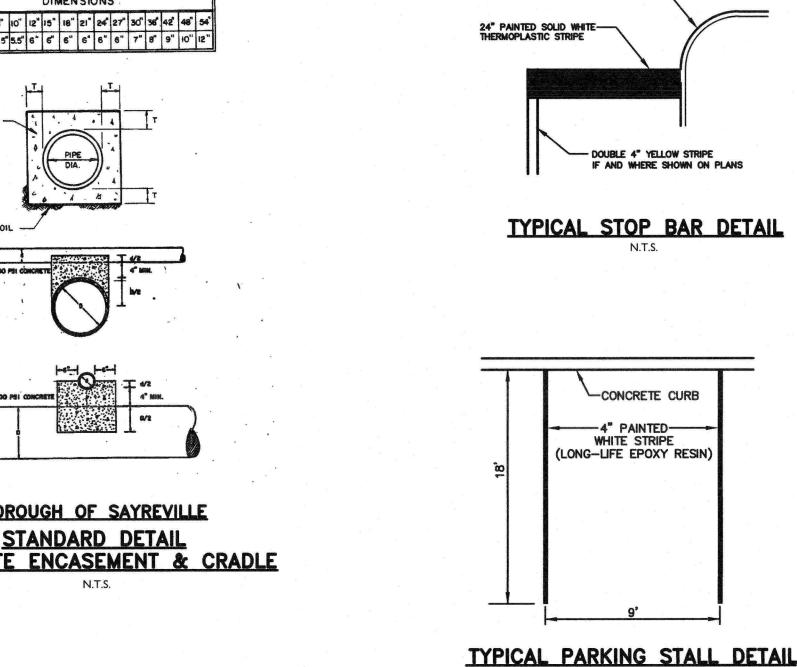


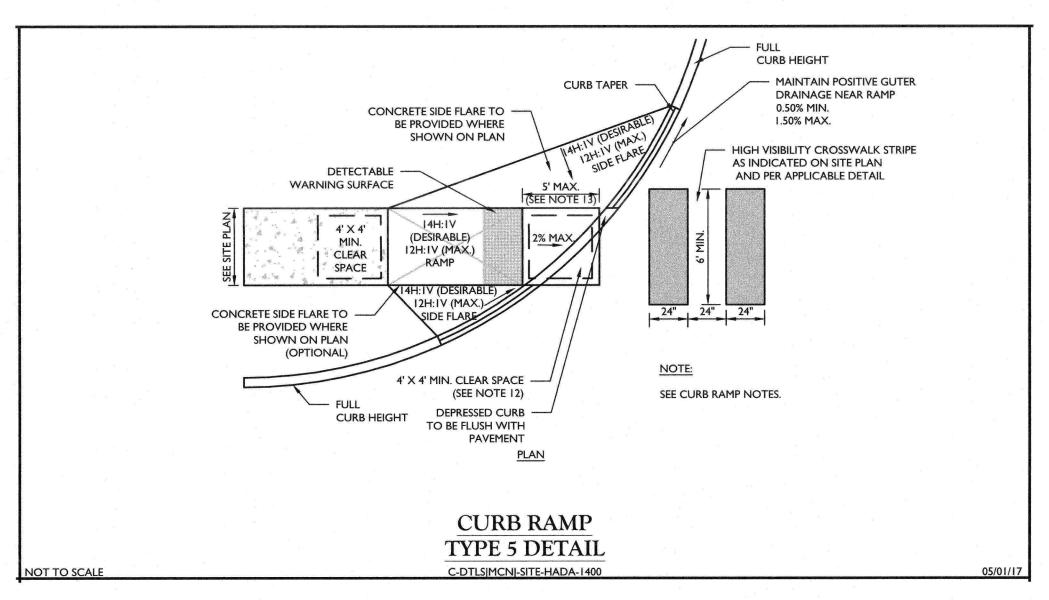
VERTICAL BEND RESTRAINT DETAILS

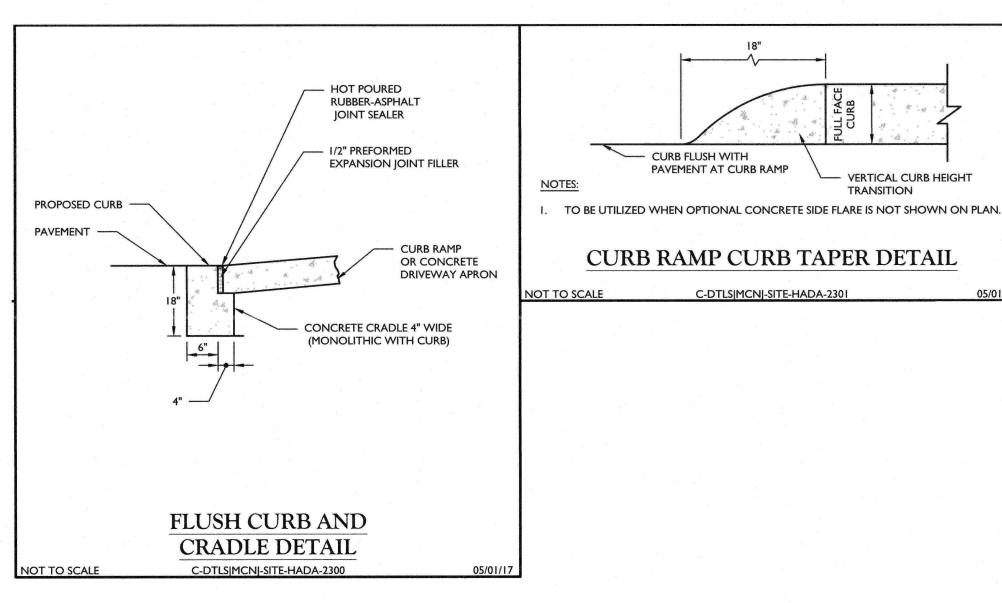














NOTES:

RIGHT-OF-WAY" (PROWAG).

C. LANDINGS

C-DTLS|MCNJ-SITE-HADA-2600

CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN

CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE/PROJECT. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE

LATEST FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN, AND CONSTRUCTION

WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE LATEST FEDERAL

PROPOSED "ASSESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC

FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING

SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS,

TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS AND ANY SUPPLEMENTAL STATE REQUIREMENTS.

(NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL,

STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE

FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY

i. LANDINGS AT CURB RAMPS - MUST BE 4 FT. MIN., X 4 FT. MIN. AND ARE TO BE

ii. LANDINGS AT RAMPS - MUST BE 5 FT MIN. IN THE DIRECTION OF TRAVEL AND BE PROVIDED AT EACH END OF THE RAMP, MUST PROVIDE POSITIVE

D. PATH OF TRAVEL ALONG ON-SITE ACCESSIBLE ROUTE - MUST PROVIDE A 36

INCH (EXCLUDING THE CURB) OR GREATER UNOBSTRUCTED WIDTH OF

INCREASED TO 5 FEET WHERE THE LANDING SPACE (TURNING SPACE) IS

DRAINAGE (I % MIN.), AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION. WHEN LANDING IS ALSO A TURNING

THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

FOOT OR NORMALLY 2.0%) IN ANY DIRECTION.

B. CURB RAMPS- SLOPES MUST NOT EXCEED 1:12 (8.3%).

SPACE, IT MUST BE A MINIMUM 5 FT X 5 FT.

iii. LANDINGS AT DOORWAYS - SEE NOTE F BELOW.

CONSTRAINED AT THE BACK OF THE SIDEWALK.

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> disclosed, distributed or relied upon for any other purpose wit the express written consent of Maser Consulting. PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION O XCAVATORS, DESIGNERS, OR ANY PERSO PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE



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Office Locations:

FOR STATE SPECIFIC DIRECT PHONE NUMBERS A. PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1:48 (L/4" PER VISIT: WWW.CALL811.COM

TRAVEL, (CAR OVERHANGS MUST NOT REDUCE THIS MINIMUM WIDTH). IN A PUBLIC RIGHT-OF-WAY, THE MINIMUM WIDTH EXCLUDING THE CURB IS 4 FT. THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP, WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 30 INCHES,

MUST BE PROVIDED. THE RAMP MUST HAVE A MINIMUM. CLEAR WIDTH OF 36 INCHES, HAVE ADA HAND RAILS AND LANDINGS (MIN. 5 FT. LONG IN THE DIRECTION OF TRAVEL) ON EACH END THAT ARE SLOPED A MIN. I % AND NO MORE THAN 1:48 (L/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. F. EXTERIOR DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE

EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA IS GENERALLY 5 FT X 5 FT, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS. (SEE APPLICABLE CODE SECTIONS).

IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL, INCLUDING WHETHER OR NOT FALL PROTECTION IS REQUIRED.

IT IS RECOMMENDED THAT THE CONTRACTOR CHECK THE SLOPE OF FORMWORK FOR COMPLIANCE WITH ADA STANDARDS PRIOR TO POURING CONCRETE.

NOTES:

CONTRACTOR SHALL PREPARE SHOP DRAWINGS OF EACH CURB RAMP FOR SUBMISSION AND APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.

LANDING AREA, APPROACH SIDEWALK TRANSITIONS AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.

B. CURB AT RAMP OPENING (FLUSH CURB) TO BE FLUSH WITH ROADWAY PAVEMENT. CROSSWALKS AND PAVEMENT MARKINGS TO BE INSTALLED AS DENOTED ON SITE

MAXIMUM RAMP SLOPE MAY BE 12H:1V UPON APPROVAL OF ENGINEER. RAMP SLOPES SHOWN ARE THE PREFERRED SLOPE. SIDE FLARE SLOPES MAY BE 10H:1V UPON APPROVAL OF THE ENGINEER.

MINIMUM RAMP CROSS-SLOPE SHALL BE 0.50%. THE MAXIMUM RAMP CROSS-SLOPE MAY BE 2.00% UPON APPROVAL OF THE ENGINEER. CROSS-SLOPES SHOWN IN THE DETAILS ARE THE PREFERRED SLOPES TO MAINTAIN A LEVEL OF CONSTRUCTION TOLERANCE.

ACCESSIBLE RAMPS SHALL BE INSTALLED PURSUANT WITH THE CURRENT UNITED STATES ACCESS BOARD ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES AND THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND OTHER APPLICABLE LOCAL AND STATE STANDARDS IN

EFFECT AT THE DATE OF CONSTRUCTION. DEVIATIONS FROM THE CURB RAMP DETAILS REQUIRE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER

AGENCY'S ENGINEER HAVING JURISDICTION.

THE RAMP SURFACE SHALL HAVE A NON-SLIP, HAND BROOMED FINISH. 0. CONCRETE EXPANSION JOINTS SHALL HAVE A FIRM SURFACE WITH 1/4" BEVELED CONCRETE EDGES. THE JOINT SURFACE SHALL NOT BE MORE THAN 1/4" BELOW THE

ADJOINING CONCRETE SURFACE.

. CURB RAMP MUST BE WHOLLY CONTAINED WITHIN THE CROSSWALK CROSSING. 2. THE CLEAR SPACE SHALL BE INCREASED TO 5 FEET WHERE THE TURNING SPACE IS

CONSTRAINED AT THE BACK OF THE SIDEWALK. . THE MAXIMUM SEPARATION BETWEEN THE BACK OF CURB AND DETECTABLE WARNING SURFACE SHALL NOT EXCEED 5 FEET. THE MAXIMUM SEPARATION AREA

MAY BE WITHIN THE 4' X 4' CLEAR SPACE. 14. SEE SEPARATE DETAILS FOR "DETECTABLE WARNING SURFACE" AND "CURB RAMP

15. WHERE SIDE FLARES ARE NOT REQUIRED, PROVIDE AN 18" CURB TAPER TO THE FLUSH

16. ALL CURB RAMP FLUSH CURB SHALL BE MADE WITH CONCRETE CURB CRADLE,

**NOTES** 

C-DTLS|MCN|-SITE-HADA-2500

REGARDLESS OF THE CURB MATERIAL USED THROUGHOUT THE SITE. **CURB RAMP** 

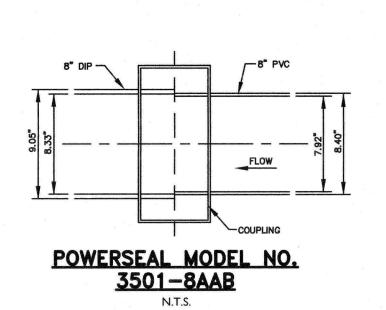
EXCAMATIONS IN EXISTING PAVED ROADWAYS SHALL BE COORDINATED WITH THE BOROUGH ROAD AVED WITH TEMPORARY BITUMINOUS PAVEMENT FROM THE DATE OF ORIGINAL EXCAVATION UNTIL PERMANENT PRVEMENT IS INSTALLED

UNDISTURBED EARTH BEARING -AREA (TYPICAL)

5/8" DIA HARNESS TIE RODS, 3 REO'D (RODS & NUTS EPOXY COATED) MAX. ROD LENGTH 10 L.F.

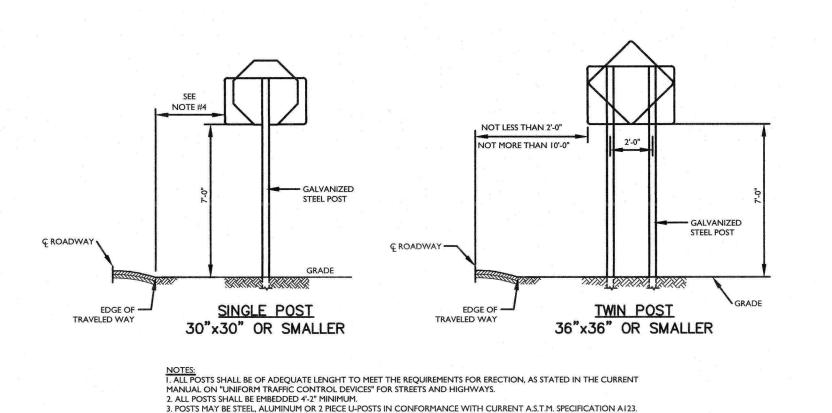
8" OR 6" M.J. BEND WITH-RETAINER GLANDS

STANDARD DETAIL TYPICAL PIPE BEDDING

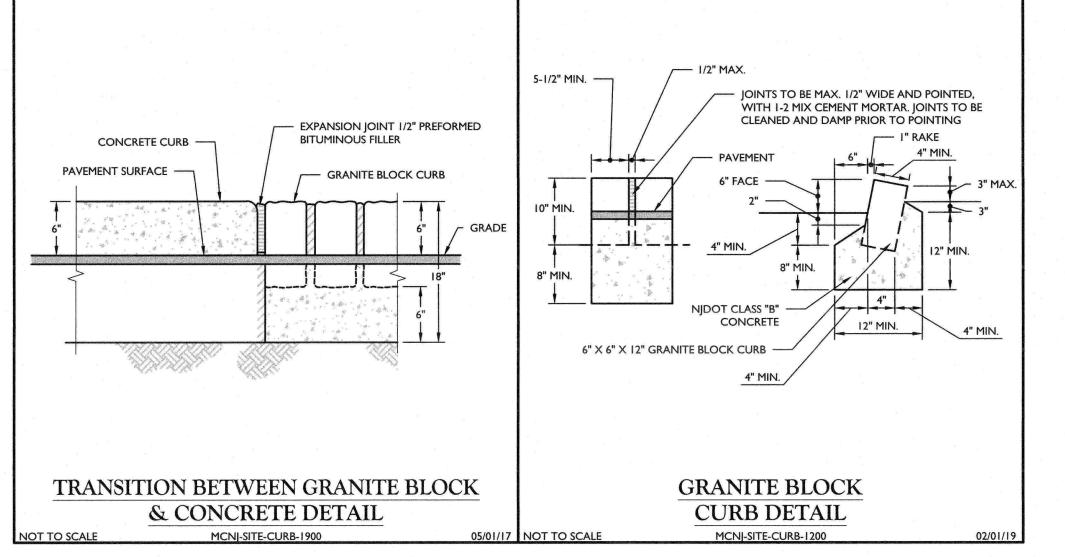


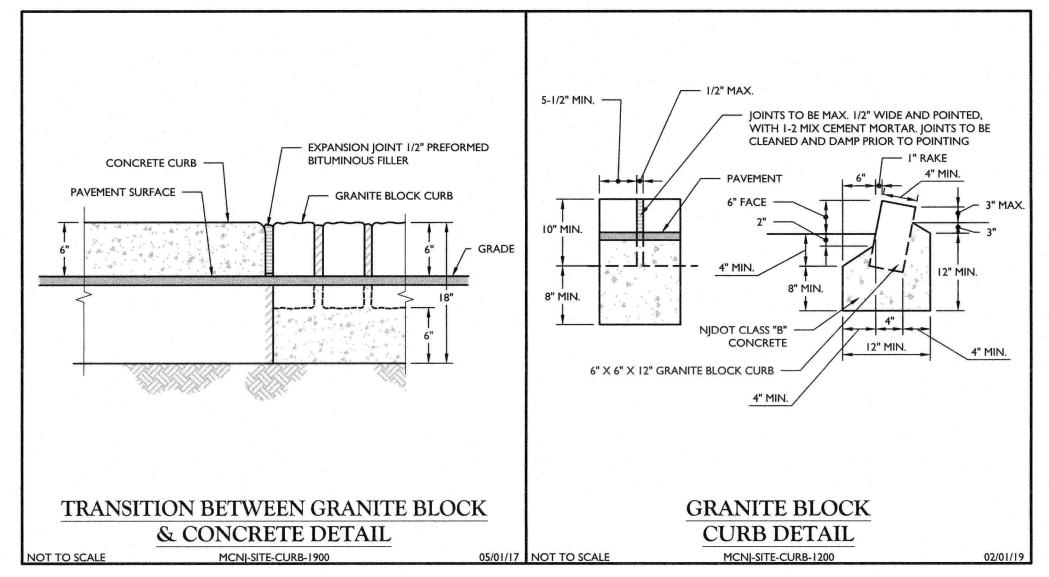






4. IN AREAS WITHOUT CURBING, THE OUTER EDGE OF SIGN TO BE 6'-0" MINIMUM TO 12'-0" MAXIMUM FROM EDGE OF SHOULDER, AS DIRECTED. SINGLE AND DOUBLE POST MOUNTING





Daniel W. Busch

NEW IERSEY LICENSED PROFESSIONAL ENGINEER LICENSE NUMBER: GE42093

MASER CONSULTING, INC. N.J. C.O.A. #: 24GA27986500

USE VARIANCE AND

PRELIMINARY AND FINAL

MAJOR SITE PLAN

**EPIC CHURCH** 

BLOCK 257

LOT 3.06 TAX MAP SHEET 91

**BOROUGH OF SAYREVILLE** MIDDLESEX COUNTY

**NEW JERSEY** 

CONSTRUCTION DETAILS

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