

ZONING MAP SCALE: N.T.S.

PROPERTY OWNERS WITHIN 200':

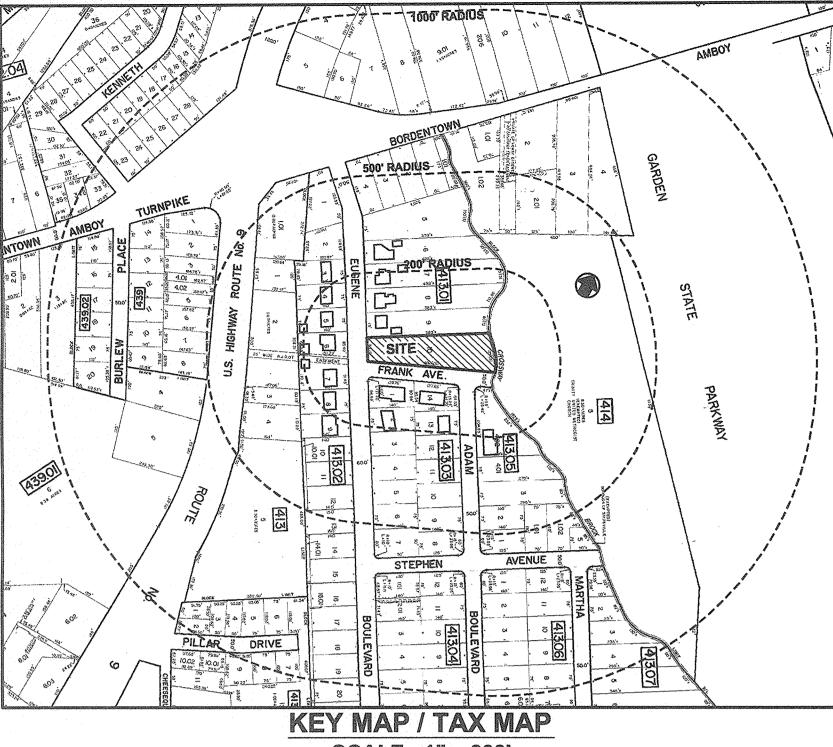
BLOCK 413.01	LOT 7	OWNER'S NAME & ADDRESS JONATHAN L. & SHERI KOPF 6 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	BLOCK 413.02	LOT 9	OWNER'S NAME & ADDRESS JASON E. CIAK & ANN MARIE H. ESTOK 17 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879
413,01	8	CHRISTOPHER J. & DONNA WILLIAMS 8 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.03	1	FELIX MEZZINA 2 FRANK AVENUE SOUTH AMBOY, NJ 08879
413.01	9	FRANK S. BUCZEK, JR. 10 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.03	2	VINCENT T. & VICTORIA LISINICCHIA 16 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879
413.02	3	JAMES & NANCY WILLIAMS 5 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.03	3	SAURAV VERMA & SHIVALI GHAI 20 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879
413.02	4	ROBERT S. SHARO 7 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.03	12	ASA SERVICES, LLC 315 SCHMIDT PLACE FORDS, NJ 08863
413.02	5	JOHN F. MARULLO 7 DOMINICK DRIVE MONROE TOWNSHIP, NJ 08831	413.03	13	RONALD VAZQUEZ & MARGARITA SANCHEZ 4 ADAM BOULEVARD SOUTH AMBOY, NJ 08879
413.02	6	RICHARD T. & LISA STAREK 11 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.03	14	RUSSELL & FRANCES KNOELL, JR. 4 FRANK AVENUE SOUTH AMBOY, NJ 08879
413.02	7	MARIANNE MURPHY 13 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	413.05	4.02	PAUL & EDITH SOHAYDA 5 ADAM BOULEVARD SOUTH AMBOY, NJ 08879
413.02	8	RALPH H. SZESZKO-ESTATE 15 EUGENE BOULEVARD SOUTH AMBOY, NJ 08879	414	5	TRINITY UNITED METHODIST CHURCH 815 BORDENTOWN AVENUE SOUTH AMBOY, NJ 08879
			EASEMENT		NEW JERSEY DEPARTMENT OF TRANSPORTATION 1035 PARKWAY AVENUE FWING NJ 08618

ZONING SCHEDULE - R-10

SITE DATA	REQUIRED	EXISTING (LOT 10)	PROPOSED (LOT 10.01)	PROPOSED (LOT 10.02)	PROPOSED (LOT 10.03)
MINIMUM LOT AREA / CORNER LOT	10,000 / 11,875 SF	37,917.9 SF	13,352.9 SF	10,533.4 SF	14,031.6 SF
MINIMUM LOT WIDTH / CORNER LOT	100 / 125 FT.	76.93 FT.*	76.93 FT. *	105.03 FT.	131.24 FT.
MINIMUM LOT DEPTH / CORNER LOT	100 / 100 FT.	388.35 FT.	160.55 FT.	100.29 FT.	115.06 FT.
MINIMUM FRONT YARD SETBACK	30 FT.	37.4 FT.	37.4 FT.	31 FT.	31 FT.
MINIMUM SIDE YARD SETBACK	10 FT.	10 FT.	10 FT.	20 FT.	11 FT.
MINIMUM TOTAL SIDE YARD SETBACK	25 FT.	305.7 FT.	88.9 FT.	47.0 FT.	83.2 FT.
MINIMUM REAR YARD SETBACK	25 FT.	10 FT.*	10 FT.*	29.8 FT.	27.2 FT.
MAXIMUM BUILDING HEIGHT	35 FT. or 2.5 STORIES	≤30 FT. / 1.5 STORIES	≤30 FT. / 1.5 STORIES	≤35 FT. or 2.5 STORIES	≤35 FT. or 2.5 STORIE
MAXIMUM LOT COVERAGE-BUILDINGS	20%	5.9% ±	16.7% ±	19.8%	12.5%
MAXIMUM LOT COVERAGE-BUILDING & PAVEMENT	40%	20.9% ±	32.6% ±	27.3%	20.5%

EMNG, NJ 08618

* EXISTING VARIANCE



SCALE: 1" = 300"

GENERAL NOTES:

1. BOUNDARY & TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM A SURVEY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, TAX MAP LOT 10 BLOCK 413.01, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY TAX MAP SHEET No. 119" PREPARED BY JUAN J. RODRIGUEZ, P.L.S. N.J LICENSE #24GS04323000 OF AMERTECH ENGINEERING INC., DATED 5/24/18. VERTICAL DATUM UTILIZED IS NAVD 1988 AND HORIZONTAL DATUM UTILIZED IS BASED ON N.J.S.P.C.S. NAD 83. VERTICAL DATUM CONVERSION IS NAVD1988 = NGVD1929 - 1.07'.

2. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.

3. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, AND/OR IF IN THE OPINION OF THE CONTRACTOR SUCH CONDITIONS SHOULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.

4. BASEMENT FLOOR TO BE SET AT A MINIMUM OF 1 FOOT HIGHER THAN THE SEASONAL HIGH WATER TABLE ELEVATION.

5. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP TITLED "MIDDLESEX COUNTY, NEW JERSEY (ALL JURISDICTIONS), PANEL 158 OF 286, COMMUNITY PANEL NUMBER 34023C0158F, EFFECTIVE DATE JULY 6, 2010", PORTION OF THE SITE IS LOCATED IN ZONE AE, AND THE FLOOD HAZARD ELEVATION IS 54.

6. CABLE, ELECTRIC, GAS, AND TELEPHONE SHALL BE SUPPLIED BY THEIR RESPECTIVE UTILITY COMPANIES AND CONSTRUCTED UNDERGROUND.

7.) THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSES OF OBTAINING MUNICIPAL SITE PLAN AND OTHER AGENCY APPROVAL AND SHALL NOT BE UTILIZED AS A CONSTRUCTION DOCUMENT UNTIL EACH DRAWING HAS BEEN REVISED TO INDICATE 'ISSUED FOR CONSTRUCTION'.

8.) THE PROPOSED BUILDINGS WILL BE SERVICED BY PUBLIC SANITARY SEWER AND WATER EXISTING IN THE PUBLIC RIGHT OF WAY.

9.) THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD

CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, AND/OR IF IN THE OPINION OF THE CONTRACTOR SUCH CONDITIONS SHOULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.

10.) ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

A. CURRENT PREVAILING MUNICIPAL, COUNTY AND/OR FEDERAL REGULATIONS, SPECIFICATIONS, AND STANDARDS. B. CURRENT JURISDICTIONAL UTILITY COMPANY/AUTHORITY SPECIFICATIONS, AND STANDARDS

11.) CLEARING AND GRADING SHALL BE PERFORMED IN STRICT CONFORMANCE WITH SECTION 200 OF THE NJOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION ENTITLED

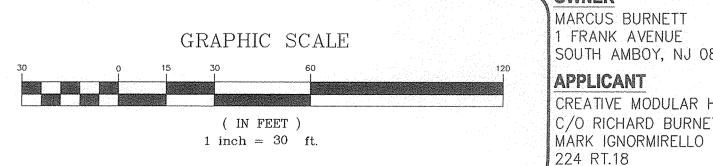
C.CURRENT UNIFORM CONSTRUCTION CODE AND BARRIER-FREE DESIGN REGULATIONS.

12.) ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL AND ALL AREAS SEÉDED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

13.) SITE GRADING & UTILITY WORK ARE TO BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO EXISTING VEGETATION AND TREES. ALL AREAS NOT AFFECTED BY CONSTRUCTION ARE TO REMAIN NATURAL AND UNDISTURBED.

14.) ALL EXISTING OR PROJECT GENERATED DEBRIS IS TO BE REMOVED AND PROPERLY DISPOSED ACCORDING TO ALL APPLICABLE REGULATIONS.

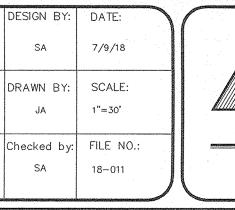
> APPROVED BY THE ZONING BOARD OF THE BOROUGH OF SAYREVILLE AT THE REGULAR MEETING OF ______. DATE CHAIRPERSON DATE SECRETARY BOROUGH ENGINEER



OWNER MARCUS BURNETT 1 FRANK AVENUE SOUTH AMBOY, NJ 08879 APPLICANT CREATIVE MODULAR HOMES C/O RICHARD BURNETT &

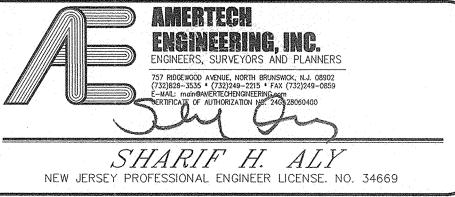
EAST BRUNSWICK, NJ 08816

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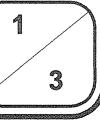
EXISTING TREES TO BE REMOVED



MINOR SUBDIVISION TAX MAP LOT 10 in BLOCK 413.01 BOROUGH OF SAYREVILLE MIDDLESEX COUNTY, NEW JERSEY TAX MAP SHEET 119

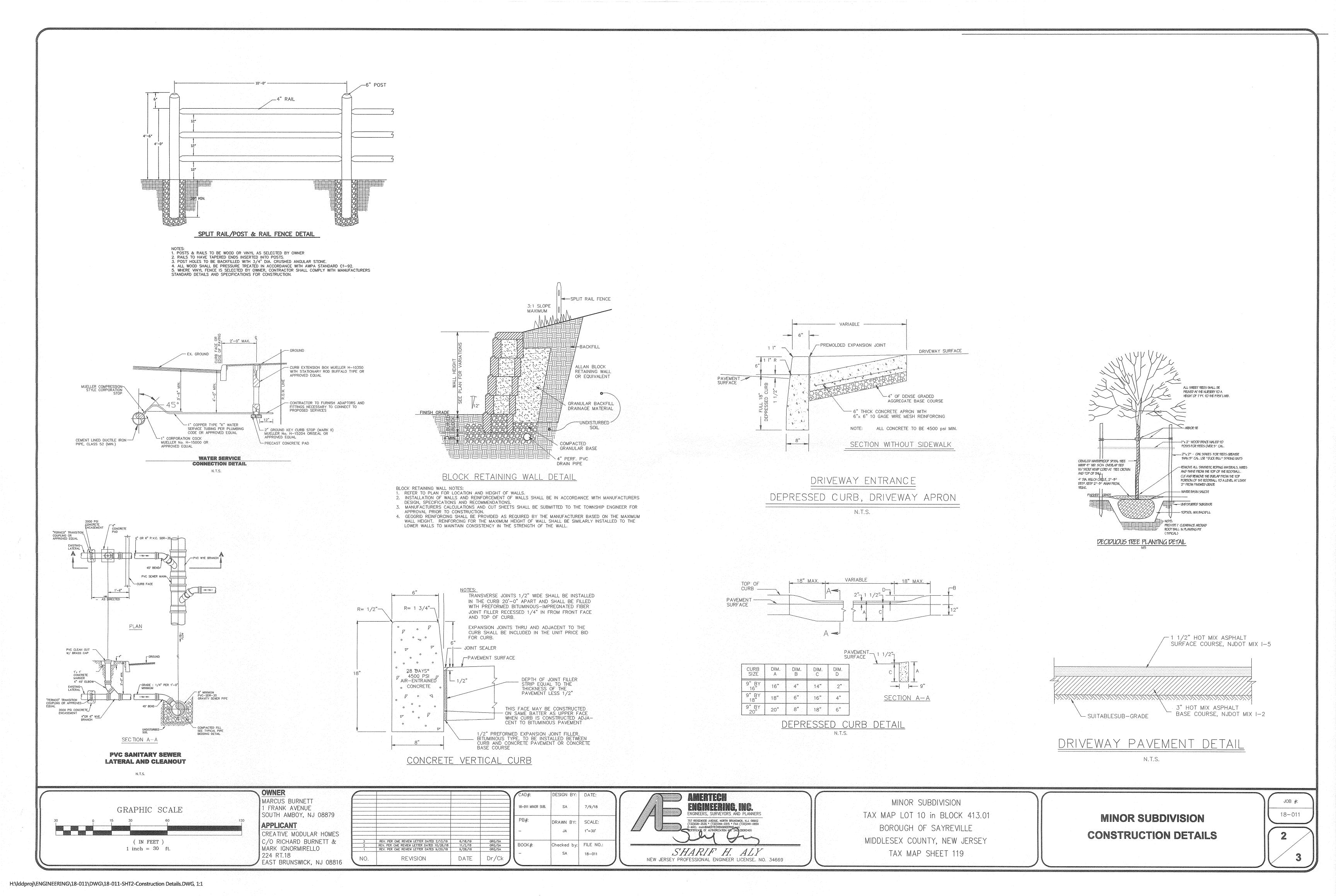
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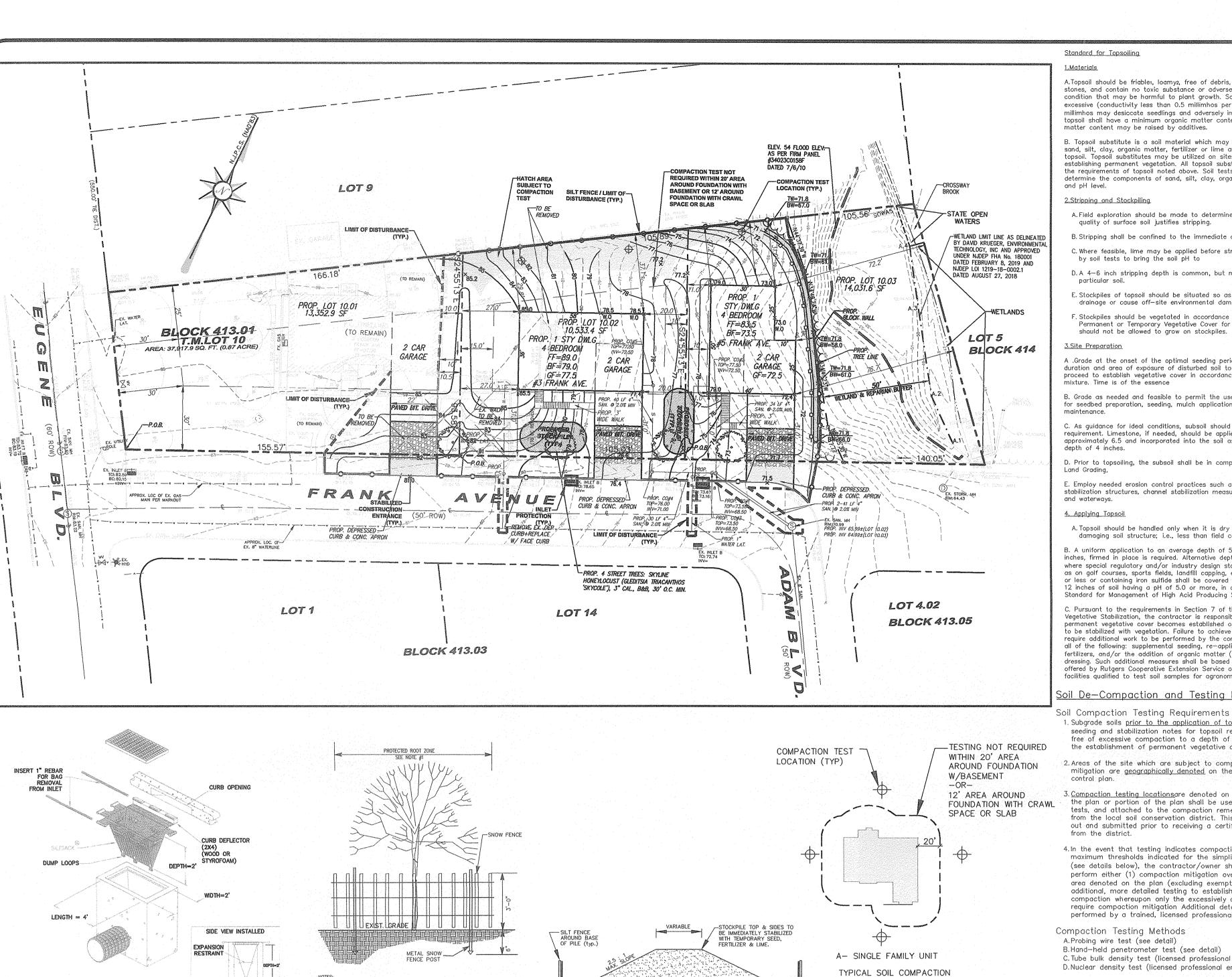
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JOB #:

18-011





Standard for Topsoiling

A.Topsoil should be friables, loamyz, free of debris, objectionable weeds and stones, and contain no toxic substance or adverse chemical or physical condition that may be harmful to plant growth. Soluble salts should not be excessive (conductivity less than 0.5 millimhos per centimeter. More than 0.5 millimhos may desiccate seedlings and adversely impact growth). Imported topsoil shall have a minimum organic matter content of 2.75 percent. Organic matter content may be raised by additives.

B. Topsoil substitute is a soil material which may have been amended with sand, silt, clay, organic matter, fertilizer or lime and has the appearance of topsoil. Topsoil substitutes may be utilized on sites with insufficient topsoil for establishing permanent vegetation. All topsoil substitute materials shall meet the requirements of topsoil noted above. Soil tests shall be performed to determine the components of sand, silt, clay, organic matter, soluble salts

2.Stripping and Stockpiling

- A. Field exploration should be made to determine whether quantity and or quality of surface soil justifies stripping.
- B. Stripping shall be confined to the immediate construction area. C. Where feasible, lime may be applied before stripping at a rate determined by soil tests to bring the soil pH to D. A 4-6 inch stripping depth is common, but may vary depending on the
- E. Stockpiles of topsoil should be situated so as not to obstruct natural
- drainage or cause off-site environmental damage. F. Stockpiles should be vegetated in accordance with standards of

Permanent or Temporary Vegetative Cover for Soil Stabilization. Weeds should not be allowed to grow on stockpiles. 3.Site Preparation

A .Grade at the onset of the optimal seeding period so as to minimize the duration and area of exposure of disturbed soil to erosion. Immediatel proceed to establish vegetative cover in accordance with the specified seed mixture. Time is of the essence

B. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and

C. As auidance for ideal conditions, subsoil should be tested for lime requirement, Limestone, if needed, should be applied to bring soil to a pH of approximately 6.5 and incorporated into the soil as nearly as practical to a

D. Prior to topsoiling, the subsoil shall be in compliance with the Standard for

E. Employ needed erosion control practices such as diversions, grade stabilization structures, channel stabilization measures, sedimentation basins, and waterways

A. Topsoil should be handled only when it is dry enough to work without damaging soil structure; i.e., less than field capacity

B. A uniform application to an average depth of 5.0 inches, minimum of 4 inches, firmed in place is required. Alternative depths may be considered where special regulatory and/or industry design standards are appropriate such as on golf courses, sports fields, landfill capping, etc., Soils with a pH of 4.0 or less or containing iron sulfide shall be covered with a minimum depth of 12 inches of soil having a pH of 5.0 or more, in accordance with the Standard for Management of High Acid Producing Soil.

C. Pursuant to the requirements in Section 7 of the Standard for Permanent Vegetative Stabilization, the contractor is responsible to ensure that permanent vegetative cover becomes established on at least 80% of the soils to be stabilized with vegetation. Failure to achieve the minimum coverage may require additional work to be performed by the contractor to include some or all of the following: supplemental seeding, re-application of lime and fertilizers, and/or the addition of organic matter (i.e. compost) as a top dressing. Such additional measures shall be based on soil tests such as those offered by Rutgers Cooperative Extension Service or other approved laboratory facilities qualified to test soil samples for agronomic properties.

oil De-Compaction and Testing Requirements

1. Subgrade soils <u>prior to the application of topsoil</u> (See permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.

2. Areas of the site which are subject to compaction testing and/or mitigation are geographically denoted on the certified soil erosion control plan.

ationsare denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.

4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods. (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively competed areas would require compaction mitigation Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods A. Probing wire test (see detail)

B. Hand-held penetrometer test (see detail) C. Tube bulk density test (licensed professional engineer required) D. Nuclear density test (licensed professional engineer required)

Note: additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if /when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for soil compaction mitigation Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.

Simplified Testing Methods

Soil should be moist but not

excessively dry or subject to

is encountered

advance the wire

saturated. Do not test when soil is

freezing temperatures. Slow steady

downward pressure used to avoid to

Probing Wire Test - 15.5 ga Steel Wire (Suevey Flag

Wire may be re-inserted if / when

an obstruction (rock, root, debris)

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). in the alternative another method as specified by a NJ licensed professional engineer may be substituted subject to district approval.

-Gage reading 300

5.0"" min. visible mark on wire at

-Use correct size tip for

soil type

psi or less at 6"

SOIL EROSION AND SEDIMENT CONTROL NOTES The Borough of Sayreville shall be notified forty—eight (48) hours in advance of any land disturbance activity.

All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is

Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the Borough for Recertification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.

- NJSA 4:24-39 et. Seg. requires that no Certificates of Occupancy be issued before the Borough determines that a project or portion thereof is in full compliance with the Certified Plan and Standards for Soil Erosion and Sediment Control in New Jersey and a Report of Compliance has been issued. Upon written request from the applicant, the Borough may issue a Report of Compliance with conditions on a lot-by-lot or section-by-section basis, provided that the project or portion thereof is in satisfactory compliance with the sequence of development and temporary measures for soil erosion and sediment control have been implemented including provisions for stabilization and site
- Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 2 to 2 1/2 tons per acre, according to the Standard for Stabilization with Mulch Only.
- all critical areas subject to erosion, (ie. soil stockpiles, steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, and a mulch anchor, in accordance with State Standards.

Immediately following initial disturbance or rough grading.

- A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways and parking areas. In areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading.
- The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site. After interior roadways are paved, individual lots require a stabilized construction entrance consisting of one inch to two inch (1" to 2") stone for a minimum length of ten feet 10' equal to the lot entrance width. All other access points shall be blocked off.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right—of—ways will be removed immediately.
- 10. Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10 days) after final grading.
- At the time the site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate regetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stablization will have to be employed.
- 12. In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be ultimately placed or buried with limestone applied at the rate of 10 tons/acre, (or 450lbs/1,000 sq ft of surface area) and covered with a minimum of twelve (12) inches of settled soil with a pH of 5 or more or twenty-four (24) inches where trees or shrubs are to be planted.
- 13. Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational
- Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for
- Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established, or mulch shall be applied as required by the Standard for Dust Control.
- Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.
- All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note
- 18. The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.
- 19. All soil erosion and sediment constrol methods and materials shall be in accordance with the requirements and recommendations within "The Standards for Soil Erosion and Sediment Control in New Jersey".

SLOPE STABILIZATION STANDARDS Grade slopes as per plan

- 2. Apply Limestone at a rate of approximately 2 tons/acre and fertilizer at approximately 500 pounds/acre (10-20-10 or equal).
- Work lime and fertilizer into soil to a depth of 4 inches
- 4. Apply seed 40 pound/acre by hand, cyclone seeder or hydro seeder.
- 5. Roll seed bed to a uniform compaction Mulch and stabilize as per mulching and tacking specifications

7. Steep slopes to be stabilized w/ jute matting or equivalent

approved slope stablization blanket (4:1 or steeper).

Basins steep slopes to be stabilized w/jute matting or equivalent approved slope stabilization and a water tolerant seeding mix (SCD MIX #18) consisting of Rough Bluegrass @ 2.0 lbs/1000sf and Strong Creeping Red Fescue @ 1.2 lbs/1000sf.

SEEDING SCHEDULE

Temporary seeding shall consist of Spring Oats applied at a rate of 2.0lbs per 1,000sf (86lbs/Acre) or Perennial Ryegrass at a rate of 1.0lbs per 1,000 sf (100lbs/Acre). Apply ground limestone and fertilizer according to soil test recommendations. Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Temporary seeding to be maintained until disturbed areas are permanently stabilized with permanent seeding. Mulch seeded area with a mulch as indicated under Mulching & Tacking Specifications this sheet.

- 1a. For warm season seed mixture for temporary seeding, Pearl Millet shall be used. Pearl Millet at a rate of 0.5lbs per 1000 square feet. The seeing rate for warm season grass shall be adjusted to reflect the amount of Pure Line Seed (PLS) as determined by a germination test result. Warm season seeding may be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- Permanent Seeding shall consist of the following mixture or approved equal:

EXCESSIVELY DRAINED LOTS (MIXTURE #10): Tall Fescue (turf-type) @ 265lbs/Ac. (6lbs/1000 sf)

Perennial Ryegrass @ 20lbs/Ac. (5lbs/1000 sf) Optimum Planting Period Dates: 3/1-4/30 Acceptable Planting Period Dates: 5/1-8/14, 8/15-10/15

WELL TO MODERATELY WELL DRAINED LOTS (MIXTURE #6): Fine Fescue (Blend) © 130lbs/Ac. (3lbs/1000sf) - Hard Fescue

- Chewings Fescue - Strong Creeping Red Fescue

@ 45lbs/Ac (0.1lbs/1000sf) Kentucky Bluegrass 20lbs/Ac (0.5lbs/1000sf) Perennial Ryegrass White Clover 5lbs/Ac (0.10lbs/1000sf) (White Clover can be eliminated when used to establish lawns)

Optimum & Acceptable Planting Period Dates: Not specified by the standards for soil erosion and sediment control in New

POORLY DRAINED LOTS & DETENTION BASINS (MIXTURE #16): Rough Bluegrass @ 90lbs/Ac (2.0lbs/1000 sf) Strong Creeping Red Fescue @ 130lbs/Ac (3lbs/1000sf)

Optimum Planting Period Dates: 8/15-10/15 Acceptable Planting Period Dates: 3/1-4/30, 5/1-8/14

2a. Warm season permanent Seeding shall consist of the following mixture or approved equal: EXCESSIVELY DRAINED LOTS & WELL TO MODERATELY WELL

DRAINED LOTS (MIXTURE #3): Switchgrass 15lbs/Ac. (0.35lbs/1000 sf) Deertonque Olbs/Ac. (0.25lbs/1000 sf) Little Bluestem 20lbs/Ac. (0.45lbs/1000 sf) Sheep escue

Plus Partridge pea

Optimal Planting dates for warm season seeding is 3/1-4/30.

- Conventional Seeding is performed by applying seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil within 24 hours of seedbed preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse-textured soil.
- After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.
- Mulching is required on all seeding. Stablize all seeded areas with mulch as indicated in Mulching & Tacking Notes.
- If season prevents the establishment of temporary or permanent seeding, exposed area to be stabilized with mulch as
- Mulch used for exposed areas where season prevents the establishment of permanent or temporary cover to consist of small grain straw or salt hay anchored with a wood and fibre mulch binder or an approved equal. Mulch will spread at rates of 90 to 115 lbs/1000 sf and anchored with a mulch anchoring tool or liquid mulch binder. For mulch application with seeding see the Mulching and Tacking Specifications this sheet.
- Soil shall be tested for liming requirements at the time of seedbed preparation. Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co—op Extension offices. Fertilizer shall be applied at the rate of 500lbs per acre or 11lbs/1,000sf of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the soil to a depth of 4 inches with a disc, springtooth harrow or other suitable equipment. The final harrowing or discing operation should be on the General contour. Continue tillage until a reasonably uniform, fine seedbed is prepared. All but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.
- Where sod is used for permanent vegetative stabilization all requirements and recommendations contained within the "Standard for Permanent Stabilization with Sod" in the current Soil Erosion and Sediment Control Standards in New Jersey.
- The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rates are required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the district. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once. Note this designation of mowed once does not guarantee the permanency of the turf should other maintenance factors be neglected or otherwise mismanaged.

VEGETATIVE COVER MAINTENANCE NOTES

Maintenance should occur on a regular basis, consistent with favorable plant growth, soil and climatic conditions. Thi involves regular seasonal work for mowing, fertilizing, liming, water, pruning, fire control, weed and pest control, reseeding

- Mowing on improved areas, such as lawns, certain recreation fields and picnic areas shall be frequent. On semi-improved
- areas, mowing will be infrequent. Unimproved areas may be left unmowed to permit natural succession.
- 3. Fertilizer should be applied as needed to maintain a dense stand of desirable species. Frequently moved areas and those on sandy soils will require more fertilization.
- Lime requirement should be determined by soil testing to be done every 2 or 3 years. Fertilization will increase the need for
- Weed invasion may result from abusive moving and inadequate fertilization and liming. Brush invasion is a common consequence of lack of mowing. Control of weeds or

brush shall be accomplished by using herbicides or mechanical

- The Property Owner (or tenant by contract) shall be responsible for maintenance during and after construction. MULCHING & TACKING SPECIFICATIONS
- Mulching shall be applied to all disturbed areas immediately after construction and following the application of temporary and/or permanent seeding in accordance with the "Standards for Soil Erosion and Sediment Control in New Jersey". Mulching to consist of the following:

a) Straw or Hay. Unrotted small grain straw, hay free of seeds, applied at the rate of 1-1/2 to 2 tons per acre (70 to 90lbs/1,000sf), except that where a crimper is used instead of a liquid mulch binder (tackifying or adhesive agent), the rate of application is 3 tons per acre.

b) Wood-fiber or paper-fiber mulch applied at a rate of 1,500lbs per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder c) Pelletized mulch applied at a rate of 60-75lbs/1,000sf and

Mulching shall be anchored in accordance with the "Standards for Soil Erosion and Sediment Control in New Jersey". Anchoring for proposed Mulch shall be accomplished using one of the following

methods: a) Peg & Twine. b) Mulch Nettings.

activated with 0.2 to 0.4 inches of water.

c) Crimper (mulch anchoring tool). d) Liquid Mulch Binders. (May be used to anchor hay or straw DUST CONTROL

The following methods should be considered for controlling dust: Mulches - See Standards for Stabilization with Mulches Only (p.5-1).* <u>Vegetative Cover</u> - See Standards for: Temporary Vegetative Cover (p. 7-1)*, Permanent Vegetative Cover (p. 4-1)*, and Permanent Stabilization with Sod (p.6-1)*.

<u> Spray—On Adhesives</u> — On mineral soils (not effective on muck soils) Keep traffic off these areas.

MATERIAL Type of Nozzle Anionic Asphalt Emulsion Coarse Spray Latex Emulsion 12.5:1 Fine Spray 2:35 Resin in Water 300 4:1 Fine Spray

olyacrylamide (PAM) — spray on — Apply according to manufacturer's instructions. May Polyacrylamide (PAM) — dry spread — also be used as an additive to sediment basins to occulate and precipitate suspended colloids. See Sediment Basin standard, p. 26-1

Articulated Soy Been Soap Stick None Coarse Spray

Tillage - To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are example of equipment which may produce the desired effect.

Sprinkling - site is sprinkled until the surface is wet.

Barriers - Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar material can be used to control air currents

Calcium Chloride — Shall be in the form of loose, dry granules or flake fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plantdamage. If use on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

Stone - Cover surface with crushed stone or coarse gravel. * Standards for Soil Erosion and Sediment Control in New Jersey, Jan., 2014

STOCKPILE NOTES: Stockpiles should be situated so as not to obstruct natural drainage or cause off-site environmental damage. Stockpiles should be vegetated in accordance with standards described with the Seeding Schedule hereon for Permanent or Temporary Vegetative Cover for Soil Stabilization. Weeds should

not be allowed to grow on stockpiles. SEQUENCE OF OPERATIONS Silt fence to be installed immediately before clearing. Install

stabilized construction entrance and inlet protection as noted. Clear and establish rough grades. All exposed surfaces will be stabilized as defined in Soil Erosion and Sediment Control

notes 1 and 2 THREE DAYS

Construct driveway, and utility services. ONE WEEK Clear and grade building area and construct building. All disturbed areas will receive appropriate temporary and permanent stabilization as defined in soil erosion and

sediment control notes 1 and 2. VARIABLE Perform soil compaction testing/mitigation on site.

Report of Compliance inspection.

ONE DAY

Establish finished grades, place concrete sidewalks and establish permanent vegetative cover. Remove silt fence and inlet barricades after all disturbed areas have been stabilized.

Applicant shall obtain a Soil Compaction Mitigation

All soil erosion and sediment control methods and

Verification Form, fill out form, and submit form to the

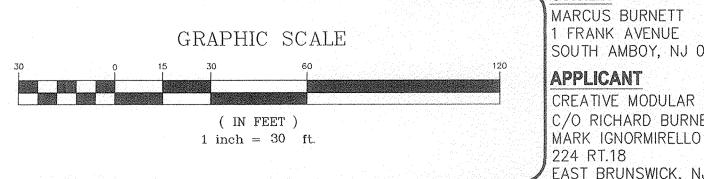
Borough Engineer prior to the Borough performing a

materials shall be in accordance with the requirements and recommendations within "The Standards for Soil Erosion and Sediment Control in New Jersey".

JOB #:

18-011

SOIL EROSION & SEDIMENT CONTROL PLAN



FILTER FABRIC FENCE (SILT FENCE)

3. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM THICKNESS OF 1 1/2" INCHES.

1. FILTER FABRIC FENCE AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN

NEW JERSEY
2. DOUBLE ROW OF SILT FENCE SHALL BE CONSTRUCTED TO PROTECT ALL

CONSIST OF TWO ROWS OF STANDARD SILT FENCE CONSTRUCTED A MINIMUM OF 3' APART.

WETLAND AND/OR REGULATED WATERWAYS. DOUBLE SILT FENCE SHALL

INLET PROTECTION DETAIL

DRAWSTRING RUNNING THROUGH FABRIC ALONG TOP OF FENCE___

OPTIONAL WIRE FENCE BEHIND -

MARCUS BURNETT FRANK AVENUE SOUTH AMBOY, NJ 08879 APPLICANT REATIVE MODULAR HOMES OO RICHARD BURNETT &

SILT FENCE ONLY-

AS NEEDED

Estimate a tree's Protected Root Zone (PRZ) by calculating the Critical Root Radius (crr).
 Measure the dbh (diameter of tree at breast height, 4.5 feet above ground on the uphili

2. Refer to Standards for Soll Erosion & Sediment Control in New Jersey, Jan. 2014 for

TREE PROTECTION SNOW FENCE DETAIL

MIT OF DISTURBANCE

O BE DELINEATED WITH

TOPSOIL

STOCKPILE

SILT FENCE

AROUND

STOCKPILE

HOUSE

SOIL EROSION & SEDIMENT CONTROL

TYPICAL LOT DETAIL

SILT FENCE

side of tree) in inches.
b) Multiply measured dobt by 1.5 or 1.0. Express the result in feet.
Dbh x 1.5: Critical root radius for older, unhealthy, or sensitive species.
Dbh x 1.0: Critical root radius for younger, healthy or tolerant species.

FENCE POST-8' O.C.

SILT ACCUMULATION

TYPICAL SECTION THRU SILT FENCE

FABRIC SECURED TO POST WITH METAL FASTENERS AND REINFORCEMENT BETWEEN FASTENER AND FABRIC

DIG 6" DEEP TRENCH, BURY CRUSHED STONE BOTTOM FLAP, TAMP IN PLACE PAD, ASTM C-33

CRUSHED STONE

6" DEEP

STONE -

SIZE (1"-2") No. 3

INSTALL GEOTEXTILE

FABRIC UNDER THE

V. PER CME REVIEW LETTER DATED 2/13/19
V. PER CME REVIEW LETTER DATED 10/26/18 9/28/18 DATE Dr/Ck EAST BRUNSWICK, NJ 08816

TOPSOIL STOCKPILE SECTION

EXISTING GROUND

PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W.

STONE SIZE — USE ASTM C-33, SIZE No. 2 (2 ½"-1 ½") OR No. 3 (2"-1"). USE CRUSHED STONE.

STABILIZED CONSTRUCTION ENTRANCE TO BE IN ACCORDANCE WITH SECTION 4.15.1, STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY

LENGTH ACCORDING TO TABLE 27.1

STABILIZED CONSTRUCTION ENTRANCE

LENGTH ACCORDING TO TABLE 27.1 PUBLIC R.O.W.

PERCENT SLOPE OF ROADWAY

2 TO 5% 100 FT

COARSE GRAINED SOILS SOILS

50 FT 100 FT

ENTIRE SURFACE STABILIZED WITH HOT MIX ASPHALT BASE COURSE, MI

7/9/18 18-011-PSCD PB#: SCALE: DRAWN B 1"=30" BOOK#: FILE NO. Checked by 18-011

TESTING LOCATION

Handheld Soil Penetrometer Test

saturated. Do not test when soil is

freezing temperatures. Slow steady

debris) is encountered

downward pressure used to avoid to

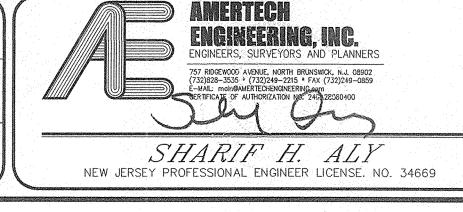
Penetrometer may be re-inserted

if/when an obstruction (rock, root,

Soil should be moist but not

excessively dry or subject to

advance the wire



MINOR SUBDIVISION TAX MAP LOT 10 in BLOCK 413.01 BOROUGH OF SAYREVILLE MIDDLESEX COUNTY, NEW JERSEY TAX MAP SHEET 119

Wire must penetrate a minimum of

6.0"" min. visible mark on wire at

6" without deformation