

ZONING TABLE

BOROUGH OF SAYREVILLE - HIGHWAY BUSINESS (B-3) ZONE			
PERMITTED PRINCIPAL USES: AUTOMOBILE REPAIR FACILITY			
PERMITTED ACCESSORY USES: ACCESSORY USES CUSTOMARILY INCIDENTAL TO THE MAIN USE			
BULK REQUIREMENTS	REQUIRED	EXISTING COMBINED (LOTS 6, 7 & 8)	PROPOSED COMBINED (LOTS 6, 7 & 8)
MINIMUM LOT AREA (SQUARE FEET)	20,000	31,119	31,119
MINIMUM LOT WIDTH (FEET)	100	208.6	208.6
MINIMUM LOT DEPTH (FEET)	100	150.5	150.5
MAXIMUM BUILDING COVERAGE (%)	25	13.1	8.8
MAXIMUM BUILDING AND PAVEMENT COVERAGE (%)	85	43.9 ¹	68.0
PRINCIPAL BUILDING REQUIREMENTS	REQUIRED	EXISTING COMBINED (LOTS 6, 7 & 8)	PROPOSED COMBINED (LOTS 6, 7 & 8)
MINIMUM FRONT YARD SETBACK (FEET)	50	33.1*	51.2
MINIMUM SIDE YARD SETBACK (EACH) (FEET)	10	7*	7*
MINIMUM SIDE YARD SETBACK (TOTAL) (FEET)	20	28.4	154.8
MINIMUM REAR YARD SETBACK (FEET)	25	36.7	36.7
MAXIMUM BUILDING HEIGHT (FEET)	35	18 ¹	18
ACCESSORY STRUCTURE REQUIREMENTS	REQUIRED	EXISTING COMBINED (LOTS 6, 7 & 8)	PROPOSED COMBINED (LOTS 6, 7 & 8)
MAXIMUM ACCESSORY STRUCTURE HEIGHT (FEET)	15	<15	6
MINIMUM ACCESSORY STRUCTURE SETBACK TO OTHER STRUCTURES (FEET)	10	0* ¹	104.3
NO ACCESSORY STRUCTURES PERMITTED IN FRONT YARD (COMPLIANCE)	YES	YES	YES
MINIMUM SIDE YARD SETBACK (EACH) (FEET)	5	±46 ¹	35
MINIMUM SIDE YARD SETBACK (TOTAL) (FEET)	10	±117 ¹	193.3
MINIMUM REAR YARD SETBACK (FEET)	12.5	±31 ¹	20.1
PARKING AND LOADING REQUIREMENTS	REQUIRED	EXISTING COMBINED (LOTS 6, 7 & 8)	PROPOSED COMBINED (LOTS 6, 7 & 8)
MINIMUM REQUIRED OFF-STREET PARKING STALLS (REPAIR GARAGE) 5 REPAIR BAYS @ 4 SPACES PER BAY 1 SERVICE VEHICLE @ 2 BAYS PER SERVICE VEHICLE	22	11* ¹	30
MINIMUM REQUIRED OFF-STREET PARKING STALLS (OFFICE) 500 SF @ 4 SPACES PER 1,000 SF	2	0	2
MINIMUM REQUIRED OFF-STREET PARKING STALLS (STORAGE) 320 SF @ 1 SPACE PER 5,000 SF	1	0	1
TOTAL OFF-STREET PARKING STALLS	25	11* ¹	33
MINIMUM REQUIRED MAKE-READY ELECTRIC VEHICLE STALLS (EACH)	1	N/A	1
MINIMUM OFF-STREET LOADING STALL (EACH)	1	1	1
MINIMUM OFF-STREET LOADING STALL SIZE (WxL)	12x50	15x30*	15x28**
MINIMUM OFF-STREET PARKING STALLS SIZE (WxL)	9x18	9x18	9x18
MINIMUM DRIVE AISLE WIDTH FOR 90 DEG PARKING (FEET)	24	24	24
MINIMUM DRIVEWAY CURB CUT SETBACK TO PROPERTY LINE (FEET)	10	5* ¹	14.8
MINIMUM DRIVEWAY DISTANCE BETWEEN DRIVEWAY ON SAME PROPERTY (FEET)	25	50	37
PARKING LOTS AND LOADING AREAS TO BE CURBED (COMPLIANCE)	YES	YES	YES
NO PARKING ALLOWED IN FRONT YARD SETBACK (COMPLIANCE)	YES	YES	NO**
NO LOADING AREA ALLOWED IN FRONT, SIDE OR REAR YARD SETBACK (COMPLIANCE)	YES	NO*	NO**
MINIMUM PARKING OR LOADING SETBACK TO PROPERTY LINE (FEET)	5	> 5	5
SIGN REQUIREMENTS	REQUIRED	EXISTING COMBINED (LOTS 6, 7 & 8)	PROPOSED COMBINED (LOTS 6, 7 & 8)
MINIMUM DISTANCE BETWEEN FREESTANDING SIGN AND RESIDENTIAL ZONE BOUNDARY (FEET)	10	> 10 ¹	>10
MAXIMUM FREESTANDING SIZE (SQUARE FEET)	85	50 ¹	59
MAXIMUM FREESTANDING HEIGHT (FEET)	15	15 ¹	15 ¹
MAXIMUM NUMBER OF FREESTANDING SIGNS (EACH)	1	1	1
MINIMUM FREESTANDING SIGN SETBACK (FEET)	25	5 ¹	0.6**
LIGHTING REQUIREMENTS	REQUIRED	EXISTING COMBINED (LOTS 6, 7 & 8)	PROPOSED COMBINED (LOTS 6, 7 & 8)
MAXIMUM HEIGHT OF FREESTANDING LIGHTS (FEET)	25	N/A	25
MINIMUM LIGHT INTENSITY - PARKING LOT	0.5	N/A	0.4**
MAXIMUM ILLUMINATION (RATIO)	15	N/A	8.5
MINIMUM LIGHT INTENSITY - SIDEWALK	1	N/A	2.5
MAXIMUM LIGHT INTENSITY - PROPERTY LINE	0.5	N/A	0.5
LANDSCAPING REQUIREMENTS	REQUIRED	EXISTING COMBINED (LOTS 6, 7 & 8)	PROPOSED COMBINED (LOTS 6, 7 & 8)
MINIMUM LANDSCAPE BUFFER BETWEEN NON-RESIDENTIAL AND RESIDENTIAL USE (FEET)	50	20*	20**
MINIMUM LANDSCAPE AREA - SITE WIDE (%)	20	N/A	31.6
MINIMUM LANDSCAPE AREA ALONG RIGHT-OF-WAY (%)	5	N/A	6.0
MINIMUM PARKING AREA LANDSCAPING (10%)	10	N/A	20
MINIMUM SHADE TREES IN PARKING LOT (1 TREE PER 10 SPACES)	4	N/A	17
MINIMUM TREES IN PARKING LOT - TREE CONSERVATION (1 TREE PER 2 SPACES)	17	N/A	17

1. BASED ON PROPOSED SITE CONDITIONS AS DETAILED ON THE ENGINEERING/SOIL EROSION PLAN PREPARED BY THE SRM GROUP, INC LAST REVISED JUNE 23, 1986 FOR LOTS 7 & 8.
**EXISTING NON-CONFORMITY
**VARIANCE/DESIGN WAIVER

NOTES

- GENERAL NOTES:
1. SUBJECT PROPERTY IS KNOWN AS LOTS 6, 7 & 8 IN BLOCK 439. THE MUNICIPAL TAX MAP SHEET NUMBER 118. PROPOSED SITE CONTAINS 0.71 ACRES.
- EXISTING USE: SINGLE FAMILY RESIDENTIAL, VEHICLE REPAIR FACILITY
PROPOSED USE: VEHICLE REPAIR FACILITY, PARKING LOT
2. SUBJECT PROPERTY LIES ENTIRELY WITHIN THE (B-3) HIGHWAY BUSINESS ZONE. A ZONING ANALYSIS HAS BEEN PROVIDED HEREIN FOR THE PARKING USE WITHIN THIS ZONE.
3. BOUNDARY AND TOPOGRAPHIC SURVEY DATA AS PER MAP ENTITLED, "BOUNDARY & TOPOGRAPHIC SURVEY, TAX LOTS 6, 7 & 8, BLOCK 439, 928 & 928 ROUTE 9, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY", PREPARED BY GPK CONSULTING INC., LAST REVISED 04/06/23.
4. PROJECT DATUMS: HORIZONTAL: NAD 1983
VERTICAL: NAVD 1988
5. SUBJECT PROPERTY IS LOCATED IN THE MINIMAL FLOOD ZONE "X" AS SHOWN ON THE LATEST VERSION OF FEMA PRELIMINARY FLOOD INSURANCE RATE MAP 34023001583 PANEL NO. 158 OF 286, DATED 01/31/14.
6. THESE DOCUMENTS HAVE BEEN PREPARED FOR AGENCY REVIEW INTENDED TO OBTAIN PRELIMINARY AND FINAL SITE PLAN APPROVAL AND SHALL NOT BE UTILIZED FOR ANY OTHER PURPOSE.
7. MODIFICATIONS TO THESE DOCUMENTS, COPYING OF THESE DOCUMENTS, OR USE OF THESE DOCUMENTS FOR ANY PURPOSE OTHER THAN THEIR INTENDED USE IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF HAMMER LAND ENGINEERING.
8. THESE DOCUMENTS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES PRIOR TO BEING ISSUED FOR CONSTRUCTION AND/OR PRIOR TO HAMMER LAND ENGINEERING COMPLETING A PRE-CONSTRUCTION PLAN REVIEW.
9. THESE DOCUMENTS CONTAIN INFORMATION RELATIVE TO THE SUBJECT PROPERTY OBTAINED DURING HAMMER LAND ENGINEERING'S REASONABLE ATTORNEY KEEPING COSTS OF OBTAINING SUCH INFORMATION. INFORMATION SHOWN HEREIN SHALL ONLY BE USED FOR THE SUBJECT TRACT AND SHALL NOT BE USED ON FUTURE PHASES NOR ON OTHER PROJECTS.
10. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (e) OF THE NJ UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON).
11. IN THE EVENT THE CLIENT, OWNER, DEVELOPER OR CONTRACTOR CONSENTS TO, APPROVES, AUTHORIZES OR APPROVES CHANGES TO ANY PLANS, SPECIFICATIONS OR OTHER DOCUMENTS, AND THESE CHANGES ARE NOT APPROVED IN WRITING BY HAMMER LAND ENGINEERING LLC, THE CLIENT, OWNER, DEVELOPER OR CONTRACTOR RECOGNIZES THAT SUCH CHANGES AND THE RESULTS THEREOF ARE NOT THE RESPONSIBILITY OF HAMMER LAND ENGINEERING LLC. THEREFORE, THE CLIENT, OWNER, DEVELOPER OR CONTRACTOR AGREES TO RELEASE HAMMER LAND ENGINEERING LLC FROM ANY LIABILITY ARISING FROM THE CONSTRUCTION, USE OR RESULT OF SUCH CHANGES. IN ADDITION, THE CLIENT, OWNER, DEVELOPER OR CONTRACTOR AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HAMMER LAND ENGINEERING LLC HARMLESS FROM ANY DAMAGES, LIABILITY OR COST, INCLUDING ATTORNEY FEES AND COSTS OF DEFENSE, ARISING FROM SUCH CHANGES, EXCEPT ONLY THOSE DAMAGES, LIABILITIES AND COSTS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF HAMMER LAND ENGINEERING LLC.
12. ALL SITE IMPROVEMENTS TO BE IN ACCORDANCE WITH THE BOROUGH OF SAYREVILLE CONSTRUCTION STANDARDS, WHERE APPLICABLE.
- DRAINAGE & UTILITY NOTES:**
1. ALL PROPOSED WATER MAINS AND FIRE HYDRANTS SHALL BE TESTED IN ACCORDANCE WITH BOROUGH OF SAYREVILLE AND AWWA REQUIREMENTS. ALL PROPOSED WATER MAINS SHALL BE DISINFECTED BEFORE FINAL INSPECTION AND START OF SERVICE TO BUILDING.
2. THE APPLICANT SHALL OWN, OPERATE AND MAINTAIN ALL WATER AND SEWER LINES AND RESPECTIVE APPURTENANCES NOT LOCATED WITHIN THE RIGHT-OF-WAY.
3. MINIMUM DEPTH OF COVER FOR ALL STORM SEWER PIPES IS TWO (2) FEET OR AS SPECIFIED BY MANUFACTURER. ALL SANITARY SEWER AND WATER SERVICE PIPES SHALL HAVE THREE (3) FEET AND FOUR (4) FEET MINIMUM DEPTH OF COVER, RESPECTIVELY.
4. ALL STORM SEWERS AND STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MUNICIPAL STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND REVIEWING APPLICABLE MUNICIPAL REQUIREMENTS PRIOR TO THE START OF WORK.
5. ALL DRAINAGE PIPE SHALL BE N-12 (SOLITIGHT) HDPE OR CLASS III WALL B AND ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED. ALL WATER SERVICE PIPE SHALL BE CLASS 82 CEMENT-LINED DIP UNLESS OTHERWISE NOTED.
6. ALL DRAINAGE INLETS SHALL BE EQUIPPED WITH BICYCLE-SAFE GRATES AND ALL CURB INLETS SHALL HAVE TYPE N ECO-HEAD CURB PIECES.
7. ALL UTILITY CONSTRUCTION TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES AND BOROUGH OF SAYREVILLE AND SHALL CONFORM WITH THE REQUIREMENTS THEREOF.
8. CONCRETE ENCASUREMENTS WILL BE REQUIRED AT UTILITY CROSSINGS WHERE VERTICAL AND/OR HORIZONTAL SEPARATION DOES NOT MEET APPLICABLE STANDARDS (18" OF CLEARANCE RECOMMENDED).
9. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW JERSEY ONE-CALL AND THE APPROPRIATE UTILITY COMPANIES TO REQUEST EXACT FIELD LOCATION AND DEPTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
10. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION USING THE FOLLOWING METHODS: (1) EXISTING RECORDS; (2) UTILITY LOCATING RADAR, ETC. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
11. ALL ON-SITE UTILITIES SHALL BE UNDERGROUND UNLESS NOTED OTHERWISE.
12. CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (THE LATEST EDITION AND AMENDMENTS).
13. COMPACTION IN FILL AREAS BENEATH ALL PROPOSED UTILITIES AND STRUCTURES SHOULD MEET ALL MANUFACTURES AND TOWNSHIP REQUIREMENTS AND BE EQUAL TO THE MINIMUM 95% MODIFIED PROCTOR DENSITY.
14. SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST TEN (10) FEET HORIZONTALLY. IF SUCH A LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES AT LEAST EIGHTEEN (18) INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE DEPARTMENT.
- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR GULF-ON JOINTS FOR A DISTANCE OF AT LEAST TEN (10) FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE DEPARTMENT MAY ALSO REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWERS OVER SEWER LINES.
15. PRIOR TO CONSTRUCTION A GEOTECHNICAL ENGINEER SHALL BE RETAINED FOR ON-SITE INSPECTIONS OF EXISTING SUBGRADE CONDITIONS, EXCAVATION AND CONTROLLED FILL OF POOR SUBGRADE AREAS, AND CERTIFICATION OF ALL SUBGRADE AREAS OF ANY PAVEMENT AND UNDERGROUND UTILITIES ON THE SUBJECT SITE. ADDITIONALLY, PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, THE GEOTECHNICAL ENGINEER SHALL PROVIDE A SCOPE OF SERVICES TO THE BOROUGH OF SAYREVILLE'S ENGINEER FOR REVIEW AND APPROVAL.
16. ALL MAINTENANCE AND OWNERSHIP RESPONSIBILITIES FOR THE ON-SITE WATER AND SANITARY UTILITIES SHALL REMAIN THE RESPONSIBILITY OF THE PROPERTY OWNER.
17. SEPARATE UTILITY PERMIT APPLICATIONS WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK (GAS, ELECTRIC, WATER, SEWER, ETC.) IN NJDOT ROW. APPLICANT HAS TO BE THE RESPECTIVE UTILITY COMPANY.
- SITE & DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH APPLICABLE AGENCIES AND UTILITY COMPANIES.
2. SITE DISTURBANCE SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED, AND ALL GOVERNING AGENCIES HAVE BEEN NOTIFIED BY THE CONTRACTOR.
3. ALL PAVED WALKWAYS AND ROADS MUST BE KEPT CLEAN AND FREE OF DEBRIS FOR THE DURATION OF THE CONTRACT.
4. EXISTING CURB AND PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AS REQUIRED TO A STRAIGHT LINE SECTION AS TO PROVIDE A CLEAN SMOOTH AND EVEN TRANSITION FOR NEW CURBS AND PAVEMENTS, PROVIDING POSITIVE DRAINAGE WITH NO TRIP HAZARDS.
5. STEP RISERS SHALL BE 4" MINIMUM, 7" MAXIMUM. BUILDING EGRESS DOOR SILLS SHALL HAVE A MAXIMUM 1/4" REVEAL (VERTICAL CHANGE). HANDICAP FLUSH CURB RAMPERS SHALL ALSO HAVE A MAXIMUM 1/4" REVEAL AND BE CONSTRUCTED IN ACCORDANCE WITH FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN.
6. ALL CURB SHALL HAVE 6" FACE UNLESS OTHERWISE NOTED.
7. ALL CONCRETE FOR THE SITE SHALL BE MADE WITH AIR-ENTRAINED CONCRETE, CLASS B, HAVING COMPRESSIVE STRENGTH IN 28 DAYS OF 4,500 PSI OR BETTER.
8. THE ABANDONMENT OF THE EXISTING SEPTIC SYSTEM TO BE IN ACCORDANCE WITH THE BOROUGH OF SAYREVILLE'S BOARD OF HEALTHS REQUIREMENTS. THE SITE CONTRACTOR IS TO OBTAIN PERMITS AND APPROVALS FROM THE SAYREVILLE BOARD OF HEALTH PRIOR TO CONSTRUCTION.
9. IF IT IS DETERMINED THAT LOT 6 IS SERVED BY A GRAVITY SEWER, THE ABANDONMENT OF THE EXISTING SANITARY SEWER LATERAL SHOULD BE AS APPROVED BY THE SUPERVISOR OF THE BOROUGHS SEWER DEPARTMENT.
10. THE ABANDONMENT OF THE EXISTING CONNECTION TO THE WATER MAIN SHOULD BE APPROVED BY THE SUPERVISOR OF THE BOROUGH WATER DEPARTMENT.
11. ALL WORK TO BE CONDUCTED IN ACCORDANCE WITH FOLLOWING AGENCY STANDARDS AND CODES:
C. BOROUGH OF SAYREVILLE MUNICIPAL CODE
D. MIDDLESEX COUNTY PLANNING BOARD
E. NEW JERSEY DEPARTMENT OF TRANSPORTATION



"THE WAY TO ENTITLEMENT"
GROUNDBREAKING RESULTS

OWNER (BLOCK 439 LOTS 7 & 8):
SOUTH 9 REALTY, LLC
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
(732) 207-7152

OWNER (BLOCK 439 LOT 6):
SOUTH2 9 REALTY, LLC
928 U.S. HIGHWAY 9
SOUTH AMBOY, NJ 08879
(732) 207-7152

APPLICANT:
SOUTH 9 REALTY, LLC
SAMAR DESAI
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
(732) 207-7152

PROTECT YOURSELF
A PHONE CALL CAN BE
YOUR INSURANCE POLICY



WHAT YOU DON'T KNOW CAN HURT YOU.
THE STATE OF NEW JERSEY REQUIRES NOTIFICATION
OF EXCAVATORS, DESIGNERS, OR ANY PERSON
PREPARING TO DISTURB THE EARTH'S SURFACE
ANYWHERE IN THE STATE.

NO.	DATE	ISSUE OR REVISION	BY
2	10.27.23	REV PER BOROUGH	JAR
1	09.29.23	NOTED COMMENTS	JAR

REVISIONS

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN
**THRUST PERFORMANCE
PARKING EXPANSION**

LOCATION:
926 & 928 U.S. HIGHWAY 9
BLOCK 439, LOTS 6, 7 & 8
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NJ

DRAWING TITLE:
**ZONING TABLE &
GENERAL NOTES**



1707 ATLANTIC AVENUE, SUITE B2
MANASQUAN, NJ 08736
(TEL) 732-899-0598 (FAX) 888-712-4519
CERTIFICATE OF AUTHORIZATION #24GA28176300
HAMMERENGINEERING.COM

JASON A. REGAN
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 574-12

DRAWN BY	CHECKED BY	DRAWING NUMBER
JAR	CLM	SP-02
SCALE: N.T.S.		
JOB NUMBER	DATE	SHEET
22195	07.13.23	2 OF 17

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OWNER (BLOCK 439 LOTS 7 & 8):

SOUTH 9 REALTY, LLC
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
(732) 207-7152

OWNER (BLOCK 439 LOT 6):

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928 U.S. HIGHWAY 9
SOUTH AMBOY, NJ 08879
(732) 207-7152

APPLICANT:

SOUTH 9 REALTY, LLC
SAMAR DESAI
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NORTH ARROW

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2	10.27.23	REV PER BOROUGH	JAR
1	09.29.23	ISSUE COMMENTS	JAR

REVISIONS

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**PRELIMINARY & FINAL MAJOR SITE PLAN
THRUST PERFORMANCE
PARKING EXPANSION**

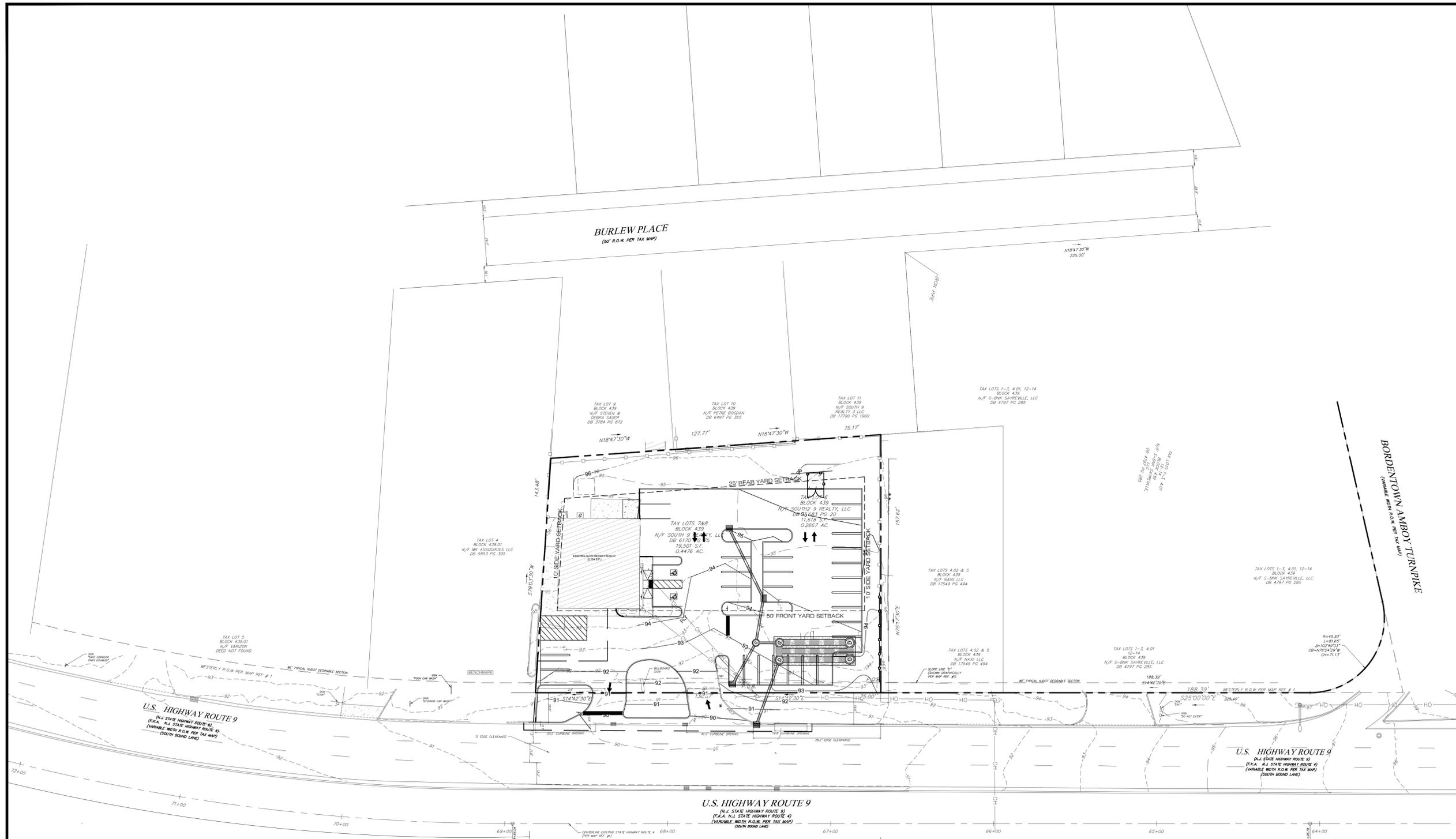
LOCATION:
926 & 928 U.S. HIGHWAY 9
BLOCK 439, LOTS 6, 7 & 8
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NJ

DRAWING TITLE:
**OVERALL LAYOUT,
GRADING AND
DRAINAGE PLAN**

1707 ATLANTIC AVENUE, SUITE B2
MANASQUAN, NJ 08736
(TEL) 732-899-0598 (FAX) 888-712-4519
CERTIFICATE OF AUTHORIZATION #24GA28176300
HAMMERENGINEERING.COM

JASON A. REGAN
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 57412

DRAWN BY: JAR	CHECKED BY: CLM	DRAWING NUMBER: SP-05
SCALE: 1"=30'		
JOB NUMBER: 22195	DATE: 07.13.23	SHEET 5 OF 17



X:\22195 - 2024 - ROUTE 9 - SAYREVILLE\22195-SP-SITE-MAJOR\22195-SP-SITE-MAJOR-DRAWING-SITE-LAYOUT.PLAN 11/17/2023 12:33 PM JARON

BURLEW PLACE
(50' R.O.W. PER TAX MAP)



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(732) 207-7152

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928 U.S. HIGHWAY 9
SOUTH AMBOY, NJ 08879
(732) 207-7152

APPLICANT:
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2	10.27.23	REV PER BOROUGH	JAR
1	09.29.23	NJDOT COMMENTS	JAR

REVISIONS

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN

**THRUST PERFORMANCE
PARKING EXPANSION**

LOCATION:
926 & 928 U.S. HIGHWAY 9
BLOCK 439, LOTS 6, 7 & 8
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NJ

DRAWING TITLE:

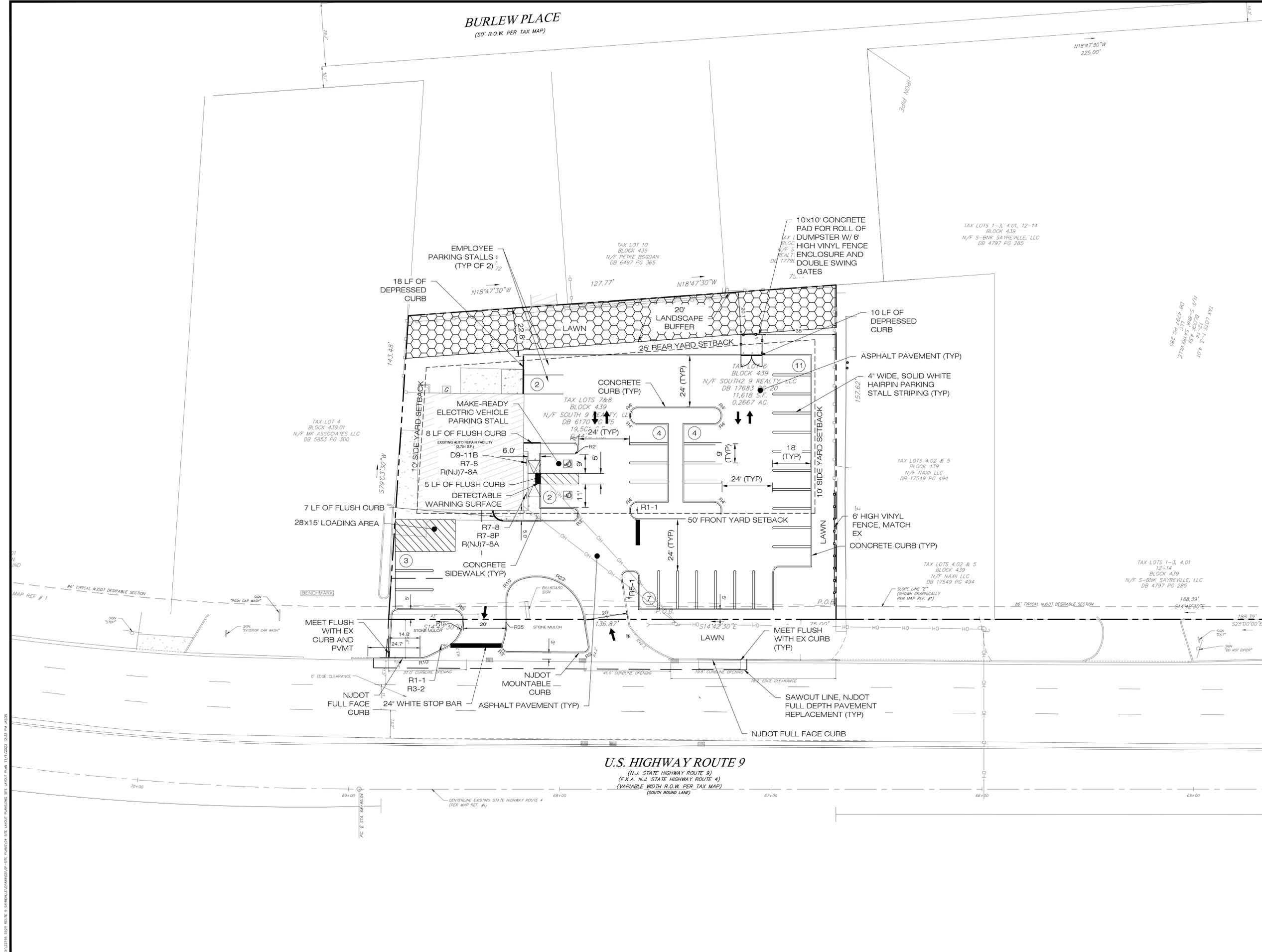
SITE LAYOUT PLAN



1707 ATLANTIC AVENUE, SUITE B2
MANASQUAN, NJ 08736
(TEL) 732-899-0508 (FAX) 888-712-4519
CERTIFICATE OF AUTHORIZATION #24GA28176300
HAMMERENGINEERING.COM

JASON A. REGAN
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 57412

DRAWN BY: JAR	CHECKED BY: CLM	DRAWING NUMBER: SP-06
SCALE: 1"=20'		
JOB NUMBER: 22195	DATE: 07.13.23	SHEET 6 OF 17



X:\22195_2024_ROUTE_9_SAYREVILLE\DRAWINGS\SP-SITE_LAYOUT\HAMMER\SITE_LAYOUT\HAMMER\SP-SITE_LAYOUT.PLAN 11/17/2023 10:35 PM JARON

DOE TO INHERENT ERRORS IN REPRODUCTION METHODS, ERRORS MAY OCCUR WHEN SCALING THIS DRAWING

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GROUNDBREAKING RESULTS

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SAYREVILLE, NJ 08879
(732) 207-7152

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SOUTH AMBOY, NJ 08879
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2	10.27.23	REV PER BOROUGH	JAR
1	09.29.23	NUDOT COMMENTS	JAR

REVISIONS

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PRELIMINARY & FINAL MAJOR SITE PLAN
**THRUST PERFORMANCE
PARKING EXPANSION**

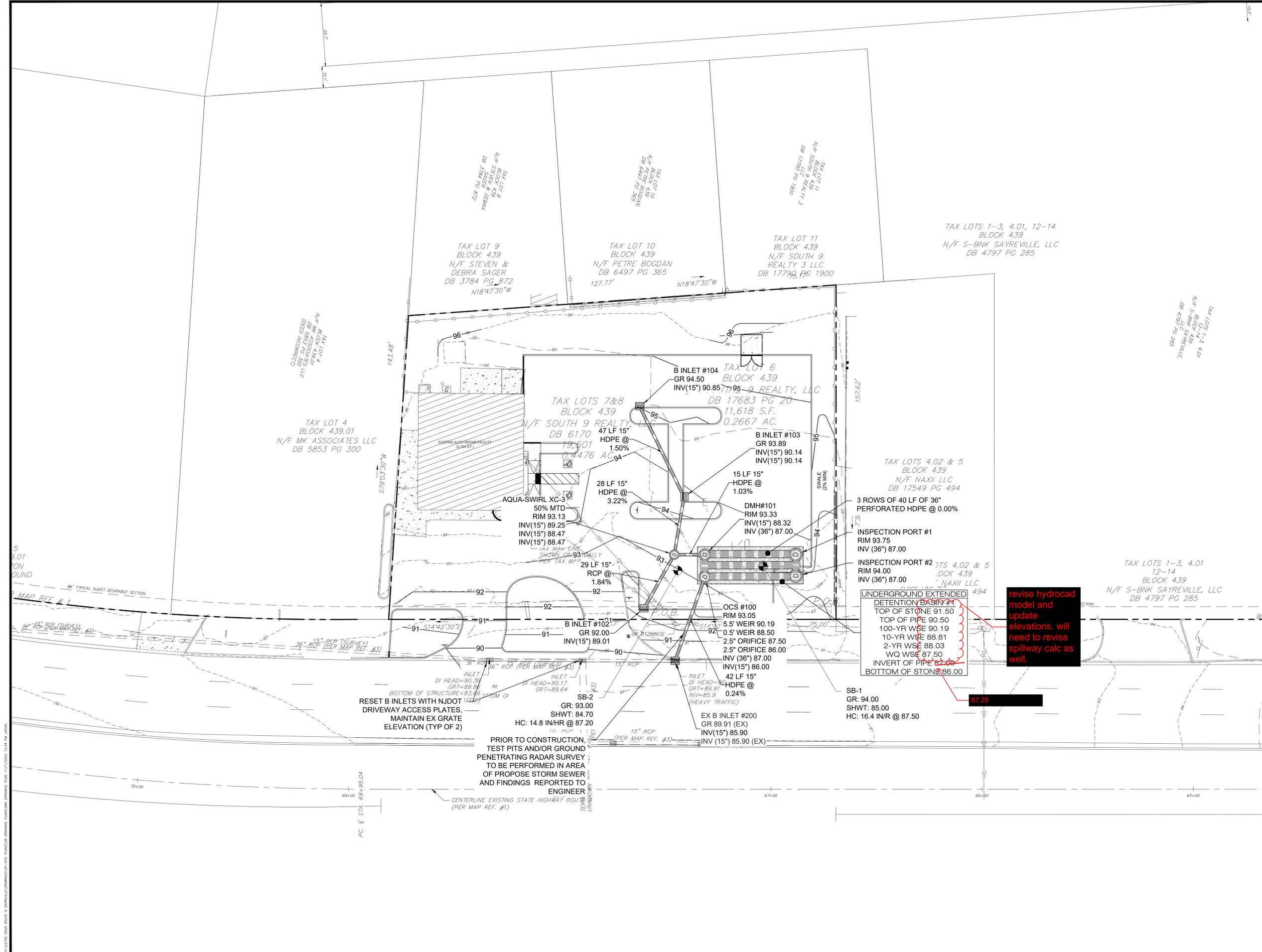
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BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NJ

DRAWING TITLE:
DRAINAGE PLAN

1707 ATLANTIC AVENUE, SUITE B2
MANASQUAN, NJ 08736
(TEL) 732-899-0598 (FAX) 888-712-4519
CERTIFICATE OF AUTHORIZATION #24GA28176300
HAMMERENGINEERING.COM

JASON A. REGAN
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 57412

DRAWN BY: JAR	CHECKED BY: CLM	DRAWING NUMBER: SP-08
SCALE: 1" = 20'		
JOB NUMBER: 22195	DATE: 07.13.23	SHEET 8 OF 17



5/22/23 10:28 AM ROUTE 9 SAYREVILLE BOROUGH SITE PLAN FOR DRAINAGE PLANNING DRAWING PLAN 11/17/2023 10:24 AM JAR

BURLEW PLACE
(50' R.O.W. PER TAX MAP)



"THE WAY TO ENTITLEMENT"
GROUNDBREAKING RESULTS

OWNER (BLOCK 439 LOTS 7 & 8):
SOUTH 9 REALTY, LLC
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
(732) 207-7152

OWNER (BLOCK 439 LOT 6):
SOUTH 2 REALTY, LLC
928 U.S. HIGHWAY 9
SOUTH AMBOY, NJ 08879
(732) 207-7152

APPLICANT:
SOUTH 9 REALTY, LLC
SAMAR DESAI
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
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PROTECT YOURSELF
A PHONE CALL CAN BE
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WHAT YOU DON'T KNOW CAN HURT YOU.
THE STATE OF NEW JERSEY REQUIRES NOTIFICATION
OF EXCAVATORS, DESIGNERS, OR ANY PERSON
PREPARING TO DISTURB THE EARTH'S SURFACE
ANYWHERE IN THE STATE.

NORTH ARROW

NO.	DATE	ISSUE OR REVISION	BY
2	10.27.23	REV PER BOROUGH	JAR
1	09.29.23	NUDD COMMENTS	JAR

REVISIONS

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN
**THRUST PERFORMANCE
PARKING EXPANSION**

LOCATION:
926 & 928 U.S. HIGHWAY 9
BLOCK 439, LOTS 6, 7 & 8
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NJ

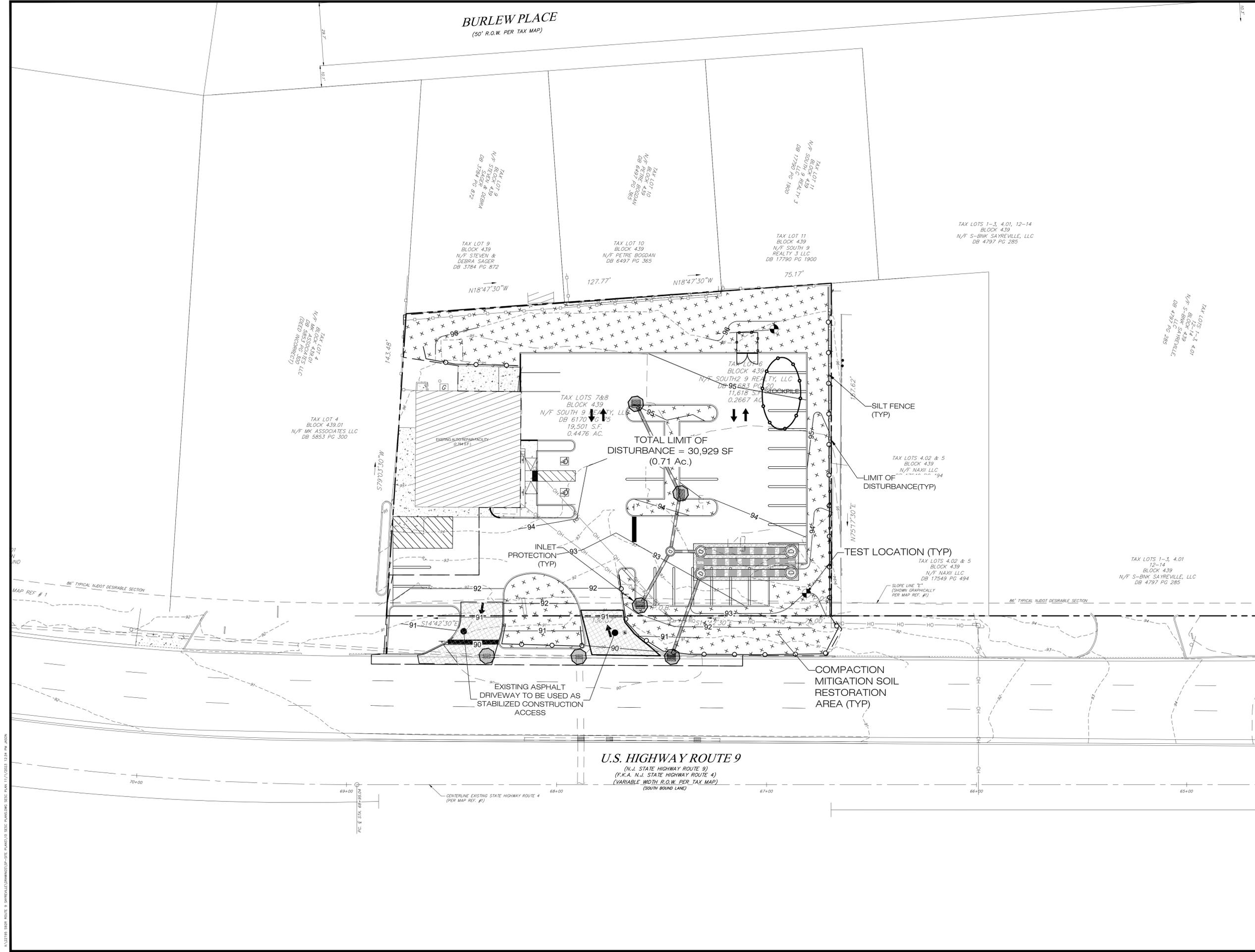
DRAWING TITLE:
**SOIL EROSION AND
SEDIMENT CONTROL
PLAN**



1707 ATLANTIC AVENUE, SUITE B2
MANASQUAN, NJ 08736
(TEL) 732-899-0598 (FAX) 888-712-4519
CERTIFICATE OF AUTHORIZATION #24GA28176300
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JASON A. REGAN
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 574-12

DRAWN BY: JAR	CHECKED BY: CLM	DRAWING NUMBER: SP-09
SCALE: 1"=20'		
JOB NUMBER: 22195	DATE: 07.13.23	SHEET 9 OF 17



X:\22195 - 22195 - ROUTE 9 - SAYREVILLE\DRAWINGS\SP-SITE PLANS\SP-09 - SITE PLANS\SP-09 - FINAL 11/17/2023 - 1234.PLN (JAW)

DOE TO INHERENT ERRORS IN REPRODUCTION METHODS, ERRORS MAY OCCUR WHEN SCALING THIS DRAWING

**FREEHOLD SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A 4-24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

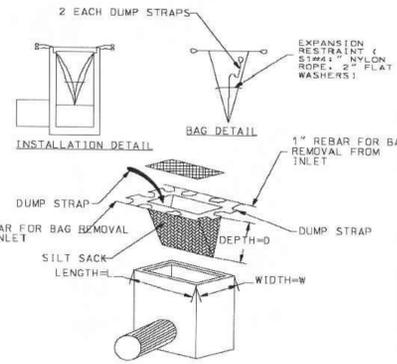
FREEHOLD SOIL CONSERVATION DISTRICT
4000 KOZLOSKI ROAD
FREEHOLD, NEW JERSEY 07728-5033
PHONE: (732) 683-8500
FAX: (732) 683-9140
EMAIL: INFO@FREEHOLDSCD.ORG

TEMPORARY STABILIZATION SPECIFICATIONS

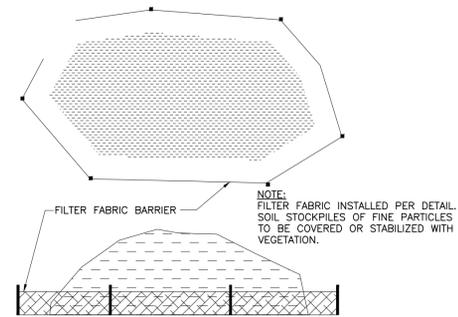
1. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY). FERTILIZER SHALL BE APPLIED AS A RATE OF 500 LBS. PER ACRE OR 11 LBS. PER 1,000 S.F. OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT A RATE OF 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
2. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
3. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
4. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF ACID PRODUCING SOILS, PG. 1-1.
5. APPLY SEED MIXTURE: PERENNIAL RYEGRASS AT 100 LBS./ACRE (1 LB./1,000 S.F.).
6. MULCH WITH UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1,000 S.F.), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO PRESENCE OF WEED SEED.
7. PLANT SEED BETWEEN MARCH 1 AND APRIL 30 OR BETWEEN AUGUST 15 AND OCTOBER 1, IF POSSIBLE.

SEQUENCE OF CONSTRUCTION

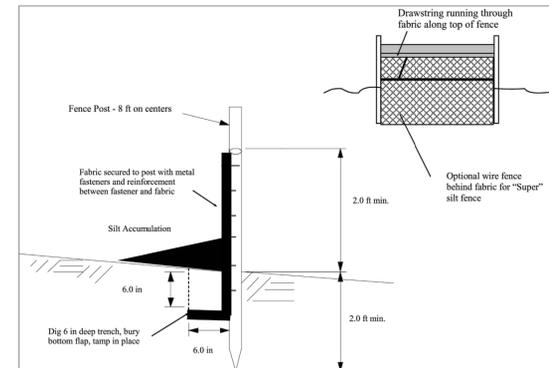
- | DURATION | DESCRIPTION |
|------------|---|
| 1. 3 DAYS | CONTACT THE SOIL CONSERVATION DISTRICT, IN WRITING, 48 HOURS PRIOR TO ANY LAND DISTURBANCE. |
| 2. 1 DAY | INSTALL SOIL EROSION CONTROL MEASURES. |
| 3. 2 WEEKS | SITE CLEARING AND DEMOLITION. |
| 4. 4 WEEKS | EARTHWORK AND INSTALL ON SITE AND OFF SITE UTILITIES AND SEWERS. |
| 6. 2 WEEKS | CONSTRUCT CURB AND BASE PAVING. |
| 7. 2 WEEKS | CONSTRUCT SIDEWALK AND TOP PAVING. |
| 8. 2 WEEKS | FINE GRADING AND SITE STABILIZATION. |
| 9. 2 WEEKS | INSTALL LIGHTING AND LANDSCAPING. |
| 10. 2 DAYS | REMOVE THE SOIL EROSION MEASURES. |
| 11. 3 DAYS | CONTACT THE SOIL CONSERVATION DISTRICT TO SCHEDULE AN INSPECTION AND OBTAIN A REPORT OF COMPLIANCE. |



INLET PROTECTION DETAIL
N.T.S.



STOCK PILE PROTECTION DETAIL
SCALE: N.T.S.



SUPER SILT FENCE DETAIL
N.T.S.

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils prior to the application of topsoil (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
2. Areas of the site which are subject to compaction testing and/or mitigation are graphically denoted on the certified soil erosion control plan.
3. **Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

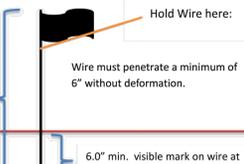
Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer may be substituted subject to District Approval.

Simplified Testing Methods

Probing Wire Test- 15.5 ga steel wire (survey flag)

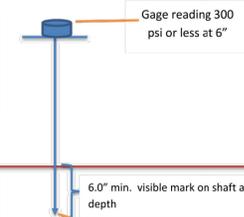
Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



Wire may be re-inserted if/when an obstruction (rock, root, debris) is encountered.

Handheld Soil Penetrometer Test

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" with less than 300 psi reading on the gage.



Penetrometer may be re-inserted if/when an obstruction (rock, root, debris) is encountered.



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GROUNDBREAKING RESULTS

OWNER (BLOCK 439 LOTS 7 & 8):

SOUTH 9 REALTY, LLC
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
(732) 207-7152

OWNER (BLOCK 439 LOT 6):

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SOUTH AMBOY, NJ 08879
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APPLICANT:

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NO.	DATE	ISSUE OR REVISION	BY
2	10.27.23	REV PER BOROUGH	JAR
1	09.29.23	NOTDOT COMMENTS	JAR

REVISIONS

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN

**THRUST PERFORMANCE
PARKING EXPANSION**

LOCATION:
926 & 928 U.S. HIGHWAY 9
BLOCK 439, LOTS 6, 7 & 8
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NJ

DRAWING TITLE:
**SOIL EROSION
& SEDIMENT CONTROL
NOTES & DETAILS**



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BURLEW PLACE
(50' R.O.W. PER TAX MAP)



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**THRUST PERFORMANCE
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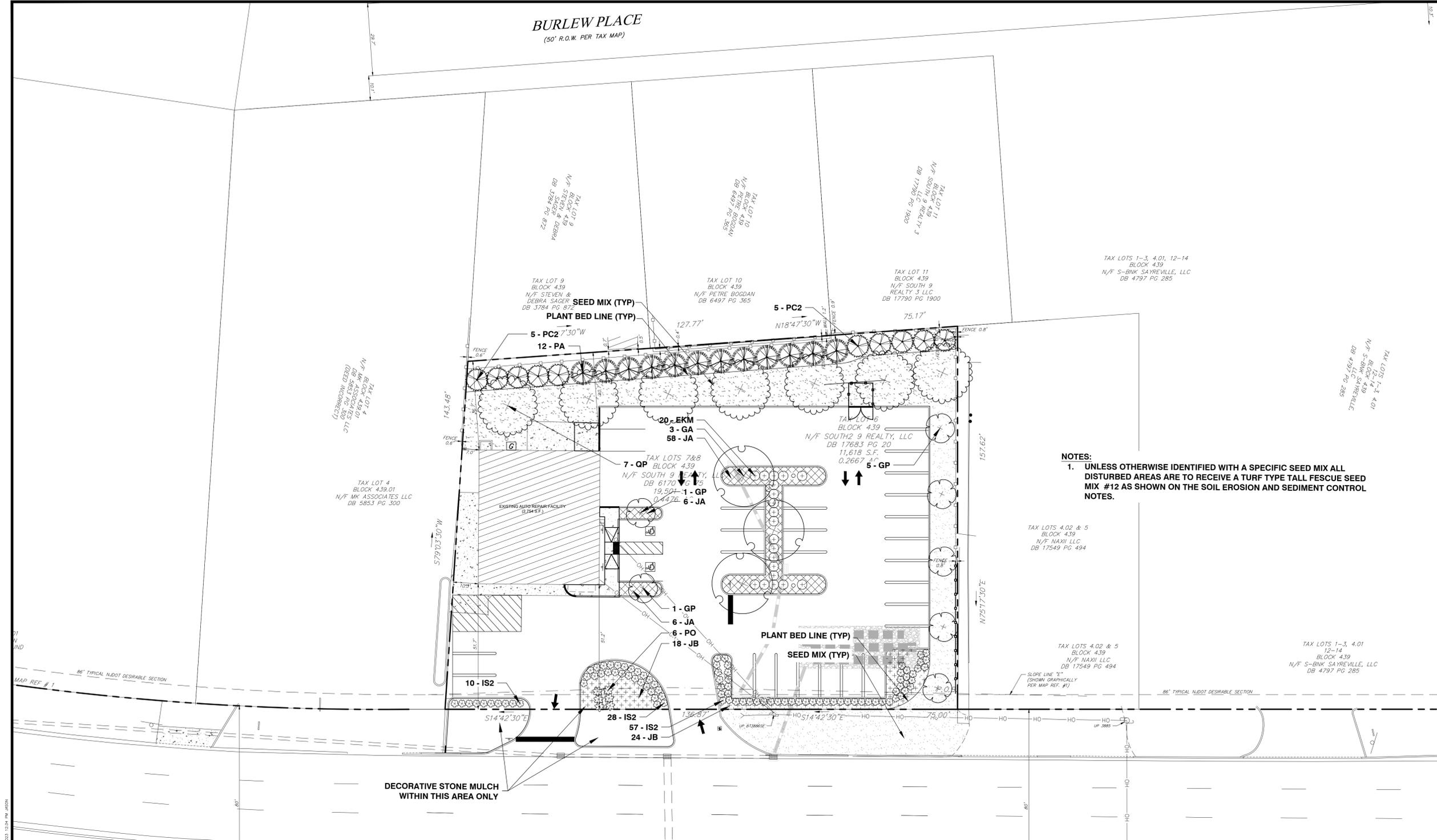
DRAWING TITLE:
LANDSCAPE PLAN



1707 ATLANTIC AVENUE, SUITE B2
MANASQUAN, NJ 08736
(TEL) 732-899-0598 (FAX) 888-712-4519
CERTIFICATE OF AUTHORIZATION #24GA28176300
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JAR	CLM	SP-11
JOB NUMBER: 22195	DATE: 07.13.23	SHEET 11 OF 17



NOTES:
1. UNLESS OTHERWISE IDENTIFIED WITH A SPECIFIC SEED MIX ALL
DISTURBED AREAS ARE TO RECEIVE A TURF TYPE TALL FESCUE SEED
MIX #12 AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL
NOTES.

PLANT SCHEDULE						
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT
GA	3	GINKGO BILOBA 'AUTUMN GOLD' TM	AUTUMN GOLD MAIDENHAIR TREE	3" CAL	B&B	12' HT
GP	7	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	3" CAL	B&B	12' HT
QP	7	QUERCUS PHELLOS	WILLOW OAK	3" CAL	B&B	12' HT
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT
PA	12	PICEA ABIES	NORWAY SPRUCE	5'-6'	B&B	
PC2	10	PICEA PUNGENS	COLORADO SPRUCE	5'-6'	B&B	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
EKM	20	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN'	MANHATTAN EUONYMUS	3' HT.	10 GAL	48" o.c.
IS2	95	ILEX GLABRA 'ILEXFARROWTRACEY'	STRONGBOX® INKBERRY HOLLY	15"-18"	3 GAL.	36" o.c.
PO	6	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	3' HT.	B&B	48" o.c.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
JA	70	JUNIPERUS HORIZONTALIS 'ANDORRA'	ANDORRA JUNIPER	18"-24"	3 GAL	48" o.c.
JB	42	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP CREEPING JUNIPER	18"-24"	3 GAL	48" o.c.

11/22/23 10:28 AM NOTE: 9. DATE/FILE/COMMENTS/DATE/PLANT/11/22/2023 10:28 AM JAR/JAR
 11/22/23 10:28 AM NOTE: 9. DATE/FILE/COMMENTS/DATE/PLANT/11/22/2023 10:28 AM JAR/JAR

DOE TO INHERENT ERRORS IN REPRODUCTION METHODS, ERRORS MAY OCCUR WHEN SCALING THIS DRAWING

LANDSCAPE SPECIFICATIONS

1. QUALITY OF WORK AND MATERIALS
 - A. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
 2. WEATHER CONDITIONS
 - A. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL.
 3. SAMPLES
 - A. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
 - B. THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
4. NOTIFICATION OF DELIVERY
 - A. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE ARCHITECT, OR GOVERNING MUNICIPAL OFFICIAL.
 - B. THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.
5. PROTECTION OF EXISTING VEGETATION
 - A. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
 - B. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTOR'S SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
 - C. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 1. TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WEEDS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 2. RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
 3. LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."
6. SOIL AMENDMENTS
 - A. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
 - B. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. TOPSOIL
 - A. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELD-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LIMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
 - B. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
8. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
9. CONTRACTOR SHALL PROVIDE A DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
10. FINISHED GRADING
 - A. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
 - B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
 - C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT OR MUNICIPAL OFFICIAL.
 - D. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
9. LAWN (SEED OR SOD)
 - A. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
 - B. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."
 - C. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAD WITH SOD.
 - D. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION."
 - E. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.
10. PLANT QUALITY
 - A. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
 - B. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
 - C. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORABLE IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
 - D. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISTURBING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
 - E. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
 - F. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
 - G. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR

- THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- UNLESS SPECIFICALLY NOTED AS MULTI-STEM, THE TRUNK OF EACH TREE SHALL BE A SINGLE TRUNK GROWING FROM A SINGLE CROWN OF ROOTS. NO PART OF THE TRUNK SHALL BE CONSPICUOUSLY CRACKED AS COMPARED WITH NORMAL TREES OF THE SAME VARIETY.
- PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- PLANT MEASUREMENTS
 - A. PLANTS SHALL BE MEASURED WHEN BRANCHES ARE IN THEIR NORMAL POSITION.
 - B. SHRUBS SHALL MEET THE REQUIREMENTS FOR SPREAD, HEIGHT OR CONTAINER SIZE STATED IN THE APPROVED OR FINAL PLANT LIST. THE MEASUREMENTS ARE TO BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE SHRUB AND NOT TO THE LONGEST BRANCH.
 - C. CALIPER MEASUREMENTS FOR NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE NATURAL GROUND LEVEL FOR TREES UP TO FOUR INCHES (4") IN CALIPER, AND AT A POINT 12 INCHES (12") ABOVE THE NATURAL GROUND LEVEL FOR TREES EXCEEDING FOUR INCHES (4") IN CALIPER.
 - D. THE MEASUREMENTS SPECIFIED ARE THE MINIMUM SIZE ACCEPTABLE AND, WHERE PRUNING IS REQUIRED, ARE THE MEASUREMENTS AFTER PRUNING.
- PLANTING OPERATIONS
 - A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE SUFFICIENT TOOLS AND EQUIPMENT REQUIRED TO CARRY OUT THE PLANTING OPERATIONS.
 - B. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
 - C. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HELED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
 - D. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
 - E. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
 - F. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
 - G. INSTALLATION OF PLANT MATERIAL WITHIN SIGHT TRIANGLES IS DISCOURAGED. IF PLANTS MUST BE PLANTED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
 - H. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - DECEMBER 15)
 - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
 - I. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):

ABIES CONCOLOR	CORNUS VARIETIES	OSTRYA VIRGINIANA
ACER BUERGERIANUM	CRATAEGUS VARIETIES	PINUS NIGRA
ACER FRIEMANII	CUPRESSOCYPRIS VARIETIES	PLATANUS VARIETIES
ACER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
ACER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
BETULA VARIETIES	ILEX X FOSTERII	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
CARYOPHYTE VARIETIES	ILEX NELLIE STEVENS	SALIX WEEPING VARIETIES
CEDRUS DEODARA	ILEX OPACA	SORBUS VARIETIES
CELSTIS VARIETIES	JUNIPERUS VIRGINIANA	TAXODIUM VARIETIES
CERCIDIPHYLLUM VARIETIES	KOELREUTERIA PANICULATA	TAXUS B. REPANDENS
CERCIS CANADENSIS	LIQUIDAMBAR VARIETIES	TILIA TOMENTOSA VARIETIES
CORNUS VARIETIES	LIRIODENDRON VARIETIES	ULMUS PARVIFOLIA VARIETIES
CRATAEGUS VARIETIES	MALLUS IN LEAF	ZELKOVA VARIETIES
	NYSSA SYLVATICA	
- PLANT SUBSTITUTIONS
 - A. THE LANDSCAPE CONTRACTOR SHALL MAKE HIS BEST EFFORT TO LOCATE THE PLANT MATERIAL SPECIFIED ON THE APPROVED OR FINAL PLANT LIST.
 - B. IF A PLANT IS UNAVAILABLE OR ON THE FALL DIGGING HAZARD LIST AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT.
 - C. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- MULCH
 - A. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- IRRIGATION
 - A. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
 - B. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
 - C. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.
- CLEAN UP
 - A. DURING THE COURSE OF CONSTRUCTION/PRIOR INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
 - B. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- GUARANTEE
 - A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND ONCE FINAL ACCEPTANCE HAS BEEN GRANTED BY THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
 - B. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
 - C. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTALMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- LANDSCAPE MAINTENANCE
 - A. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
 - B. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
 - C. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THAT AMOUNT OF GRASS IS LEFT, IT SHALL BE REMOVED TO PREVENT DESTROYING OF TREES. MOWING SHALL BE CONDUCTED IN AREAS IN SUCH A MANNER AS TO PREVENT CLIPPING FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
 - D. GRASSSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
 - E. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.

SEEDING SPECIFICATIONS

1. PRIOR TO SEEDING, MIX TOP 6" LAYER OF TOPSOIL WITH FERTILIZER AND LIME. 10-20-10 FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 S.F. LIME SHALL BE APPLIED IN ACCORDANCE WITH THE FOLLOWING CHART:

SOIL TEXTURE	TONS/ACRE	LBS/1,000 S.F.
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45
2. TOPSOIL SHALL BE TILLED, FINE GRADED, AND RAKED FREE OF ALL DEBRIS LARGER THAN 1" IN DIAMETER. ALL LAWN AREAS SHALL BE SLOPED TO DRAIN OR PER THE APPROVED GRADING PLAN.
3. CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS AND IMPLEMENT AS REQUIRED PRIOR TO APPLICATION OF SEED.
4. GENERAL LOW MAINTENANCE SEED MIX (#12)

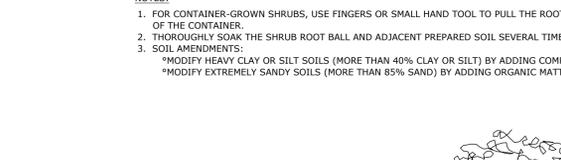
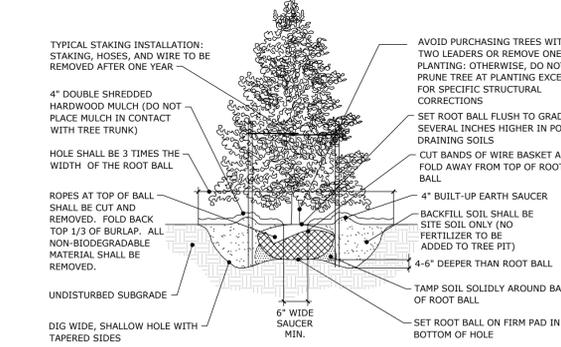
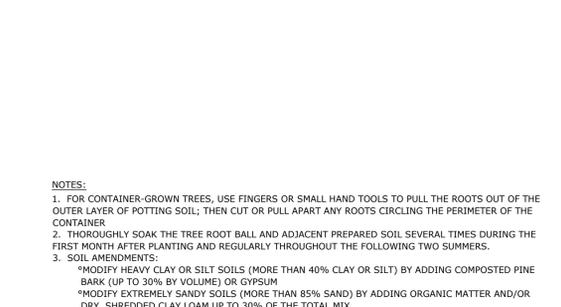
SEED MIXTURE	LBS/ACRE	LBS/1,000 S.F.
TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS)	349	8.0

OPTIMAL PLANTING DATES

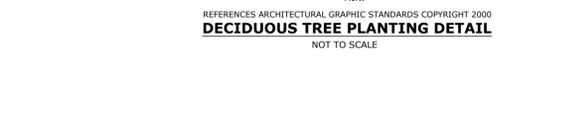
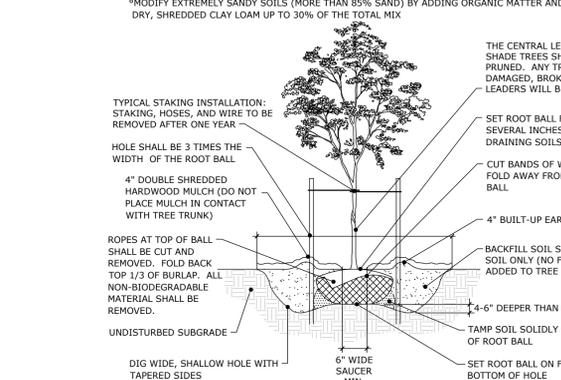
ZONE 5B & 6A = 3/15-5/31
7/1-10/1
3/1-4/30
8/15-10/15
ZONE 7A & 7B = 2/1-4/30
8/15-10/30

- MAINTENANCE LEVEL
- (B) FREQUENT MOWING (4-7 DAYS), OCCASIONAL FERTILIZATION, LIME AND WEED CONTROL
 - (C) PERIODIC MOWING (7-14 DAYS), OCCASIONAL FERTILIZATION AND LIME
 - (D) INFREQUENT OR NO MOWING, FERTILIZATION AND LIME THE FIRST YEAR OF ESTABLISHMENT
5. SEED SHALL BE APPLIED IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. ONCE APPLIED, FIRM THE SOIL WITH A CORRUGATED LAWN ROLLER TO PROMOTE SEED-TO-SOIL CONTACT.
 6. APPLY UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO ALL SEEDED AREAS AT THE RATE OF 1 1/2 - 2 TONS PER ACRE OR 70-90 POUNDS PER 1,000 S.F. SPREAD MULCH SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE IS COVERED. ANCHORING OF MULCH SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE ACCOMPLISHED BY ONE OF THE FOLLOWING METHODS: PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH-BINDER.
 7. IRRIGATE NEWLY SEEDED AREAS WITH A MINIMUM OF 1/4 INCH OF WATER TWICE A DAY (NOT DURING PERIODS OF INTENSE SUN) UNTIL VEGETATION IS WELL ESTABLISHED.

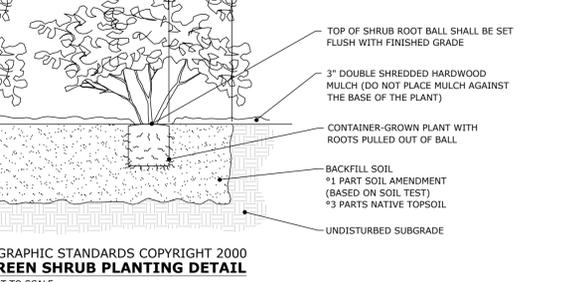
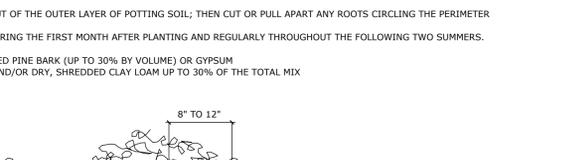
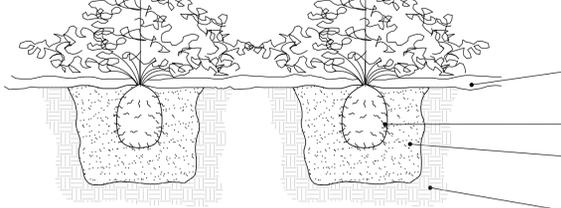
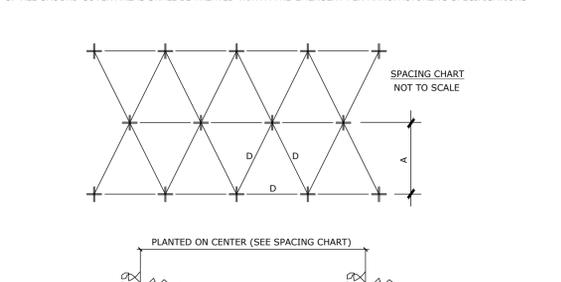
- NOTES:
1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 3. SOIL AMENDMENTS:
 - *MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - *MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



- NOTES:
1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 3. SOIL AMENDMENTS:
 - *MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - *MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



- NOTES:
1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 2. SOIL AMENDMENTS:
 - *MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - *MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
 3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS.



"THE WAY TO ENTITLEMENT"
GROUNDBREAKING RESULTS

OWNER (BLOCK 439 LOTS 7 & 8):
SOUTH 9 REALTY, LLC
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
(732) 207-7152

OWNER (BLOCK 439 LOT 6):
SOUTH2 9 REALTY, LLC
928 U.S. HIGHWAY 9
SOUTH AMBOY, NJ 08879
(732) 207-7152

APPLICANT:
SOUTH 9 REALTY, LLC
SAMAR DESAI
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
(732) 207-7152

PROTECT YOURSELF
A PHONE CALL CAN BE
YOUR INSURANCE POLICY



WHAT YOU DON'T KNOW CAN HURT YOU.
THE STATE OF NEW JERSEY REQUIRES NOTIFICATION
OF EXCAVATORS, DESIGNERS, OR ANY PERSON
PREPARING TO DISTURB THE EARTH'S SURFACE
ANYWHERE IN THE STATE.

NO.	DATE	ISSUE OR REVISION	BY
2	10.27.23	REV PER BOROUGH	JAR
1	09.29.23	NOTDOT COMMENTS	JAR
NO		DATE	ISSUE OR REVISION

REVISIONS

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN
**THRUST PERFORMANCE
PARKING EXPANSION**

LOCATION:
926 & 928 U.S. HIGHWAY 9
BLOCK 439, LOTS 6, 7 & 8
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NJ

DRAWING TITLE:
**LANDSCAPE
DETAILS**



1707 ATLANTIC AVENUE, SUITE B2
MANASQUAN, NJ 08736
(TEL) 732-899-0898 (FAX) 888-712-4519
CERTIFICATE OF AUTHORIZATION #24G2A8176300
HAMMEREENGINEERING.COM

JASON A. REGAN
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 57412

DRAWN BY:	CHECKED BY:	DRAWING NUMBER:
JAR	CLM	SP-12
SCALE: N/A	DATE:	
JOB NUMBER: 22195	DATE: 07.13.23	SHEET 12 OF 17

Mirada Medium (MRM) Outdoor LED Area Light

Overview: Luminaire Package 7000-48,000; Wattage Range 48-40; Efficiency Range (LPW) 107-160; Weight (backpack) 30 (6.6).

Features & Specifications: Construction includes rugged die-cast aluminum housing and cast aluminum wing access door. Features include 0-10V dimming (0% - 100%) standard and 50,000 Hr or optional High Voltage (347-480 Vdc). High-efficiency LEDs mounted to metal-core circuit board maximize heat dissipation.

Controls: Integral passive infrared Bluetooth motion and photocell sensor. Includes a 24-hour timer and 100% dimming.

Ordering Guide: Includes a table for ordering information with columns for Luminaire Package, Wattage Range, and Efficiency Range.

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HAMMER LAND ENGINEERING

"THE WAY TO ENTITLEMENT" GROUNDBREAKING RESULTS

OWNER (BLOCK 439 LOTS 7 & 8): SOUTH 9 REALTY, LLC, 928 U.S. HIGHWAY 9, SAYREVILLE, NJ 08879, (732) 207-7152

OWNER (BLOCK 439 LOT 6): SOUTH 9 REALTY, LLC, 928 U.S. HIGHWAY 9, SOUTH AMBOY, NJ 08879, (732) 207-7152

APPLICANT: SOUTH 9 REALTY, LLC, SAMAR DESAI, 928 U.S. HIGHWAY 9, SAYREVILLE, NJ 08879, (732) 207-7152

PROTECT YOURSELF A PHONE CALL CAN BE YOUR INSURANCE POLICY

Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Overview: Luminaire Package 3000-21,000; Wattage Range 21-175; Efficiency Range (LPW) 105-158; Weight (backpack) 30 (6.6).

Features & Specifications: Construction includes rugged die-cast aluminum housing and cast aluminum wing access door. Features include 0-10V dimming (0% - 100%) standard and 50,000 Hr or optional High Voltage (347-480 Vdc). High-efficiency LEDs mounted to metal-core circuit board maximize heat dissipation.

Controls: Integral passive infrared Bluetooth motion and photocell sensor. Includes a 24-hour timer and 100% dimming.

Ordering Guide: Includes a table for ordering information with columns for Luminaire Package, Wattage Range, and Efficiency Range.

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THRUST PERFORMANCE PARKING EXPANSION

LOCATION: 926 & 928 U.S. HIGHWAY 9, BLOCK 439, LOTS 6, 7 & 8, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NJ

DRAWING TITLE: LIGHTING DETAILS

REVISIONS: 2 10.27.23 REV PER BOROUGH JAR; 1 09.29.23 NODOT COMMENTS JAR; NO DATE ISSUE OR REVISION BY

PRELIMINARY & FINAL MAJOR SITE PLAN

Steel Poles Square Straight

Overview: Pole Size 450 83 516 24 5 P DP P; Height 12-22; Mounting Configuration 5-Single/Pole; Pole Finish B&C - Rustic; Options 04 - Ground Protection System.

Features & Specifications: Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On tower-mount steel poles, there is a 3/4" x 1/4" high-strength pin, 18" in length.

Ground Lug: Select Pole Height; Select MPH to match wind speed in the application area (See windmap.mde.com).

Duplex Receptacle: Ground Fault Circuit Interrupter (GFCI) receptacle is optional.

Ordering Guide: Includes a table for ordering information with columns for Pole Size, Height, Mounting Configuration, Pole Finish, and Options.

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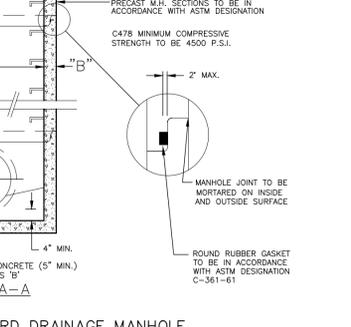
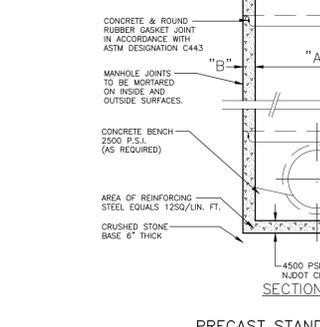
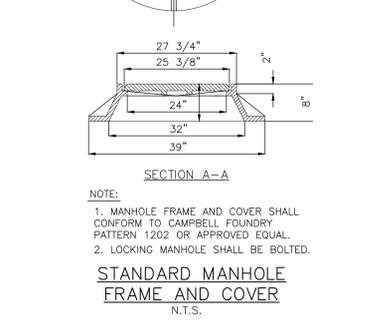
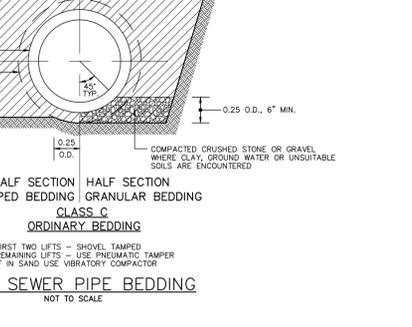
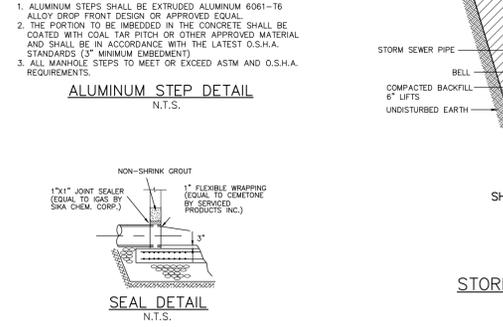
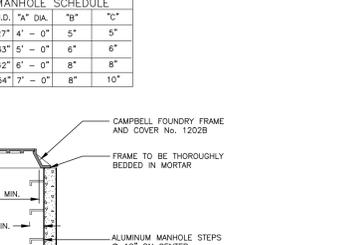
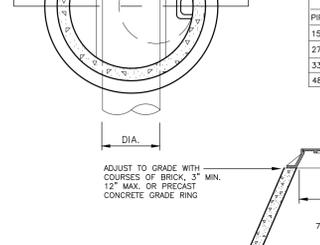
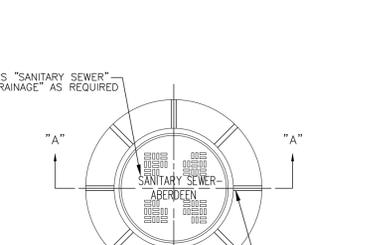
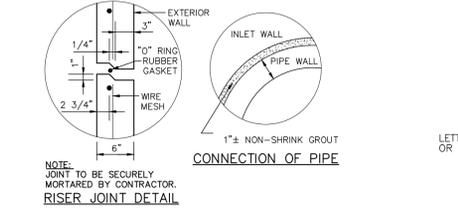
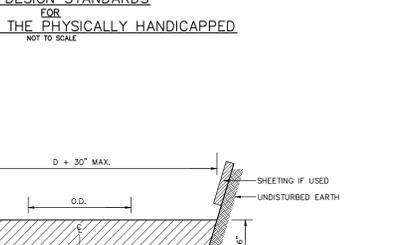
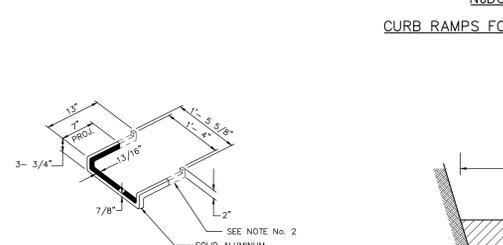
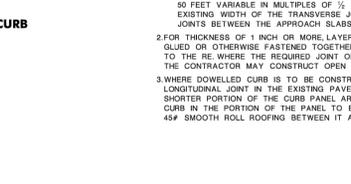
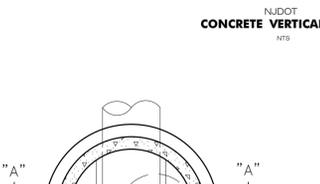
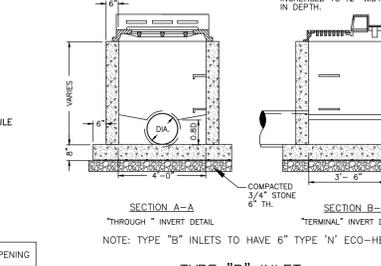
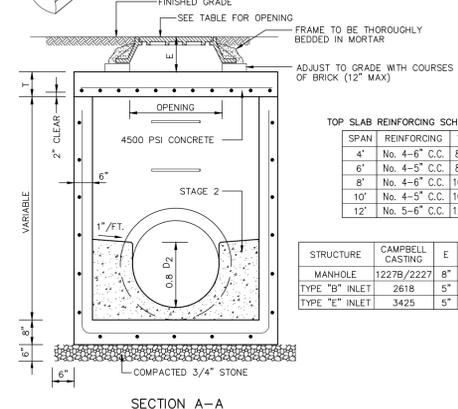
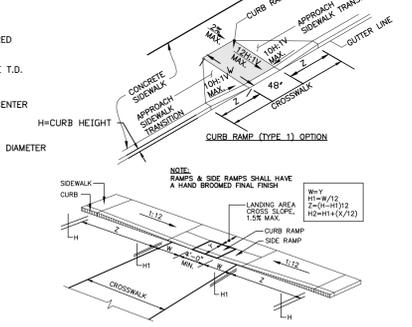
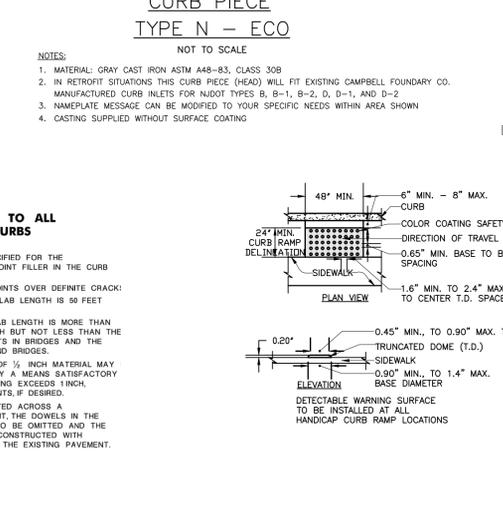
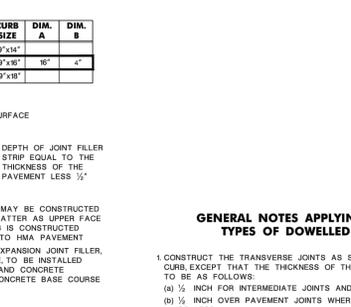
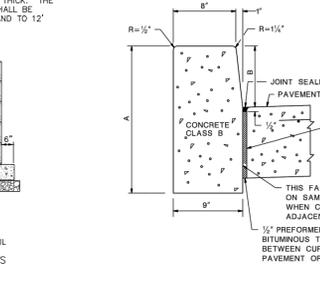
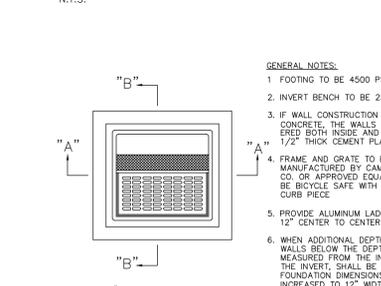
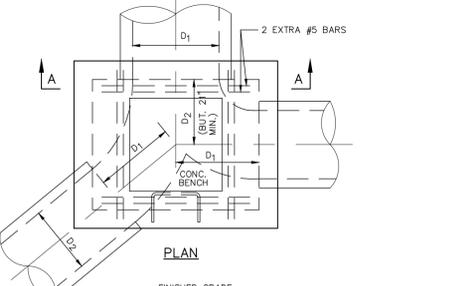
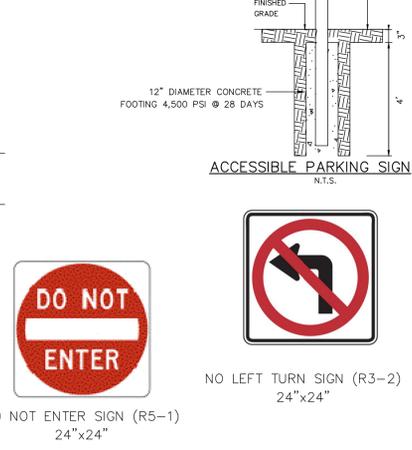
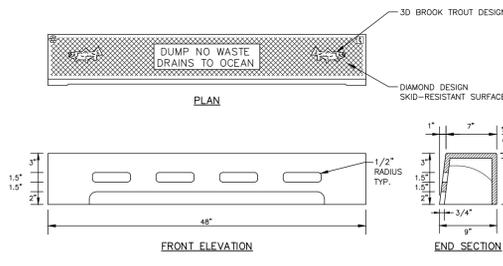
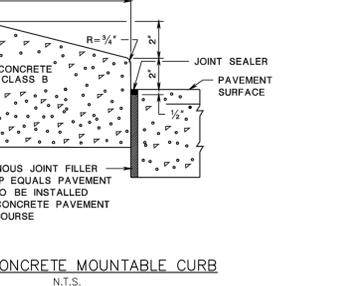
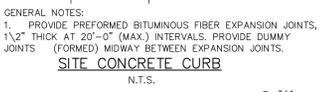
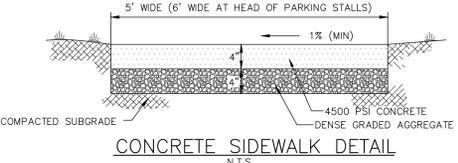
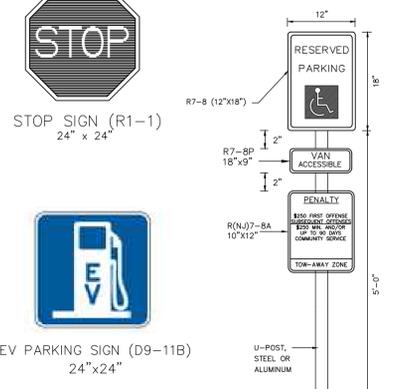
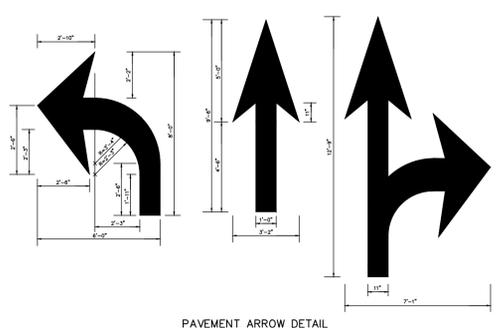
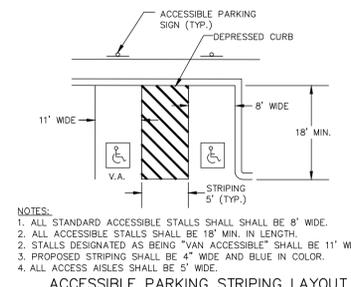
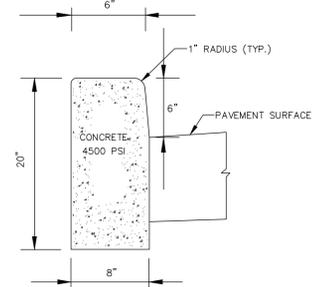
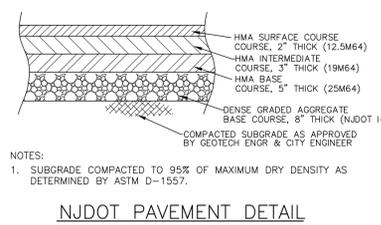
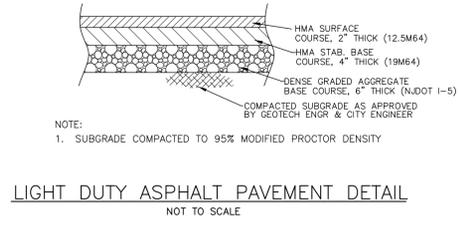
Ordering Guide: Includes a table for ordering information with columns for Pole Size, Height, Mounting Configuration, Pole Finish, and Options.

HAMMER LAND ENGINEERING

1707 ATLANTIC AVENUE, SUITE B2, MANASQUAN, NJ 08936, (TEL) 732-899-0999, (FAX) 888-712-4519, CERTIFICATE OF AUTHORIZATION #24AG28176300, HAMMENGINEERING.COM

JASON A. REGAN, PROFESSIONAL ENGINEER, NJ LICENSE NUMBER 57412

DRAWN BY: JAR, CHECKED BY: CLM, DRAWING NUMBER: SP-14, SCALE: N/A, DATE: 07.13.23, SHEET 14 OF 17



HAMMER LAND ENGINEERING

"THE WAY TO ENTITLEMENT" GROUND BREAKING RESULTS

OWNER (BLOCK 439 LOTS 7 & 8):
SOUTH 9 REALTY, LLC
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
(732) 207-7152

OWNER (BLOCK 439 LOT 6):
SOUTH 2 REALTY, LLC
928 U.S. HIGHWAY 9
SOUTH AMBOY, NJ 08879
(732) 207-7152

APPLICANT:
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PROTECT YOURSELF A PHONE CALL CAN BE YOUR INSURANCE POLICY

NEW JERSEY PROFESSIONAL ENGINEER
1000 277-1000
STOP. CALL BEFORE YOU GO!

WHAT YOU DON'T KNOW CAN HURT YOU. THE STATE OF NEW JERSEY REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

NO.	DATE	ISSUE OR REVISION	BY
2	10.27.23	REV PER BOROUGH	JAR
1	09.29.23	NJDOT COMMENTS	JAR

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN THRUST PERFORMANCE PARKING EXPANSION

LOCATION:
926 & 928 U.S. HIGHWAY 9
BLOCK 439, LOTS 6, 7 & 8
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NJ

DRAWING TITLE:
CONSTRUCTION DETAILS

HAMMER LAND ENGINEERING

1707 ATLANTIC AVENUE, SUITE B2
MANASQUAN, NJ 08736
(TEL) 732-899-0509 (FAX) 888-712-4519
CERTIFICATE OF AUTHORIZATION #24GA28176300
HAMMEREENGINEERING.COM

DRAWN BY: JAR
CHECKED BY: CLM
SCALE: N/A

DRAWING NUMBER:
SP-15

JOB NUMBER: 22195
DATE: 07.13.23
SHEET 15 OF 17

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DOE TO INHERENT ERRORS IN REPRODUCTION METHODS, ERRORS MAY OCCUR WHEN SCALING THIS DRAWING

OWNER (BLOCK 439 LOTS 7 & 8):

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(732) 207-7152

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SOUTH 9 REALTY, LLC
SAMAR DESAI
928 U.S. HIGHWAY 9
SAYREVILLE, NJ 08879
(732) 207-7152



PROTECT YOURSELF
A PHONE CALL CAN BE
YOUR INSURANCE POLICY



WHAT YOU DON'T KNOW CAN HURT YOU.
THE STATE OF NEW JERSEY REQUIRES NOTIFICATION
OF EXCAVATORS, DESIGNERS, OR ANY PERSON
PREPARING TO DISTURB THE EARTH'S SURFACE
ANYWHERE IN THE STATE.



NORTH ARROW

NO.	DATE	ISSUE OR REVISION	BY
2	10.27.23	REV PER BOROUGH	JAR
1	09.29.23	NUDOT COMMENTS	JAR

REVISIONS

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN
**THRUST PERFORMANCE
PARKING EXPANSION**

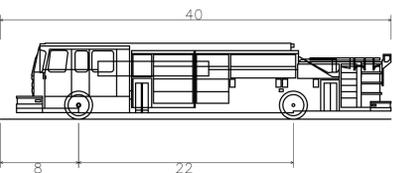
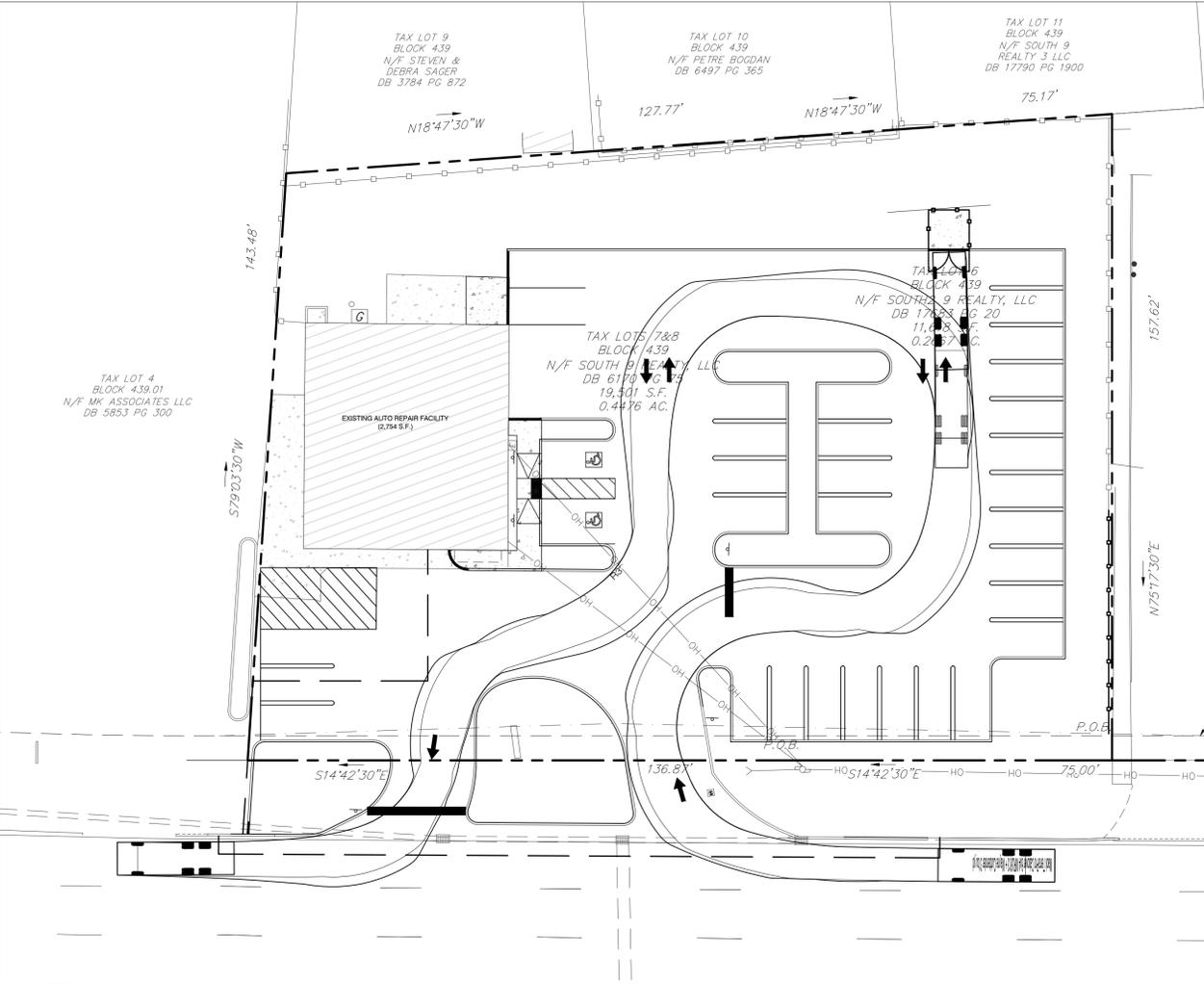
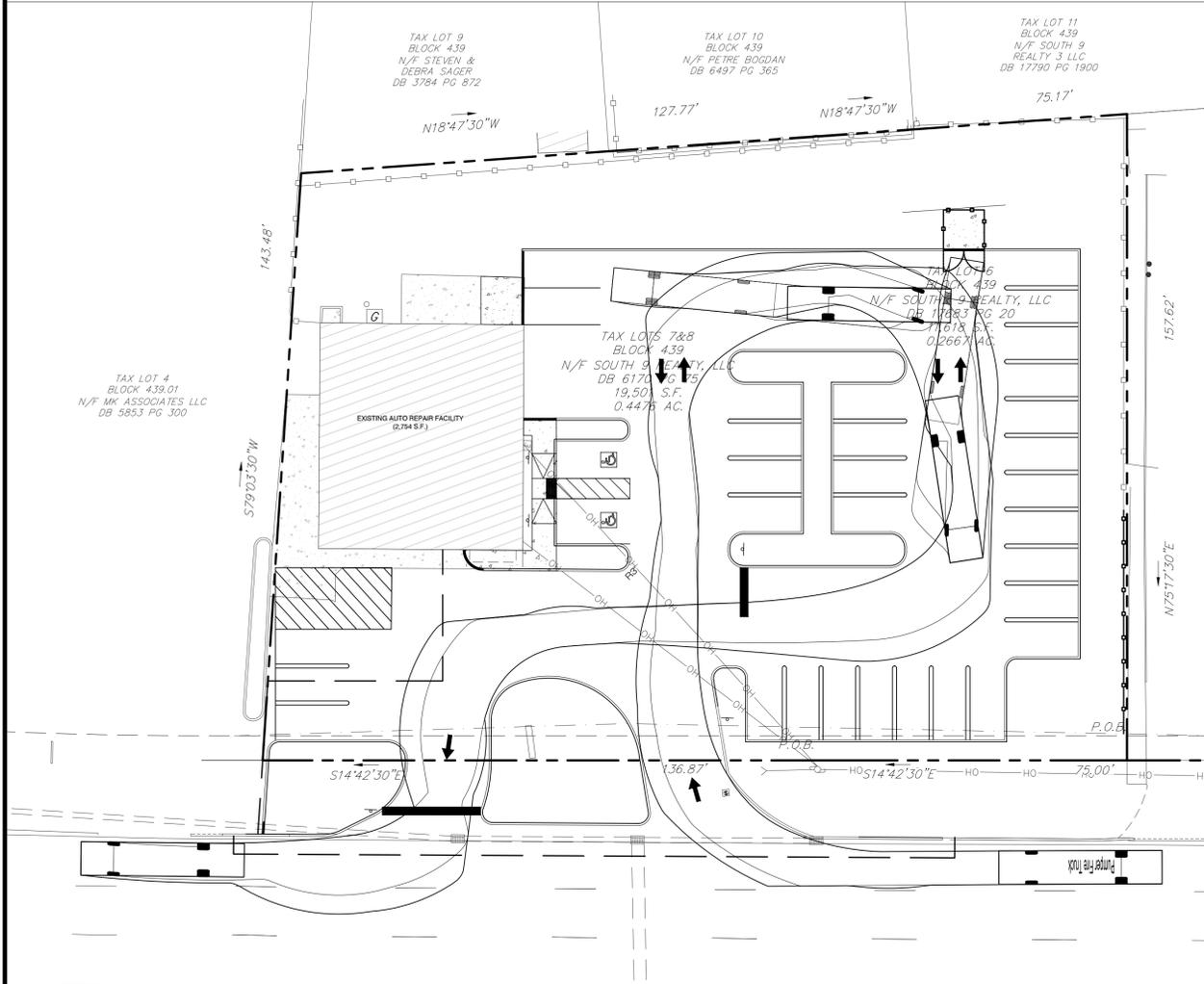
LOCATION:
926 & 928 U.S. HIGHWAY 9
BLOCK 439, LOTS 6, 7 & 8
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, NJ

DRAWING TITLE:
**VEHICLE
CIRCULATION PLAN**

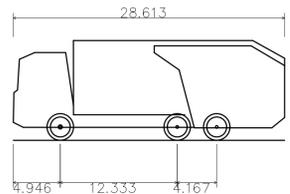
1707 ATLANTIC AVENUE, SUITE B2
MANASQUAN, NJ 08736
(TEL) 732-899-0598 (FAX) 888-712-4519
CERTIFICATE OF AUTHORIZATION #24GA28176300
HAMMERENGINEERING.COM

JASON A. REGAN
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 57412

DRAWN BY	CHECKED BY	DRAWING NUMBER
JAR	CLM	SP-17
SCALE: 1" = 20'		
JOB NUMBER: 22195	DATE: 07.13.23	SHEET 17 OF 17



U.S. HIGHWAY ROUTE 9
(N.J. STATE HIGHWAY ROUTE 9)
(F.K.A. N.J. STATE HIGHWAY ROUTE 4)
(VARIABLE WIDTH R.O.W. PER TAX MAP)
(SOUTH BOUND LANE)
67+00



U.S. HIGHWAY ROUTE 9
(N.J. STATE HIGHWAY ROUTE 9)
(F.K.A. N.J. STATE HIGHWAY ROUTE 4)
(VARIABLE WIDTH R.O.W. PER TAX MAP)
(SOUTH BOUND LANE)
67+00

Pumper Fire Truck
Overall Length 40.000ft
Overall Width 8.167ft
Overall Body Height 7.745ft
Min Body Ground Clearance 0.656ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

Mack TerraPro Cabover 6x4 MRU613
+ Wayne Curbtender 31cu yd
Overall Length 28.613ft
Overall Width 8.000ft
Overall Body Height 10.481ft
Min Body Ground Clearance 1.311ft
Track Width 8.000ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 33.500ft

X:\22195 220R ROUTE 9 SAYREVILLE\DRAWINGS\SP-SITE PLAN\17-2023-12-05-REV JAR.DWG